

# Inspection Report

Provided By



**Beyond Built Inspections**

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## Building Inspection



## Report Information

### **Client Information**

Client Name

Report Ordered By

Email

Total Fee

### **Inspection Information**

Report/Agreement #

Inspection Date:

Inspection Time:

### **Building Inspection**

The Scope of the Inspection:

This report Complies with Australian Building Standards AS 4349.1-2007. Inspection of Buildings Part 1: Pre- Purchase Inspections-Residential Buildings- Appendix "C"

The inspection WILL NOT report on items listed in Appendix "D" of AS43491.2007

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time and date of the visual inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report. If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

Note: This report and any other attached report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re- inspection after this time is essential. Further this report is not intended to be used as a marketing tool by and realestate agents and only the person named in the CLIENT INFORMATION section of the report shall this report apply to as it is assumed and agreed that the person who orders the report is indeed the person purchasing the property inspected.

We strongly advise that any cracking reported in this report should be referred to a structural engineer for further assessment and advice.

Section 2.3.1 - General: The inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of the inspection.

Section 2.3.5: Significant items to be reported are as follows:

- a) Major Defects - A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
- b) A General Impression regarding the Extent of Minor defects - defects other than major defects.
- c) Any Major Defect that is an Urgent and Serious Safety Hazard.

AS 4349.1 - 2.3.5 Extent of Reporting

Section 4.2.4.2 - The report shall describe the overall extent of minor defects. The inspector is not required to comment on individual minor defects and imperfections.

Acceptance Criteria:

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Special Requirements

Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Changes to the Inspection Agreement

Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007

The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase. As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

**Safe and Reasonable Access:** Only areas to which safe and reasonable access is available were inspected. The Australian Standard AS4349.1 defines reasonable access as "areas where safe, unobstructed access " is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers. Reasonable access does not include the use of destructive or invasive inspection methods and does not include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior- Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground.

PLEASE REFER TO THE TERMS AND CONDITIONS SECTION AT THE END OF THIS REPORT AS IT FORMS PART OF THIS INSPECTION REPORT

## **Areas to be Inspected and Restrictions**

The Building and the site including fencing that is up to 30 meters from the building and within the boundaries of the site. Where present and accessible, the Inspection shall include.

- (a) The interior of the building.
- (b) The roof space.
- (c) The exterior of the building
- (d) The sub-floor space
- (e) The roof exterior
- (f ) The property within 30 m of the building subject to inspection.

Entering attics or roof voids that are heavily insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. There is a limited review of the attic area viewed from the hatch only in these circumstances.

The roof covering will not be walked upon if in the opinion of the inspector it is not safe to do so. Generally issues that prevent roof access include, access height over 3 metres, steep pitch, wet/slippery surfaces, deteriorated covering. Not being able to walk a roof significantly limits our inspection which can result in hidden defects going undetected.

### **Areas where full Inspection Restricted**

Please refer to each individual area re sections that were incapable or being inspected.

Please Acknowledge - Since a complete inspection of some areas listed through the report may not have been physically possible (due to but not limited to - storage, furniture, beds, personal belongings in cupboards and/or wardrobes, low clearance in sub floor or roof void areas, ducts restricting access in sub floors or roof voids, plumbing restricting access in sub floor area, no access doors or access doors too small to sub floor or roof void and the like; then it follows that defects, timber pest activity and/or damage may exist in these areas and arrangements should be attempted to have these areas inspected.

In some circumstances this will not be possible, for example a low sub floor or heating ducts restricting access. To properly inspect these restricted areas, ducts and floor boards may need to be removed, furniture moved, cupboards and wardrobes emptied which will be difficult to carry out. Therefore, there will be an element of risk that defects/damage/termites/termite damage and the like may exist in any physically or visually obstructed areas and only become apparent when access is made available. We do not guarantee in any way that there are or are not any defects, termite damage or live termites in any areas not able to be inspected.

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## Summary Of Major Defects And Safety Hazards

**Below Is A Summary Of Significant Items Requiring Immediate Action.  
You should not rely on the summary only. Please read the entire report.**

Section	Location	Name	Comment
INTERIORS	Bathroom 1	Overall Condition	<p>On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.</p> <p>Very high moisture readings, all walls of shower silicone missing and or deteriorated. Recommend re silicone, seal, grout and monitor. Static shower head leak test also recommended.</p>
SITE	Pool Fence & Signs	Pool Fence	<p>A swimming pool is present but the pool fence appears inadequate. The gate is not closing and latching as it should. This should be repaired The pool fence should be checked for compliance with safety regulations. Considered safety Hazard</p>
SITE	Pool Fence & Signs	Pool Fence	<p>A swimming pool is present but the pool fence appears inadequate. The pool fence should be checked for compliance with safety regulations. Considered a Safety Hazard</p>
EXTERIOR	Rising Damp	Rising Damp Findings	<p>High moisture readings were present in the Besa Block exterior walls to North West corner. We recommend a damp proof course specialist be engaged for further evaluation and repairs.</p> <p>Average moisture readings of 97% in the 2 lowest blocks.</p>
EXTERIOR	Rising Damp	Damp Proof Course	<p>A damp proof course is not visible or could not be visually identified. This may cause rising damp issues. Contact a damp proof course specialist to further investigate and make recommendation.</p>
EXTERIOR	Fascia and Barge Boards	Condition	<p>Timber decay (rot) visible. Recommendations: A qualified carpenter should be engaged to replace all affected timbers.</p>

EXTERIOR	Porch	Base or Flooring Condition	Concrete to the porch flooring is cracked throughout. Some of these cracks are wide and may require major works and further evaluation. I suspect this is a topping slab, Contact a concreter for repairs.
GARAGE	Garaging	Wall Cladding Findings	Weather bowing/unevenness. Further investigation is required. Recommendations: A qualified carpenter should be engaged for advice and recommendations. This may require removal of cladding or wall linings to assess frame.
CONCLUSION	Condition Of Inspected Structure	The incidence of Major Defects	<p>The incidence of major defects in this residential building as compared with similar buildings is considered TYPICAL</p> <p>Please refer to the Conclusion section of this report for further clarification and definition.</p>



## Summary Of Minor Defects

**Below Is A Summary Of Defects Other Than Major Defects.  
You should not rely on the summary only. Please read the entire report.**

Section	Location	Name	Comment
INTERIORS	Smoke Alarm	Was a Smoke Alarm Fitted	Need hard wired smoke alarm within 1.5m from bedrooms.
INTERIORS	Sun Room	Overall Condition	<p>On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.</p> <p>Ceilings sagged, paint peeling windows leaking, moisture in walls high.</p>
INTERIORS	Meals Room	Overall Condition	<p>On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.</p> <p>Timber floor boards loose under arch, ensure not caused by white ants or rot. No activity present at time of inspection.</p>
ROOF AND GUTTER	Roof	Roof Findings	<p>Majority of roof in good condition.</p> <p>Some spots of moss, which will cause rust evident on Southern side.</p> <p>Nail fixings lifting in some spots mainly along the lowest fixing on the verandah edge beam.</p>
EXTERIOR	Weep Holes and Ventilation	Findings	The majority of the vents are unobstructed however the topping slab is slightly higher than the bottom of the vents on the porch. This may cause water to run into the subfloor.
EXTERIOR	Rising Damp	Rising Damp Findings	<p>Of the visible and accessible areas, there was no visible evidence of excessive rising damp on the external walls at time of inspection.</p> <p>Path moisture content around 90% at time of inspection, however highest reading in walls was 66% most around 45%.</p> <p>See note re Besa Block walls</p>

EXTERIOR	Eaves	Eave Condition	Minor eave deterioration & ageing evident. Recommendations: Maintenance works, general upkeep should be carried out.
EXTERIOR	Eaves	Eave Condition	We strongly recommend you re-finish and paint the eaves and timber trim to preserve same.
EXTERIOR	Fascia and Barge Boards	Condition	Minor deterioration & ageing evident. Recommendations: Maintenance works, general upkeep should be carried out.
EXTERIOR	Fascia and Barge Boards	Condition	Paint / finish was deteriorated in areas and is in need of maintenance - Sanding back affected areas and painting required.
EXTERIOR	Fascia and Barge Boards	Condition	Low level timber work has been painted, all timber on roof ie. Barges verges gable vent need maintenance and painting.
EXTERIOR	Porch	Overall Condition	Defects exist to an area or component/s requiring assessment by a specialised field. Please read below for details.  Timber work needs maintenance / painting etc.
EXTERIOR	Porch	Column or Post Condition	It appears rot has been repaired and painted, at time of inspection all appear ok, monitor over time, if repairs inadequate this may need to be looked at in the future.
GARAGE	Garaging	Overall Condition	On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.  Besa Block walls have high moisture content bottom 2 blocks front South Western corner.
GARAGE	Garaging	Roof And Gutter	Gutter rust/penetrations - The guttering has excessive rust where leaking will occur. Recommendations: The gutters require replacement by a roof plumber to prevent further deterioration of cladding. Considered a Minor Defect
GARAGE	Garaging	Roof And Gutter	Sheet fixings lifted - Recommendations: Have roofing contractor re-fix with roof sheet fixings. Recommendations: A qualified roofer should be engaged for repairs.
GARAGE	Garaging	Roof And Gutter	Timber decay noted to fascia. Replacement recommended.

GARAGE	Garaging	Wall Cladding Findings	Physical wall damage visible - Recommendations: Engage a licensed builder to assess/repair.
ROOF VOID	Roof Void Findings	Roof Cladding	Rust sections in roof cladding. Recommendations: A qualified roof plumber should be engaged for advice and recommendations.  Gable vents quite rusted.
CONCLUSION	Condition Of Inspected Structure	The Incidence of Minor Defects	The incidence of minor defects in this residential building as compared with similar buildings is considered TYPICAL  Please refer to the Conclusion section of this report for further clarification and definition.

## REPORT INFORMATION

### Weather at Inspection Area

#### **Weather Conditions**

The weather was Fine and Dry at the time of the building inspection.

### Property Information

#### **Direction House Faces**

The dwelling faces West for the purposes of this inspection report.

#### **Building Type**

The dwelling is a Residential House.

#### **Construction Type**

Rendered Masonry. Note: May conceal any defects to materials such as cracking and the like

Original building is painted concrete block. Extension parts of home are rendered Blueboard.

#### **Roof Cladding**

The roof is metal

#### **Roof Design**

The roof is a Pitched roof design.

Rear Lean to Flat Roof design. Note: We are unable to access the roof void on flat roof, skillion or cathedral ceiling design dwellings. The only method of accessing is by removing roof cladding. We cannot comment on whether any defects exist between the roof cladding and the ceiling lining.

#### **Footings Type**

Footings appear to be masonry piers with timber bearers and joists, no access available. Extension appears to be slab on ground.

#### **Storeys**

Single level dwelling

#### **Property Occupied**

The home was occupied.

## **Property Furnished**

The home was Fully Furnished

## **People Present**

The Estate Agent was present.

The Client was present.

The vendor was present.

## **Areas Where Full Inspection Restricted**

### **Areas Inspected**

Since a complete inspection of some areas listed through the report may not have been physically possible (due to but not limited to - storage, furniture, beds, personal belongings in cupboards and/or wardrobes, the 2nd storey roofing, gutters, fascia, flashings and the like, low clearance in sub floor or roof void areas, ducts and deep insulation restricting access in roof voids, sub floor restrictions including plumbing, ducts, low clearance, no access doors or access doors too small and the like) then it follows that defects, timber pest activity and/or damage may exist in these areas.

To adequately inspect these restricted areas, ducts and floor boards may need to be removed, furniture moved, cupboards and wardrobes emptied which will be difficult to carry out. This will obviously be difficult to carry out due to time restrictions and permission would need to be obtained from the property owner.

This Firm DOES NOT GUARANTEE IN ANY WAY that there ARE OR ARE NOT any defects, termite damage or live termites in any areas NOT ABLE to be inspected.

Note: To obtain a full understanding of the report findings, it is essential you read the entire inspection report, including the information sections at the end of this report and I encourage you to call me if you have any queries at all before purchasing the inspected dwelling.

Building Exterior

Building Interior

Garage

Roof Exterior

Roof Void

Site

## **Area Where Inspection Was Restricted**

Subfloor

## Areas Not Inspected

Subfloor

Inaccessible roof void sections due to access limitations and or insulation and ducting.

## Utility Status

### Water

The water was Connected. All plumbing pipe installation should be assessed by a licensed plumber.

### Electricity

Electricity to the dwelling was connected. Note: We do not carry out electrical inspections for wiring or safety. This must be carried out by a licensed electrician and I recommend you have all electrical wiring and components assessed by a licensed electrician.



### Gas

Gas to the dwelling was connected. Note: We do not carry out gas inspections for safety. This must be carried out by a licensed gas fitter.



### **Apparent Concealment of possible defects**

#### **Were apparent Concealments seen**

No apparent concealing of defects visible. However one must note over the years works and repairs have been carried out on the home, and whilst not obvious, could be concealing defects.

### **inspection Agreement**

#### **Were there any specific requirements to The Pre Inspection Agreement**

No specific requirements to the Pre inspection Agreement were requested by the client or their representatives.

# INTERIORS

## Floor Plan

### Floor Plan

## Smoke Alarm

### Was a Smoke Alarm Fitted

Yes a smoke alarm was sighted but not tested.

All dwellings must have at least one working smoke alarm (sometimes mistakenly referred to as “smoke detectors”) installed on each level of their home. This includes owner occupied, rental properties, relocatable homes or any other residential building where people sleep. We strongly recommend you have a least 1 working smoke alarm installed.

Need hard wired smoke alarm within 1.5m from bedrooms.





## **Entry and Hallways**

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.



## **Lounge Room**

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.



## **Sun Room**

### **Overall Condition**

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

Ceilings sagged, paint peeling windows leaking, moisture in walls high.



## **Meals Room**

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

Timber floor boards loose under arch, ensure not caused by white ants or rot. No activity present at time of inspection.



## **Billiard Room**

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.

## **Bedroom 1**

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.

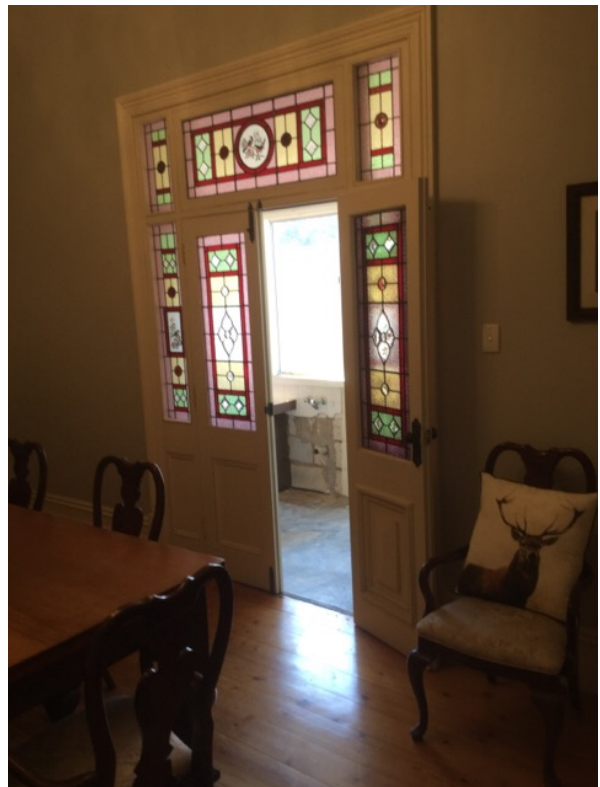




## **Bedroom 2**

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.





### **Bedroom 3**

#### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.



## **Bedroom 4**

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.

## **Kitchen**

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.



## **Bathroom 1**

### **Overall Condition**

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

Very high moisture readings, all walls of shower silicone missing and or deteriorated.  
Recommend re silicone, seal, grout and monitor.  
Static shower head leak test also recommended.









## **Bathroom 2**

### **Overall Condition**

This area is in serviceable condition with no notable structural defects sighted. However it appears a converted laundry. Walls in shower are dry.



## WC

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.



## Laundry

### **Overall Condition**

This area is in an acceptable condition with no notable structural defects sighted.



## SITE

### Driveway

#### Materials

The driveway is paved.

#### Driveway Condition

On visual inspection, the general condition of the driveway is acceptable.

### Paths

#### Pathways Condition

The paths around the home are in an acceptable condition for the age of this dwelling with no major defects visible.



### Fences & Gates

#### Overall Condition

Of the visible areas, the general condition of the fences and gates is acceptable for the age of dwelling.

## **Surface Drainage**

### **Drainage Findings**

There was no visible evidence of excess ponding or fall towards the property walls at the time of the inspection. Regardless, it is difficult to ascertain in dry conditions and it is therefore recommended that you assess same after a rainfall period to be able to sufficiently ascertain if any problems exist in this regard. If water is ponding around perimeter walls and paths or appears to be flowing into the footings/foundations you must have assessed by a qualified plumber or landscaper.

### **Drains**

The general adequacy of site drainage is not included in the standard property inspection report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a smoke test be obtained to determine any illegal connections, blocked or broken drains.

Can not locate to inspect

## **Shed**

### **Shed Condition**

The shed is in fair usable condition. Linings and ceilings not completed.

## **Pool Fence & Signs**

### **Pool Fence**

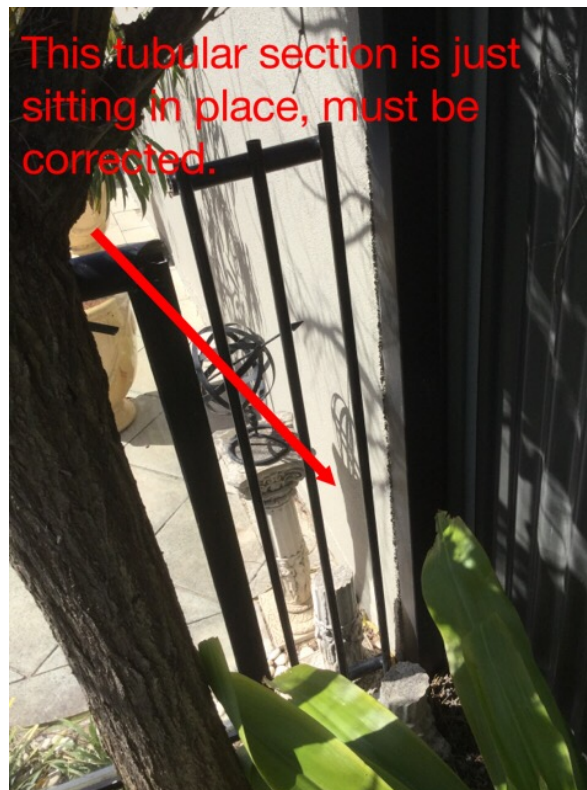
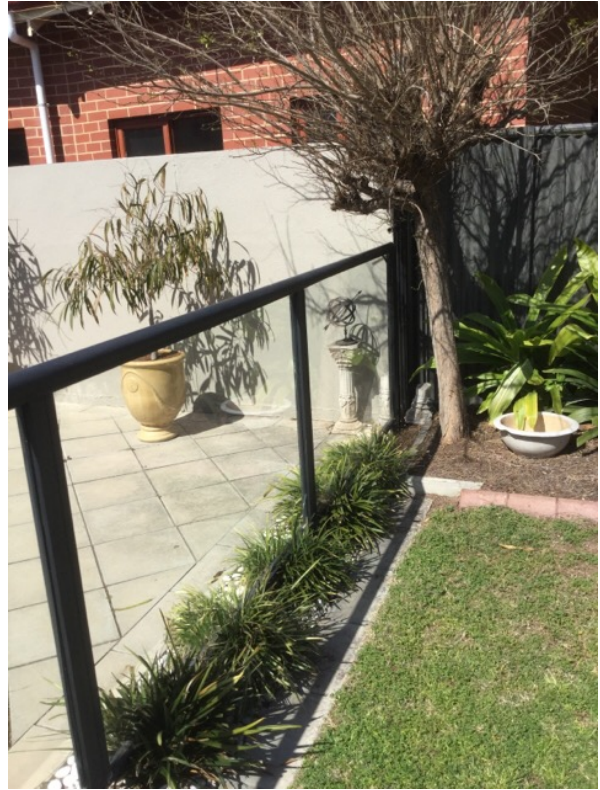
Note: Where a swimming pool is present, this inspection specifically excludes any inspection of the pool, associated pool equipment and pool surrounds. An inspection should be made by a specialist pool inspector to determine the condition of the pool, pool equipment and surrounds.

Pool fence and signage were sighted.

A swimming pool is present but the pool fence appears inadequate. The gate is not closing and latching as it should. This should be repaired The pool fence should be checked for compliance with safety regulations. Considered safety Hazard

A swimming pool is present but the pool fence appears inadequate. The pool fence should be checked for compliance with safety regulations. Considered a Safety Hazard





## Trees

### Tree Findings

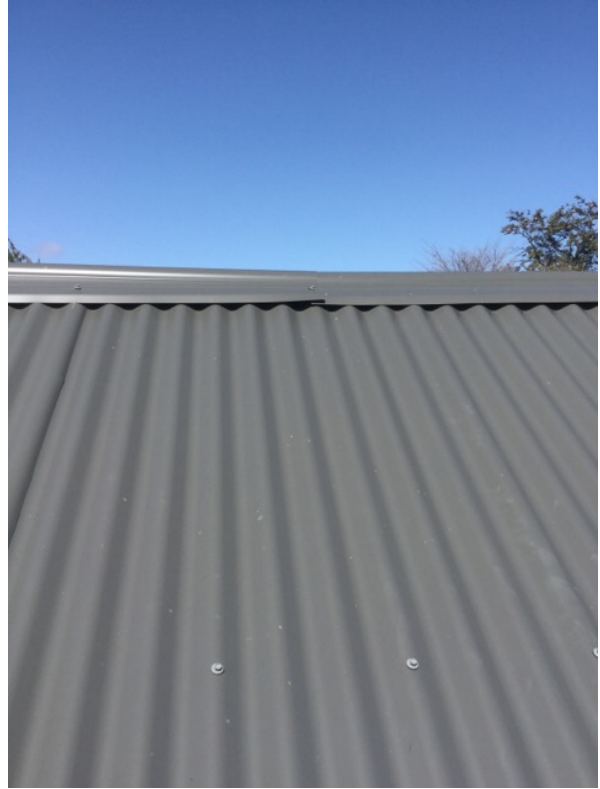
Trees are close to the dwelling. These currently do not appear to have caused any defects/ wall cracking. Recommendations: Engage a qualified arborist to carry out an assessment on potential issues.

## ROOF AND GUTTER

### Guttering

#### Gutter Findings

Generally clean





## **Roof**

### **Roof Findings**

All visible guttering appears in acceptable condition with no apparent defects at the time of inspection. Note: Periodic maintenance checks should be carried out for rust penetrations and leaks.

Majority of roof in good condition.

Some spots of moss, which will cause rust evident on Southern side.

Nail fixings lifting in some spots mainly along the lowest fixing on the verandah edge beam.





## **Down Pipes**

### **Down Pipe Findings**

On visual inspection no apparent defects were noted to the down pipes and are considered acceptable, however no comment can be made with regard to blockages , connections to stormwater or functionality in the absence of rain. Note: Periodic maintenance checks should be carried out for rust penetrations and leaks.



# HOT WATER SYSTEM

## Hot Water Unit

### Hot Water Unit Findings

The hot water system appears to be in a serviceable condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise.



### System Location

The hot water unit is located outside.

### System Type

The hot water unit is a gas instantaneous system.

### System Make

The make of the hot water unit is bosch.

### System Capacity

### System Year of Manufacture

Unable to ascertain.

## **External Plumbing Pipes**

### **Plumbing Pipes**

On Visual inspection the external plumbing pipes appear serviceable, but should be checked by a qualified plumber.



## EXTERIOR

### Weep Holes and Ventilation

#### Findings

The majority of the vents are unobstructed however the topping slab is slightly higher than the bottom of the vents on the porch. This may cause water to run into the subfloor.



### Exterior Walls

#### General Disclaimer



Limitations of the exterior inspection.

This is a visual inspection limited in scope by (but not restricted to) the following conditions: A representative sample of exterior components was inspected rather than every occurrence of components. The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards. Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.

Please note - If any wall cracking/cracks/openings are found at this dwelling, we cannot offer any guarantee that any visible wall cracks will not widen or lengthen over time or in the future as this is impossible to predict. We strongly recommend you contact a practicing structural engineer for further advice.

## Exterior Wall Material

Rendered / painted Masonry to front and original building. Light weight rendered walls to extension.

Rendered light weight materials to extension.





## Condition

On visual inspection, the general condition of the exterior walls is acceptable for the age.

## Rising Damp

### Rising Damp Findings

Of the visible and accessible areas, there was no visible evidence of excessive rising damp on the external walls at time of inspection.

Path moisture content around 90% at time of inspection, however highest reading in walls was 66% most around 45%.

See note re Besa Block walls

High moisture readings were present in the Besa Block exterior walls to North West corner. We recommend a damp proof course specialist be engaged for further evaluation and repairs.

Average moisture readings of 97% in the 2 lowest blocks.



## Damp Proof Course

A damp proof course is not visible or could not be visually identified. This may cause rising damp issues. Contact a damp proof course specialist to further investigate and make recommendation.

## **Eaves**

### **Eave Condition**

Minor eave deterioration & ageing evident. Recommendations: Maintenance works, general upkeep should be carried out.

We strongly recommend you re-finish and paint the eaves and timber trim to preserve same.



## **Fascia and Barge Boards**

### **Condition**

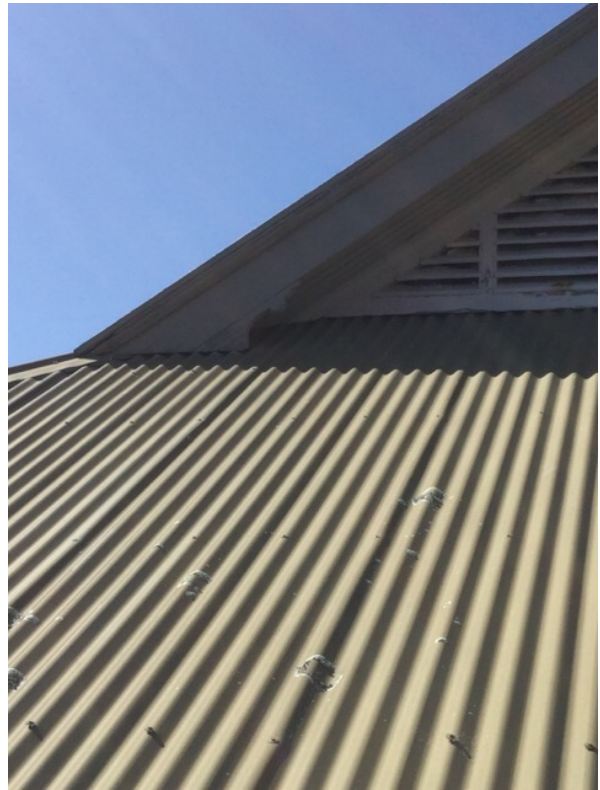
Minor deterioration & ageing evident. Recommendations: Maintenance works, general upkeep should be carried out.

Paint / finish was deteriorated in areas and is in need of maintenance - Sanding back affected areas and painting required.

Timber decay (rot) visible. Recommendations: A qualified carpenter should be engaged to replace all affected timbers.

Low level timber work has been painted, all timber on roof ie. Barges verges gable vent need maintenance and painting.





## **Porch**

### **Overall Condition**

Defects exist to an area or component/s requiring assessment by a specialised field. Please read below for details.

Timber work needs maintenance / painting etc.



### Column or Post Condition

It appears rot has been repaired and painted, at time of inspection all appear ok, monitor over time, if repairs inadequate this may need to be looked at in the future.







### Base or Flooring Condition

Concrete to the porch flooring is cracked throughout. Some of these cracks are wide and may require major works and further evaluation. I suspect this is a topping slab, Contact a concreter for repairs.





# GARAGE

## Garaging

### Type

Detached garage



### Areas Restricted

All areas could be inspected.

### Overall Condition

Of accessible and visible areas, the garaging is considered to be in a serviceable condition.

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

Besa Block walls have high moisture content bottom 2 blocks front South Western corner.





## Roof And Gutter

Gutter rust/penetrations - The guttering has excessive rust where leaking will occur.  
 Recommendations: The gutters require replacement by a roof plumber to prevent further deterioration of cladding. Considered a Minor Defect

Sheet fixings lifted - Recommendations: Have roofing contractor re-fix with roof sheet fixings.  
 Recommendations: A qualified roofer should be engaged for repairs.

Timber decay noted to fascia. Replacement recommended.



## Wall Cladding Findings

General age deterioration. Recommendations: General repairs/maintenance as required to the fibre cement planking as required. Besa block sections appear to be in reasonable condition.

Physical wall damage visible - Recommendations: Engage a licensed builder to assess/repair.

Weather bowing/unevenness. Further investigation is required. Recommendations: A qualified carpenter should be engaged for advice and recommendations. This may require removal of cladding or wall linings to assess frame.

# PERGOLA

## Pergola Findings

### Overall Condition

The Pergola is in acceptable condition with no notable defects sighted.





# ROOF VOID

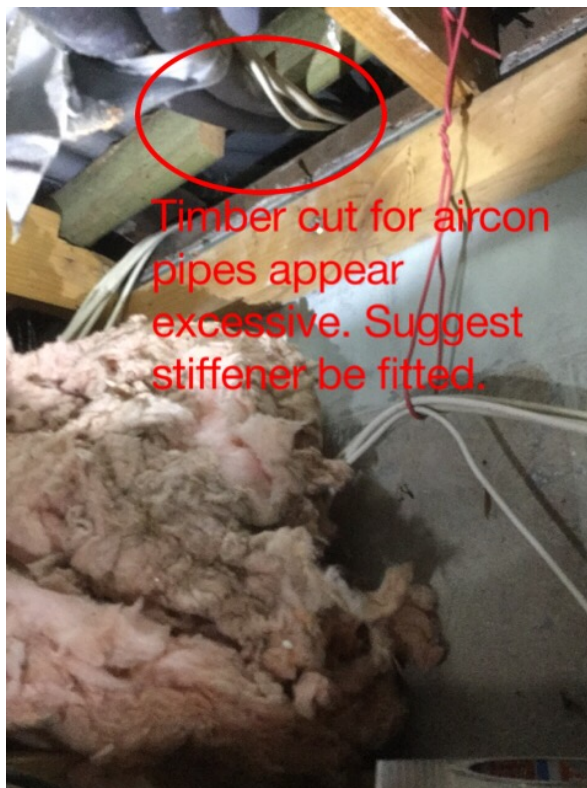
## Roof Void Findings

### General Disclaimer

Access limitations: Entering attics or roof voids that are heavily insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. There is a limited view of the attic area viewed from the hatch only in these circumstances. Only areas where safe and reasonable access is available were inspected. Access will not be gained where there are safety concerns, obstructions or where the space to inspect is less than the following: Roof void access door must be at least 500 mm x 400 mm, reachable by a 3.6 M ladder and within the roof void there is at least 600 mm x 600 mm crawl space. Safe access to the roof void, the sub floor area and the roof cladding is at the inspector's discretion.

### Restricted Areas

Flat roof design - No crawl space. This is preventing a full inspection from being undertaken. It is strongly recommended that full access be gained as it could be harbouring timber pest activity, damage or defects.



### Roof Frame Type

The roof frame is a conventional timber frame.

## Overall Condition

Visible sections of the roof void is in a serviceable condition for age of this dwelling.



## Roof Cladding

Rust sections in roof cladding. Recommendations: A qualified roof plumber should be engaged for advice and recommendations.

Gable vents quite rusted.

## Insulation

### Type

The roof space is insulated with fibreglass batts.

### Condition

Where visible and accessible, the insulation appears to be acceptable condition.

### Sarking

No Sarking Installed

## SUBFLOOR

### **Access and Restrictions**

#### **Restricted Areas**

Inspection could not be conducted as there was no access to the subfloor.

# CONCLUSION

## **Condition Of Inspected Structure**

### **Overall Condition**

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The summary lists of Major and Minor defects included this report are the opinion of the inspector, other inspectors or individuals may have a different opinion to what is a Minor or a Major Defect

The summary forms part of this report and should not be relied on solely.  
Please read the entire report.

The incidence of major and minor defects and overall condition in this residential building as compared with similar buildings is listed below.

### **The incidence of Major Defects**

The incidence of major defects in this residential building as compared with similar buildings is considered TYPICAL

Please refer to the Conclusion section of this report for further clarification and definition.

### **The Incidence of Minor Defects**

The incidence of minor defects in this residential building as compared with similar buildings is considered TYPICAL

Please refer to the Conclusion section of this report for further clarification and definition.

### **The Overall Condition Of This Dwelling**

The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is AVERAGE

Please refer to the Conclusion section of this report for further clarification and definition.

Please refer to the TERMS AND CONDITIONS section of this report for definition

## TERMS AND CONDITIONS

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the building members in accord with appendix C AS4349.1-2007

Please note: This is a general appraisal only and cannot be relied on its own - Read the report in its entirety.

This summary is supplied to allow a quick and superficial overview of the inspection results. This summary is not the report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the report and anything in this summary, the information in the report shall override that in this summary.

### DEFINITIONS AND TERMINOLOGY

#### DEFINITIONS

**SERVICEABLE:** The building material or component is in reasonable or serviceable condition for the age of the dwelling.

**TRADESMAN:** A defect or a number of defects were visible that will require assessment by a qualified trades person.

**AGE:** The component has deterioration due to ageing or lack of upkeep and or maintenance.

**MONITOR:** Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

**STRATA** - In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. This report does NOT include review of body corporate or similar records.

**HIGH:** The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**TYPICAL:** The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

**LOW:** The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**ABOVE AVERAGE:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

**AVERAGE:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**BELOW AVERAGE:** The building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building

**SIGNIFICANT ITEMS:** An item that must be reported in accordance with the scope of the inspection.

**MAJOR DEFECT:** A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

**MINOR DEFECT:** Any defect other than what is described as a Significant Item or major defect.

**SAFETY HAZARD:** A defect that presents unsafe conditions and must be reported as a Major defect.

**ACCESSIBLE AREA:** Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.  
Important advice.

**LIMITATION:** A factor that prevents full or proper inspection of the building.

## IMPORTANT INFORMATION

Important information regarding the scope and limitations of the inspection and this report. Any person who relies upon the contents of this report does so acknowledging that the following clauses which define the scope and limitations of the inspection, form an integral part of the report.

**1) NOT A CERTIFICATE OF COMPLIANCE:** This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not, a defect is considered significant or not depends too a large extent, upon the age and type of the building inspected. This report is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.



2) **VISUAL INSPECTION:** This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

3) **CONCEALED DEFECTS:** This report does not and cannot make comment upon: Defects that may have been concealed the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (eg. In the case of shower enclosures and bath tubs, the absence of any leaks or dampness at the time of the inspection does not necessarily mean that the enclosure will not leak after use) the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighborhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

4) **NO GUARANTEE:** Accordingly this report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

5) **SWIMMING POOLS:** Swimming pools/spas are not part of the standard building report under as4349.1-2007 And are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

6) **SURFACE WATER DRAINAGE:** The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and storm water run off and have the water directed away from the house or to storm water pipes by a licensed drainage plumber.

7) **SHOWER RECESSES:** Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on the shower recesses are limited to running water within the recesses and visually checking for leaks As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak

8) **GLASS CAUTION:** Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in traffic-able areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

9) **STAIRS AND BALUSTRADES:** Specifications have been laid down by the Australian Building Code – Section 3.9 covering stairs, landings, balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

10) **RETAINING WALLS:** Where retaining walls are located more than 700mm high these walls should have been installed with engineering design and supervision. Walls found on the site were not assessed and the performance of these walls is not the subject of a standard property report and should be further investigated with regard to the following items, adequate drainage systems, adequate load bearing, correct component sizing and batter.

11) **ROOMS BELOW GROUND LEVEL:** If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given

12) **ASBESTOS DISCLAIMER :** No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.

13) **MOULD (mildew and non-wood decay fungi) disclaimer:** Mildew and non wood decay fungi is commonly known as mould. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided.

14) **MAGNESITE DISCLAIMER:** No inspection for magnesite flooring was carried out at the property and no report on the presence or absence of magnesite flooring is provided. You should ask the owner whether magnesite flooring is present and/or seek advice from a structural engineer.

15) **ESTIMATING DISCLAIMER:** No estimate is provided in this report. We strongly recommend you obtain quotes for repairs from licensed tradesman prior to a decision to purchase.

## IMPORTANT DISCLAIMERS

16) **DISCLAIMER OF LIABILITY:** No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report) Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Compensation is limited to the price of the report initially paid by the claimant named in the report as the "CLIENT"

17) **DISCLAIMER OF LIABILITY TO THIRD PARTIES:** Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk.

18) **COMPLAINTS PROCEDURE:** In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, or any alleged negligent act or omission on Our part or on the part of the individual conducting the Inspection, either party may give written Notice of the dispute or claim to the other party. If the dispute is not resolved within twenty one (21) days from the service of the written Notice then either party may refer the dispute or claim to a mediator nominated by Us. The cost shall be met equally by both parties or as agreed as part of the mediated settlement. Should the dispute or claim not be resolved by mediation then one or other of the parties may refer the dispute or claim to the Institute of Arbitrators and Mediators of Australia who will appoint an Arbitrator who will resolve the dispute by arbitration. The Arbitrator will also determine what costs each of the parties are to pay.

## OTHER RECOMMENDED INSPECTIONS

**Electrical installation:** All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The inspection of any electrical item is outside the scope of this report. It's recommended that a licensed electrician be consulted for further advice.

**Plumbing:** All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.

**Hot water service:** All hot water services need to be inspected and reported on by a plumber and/or electrician. It's recommended that a licensed plumber and/or electrician be consulted for further advice.

**Gas:** All gas services need to be inspected and reported on by a gas plumber. It's recommended that a licensed gas plumber be consulted for further advice.

**Phone:** All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician. It's recommended that a telecommunications technician be consulted for further advice.

**Smoke detectors:** Australian standard AS3786 - Advises that smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to give advice on those installed or install these detectors.

**The septic tanks:** Should be inspected by a licensed plumber.

**Trees:** Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A geo-technical inspection can determine the foundation material and provide advice on the best course of action with regards to the trees.

## TERMINOLOGY

The definitions below apply to the types of defects associated with individual items/parts or Inspection areas.

Damage: The building material or item has deteriorated or is not fit for its designed purpose.

Distortion, warping, twisting: The item has moved out of shape or moved from its position.

Water penetration, dampness: Moisture has gained access to unplanned and/or unacceptable areas.

Material deterioration: The item is subject to one or more of the following defects; rusting, rotting,  
Corrosion, decay.

Operational: The item or part does not function as expected.

Installation: The installation of an item is unacceptable, has failed or is absent.

Contact the inspector

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

**The Inspection and Report was carried out by:**

**Contact the Inspector on:**

**For and on Behalf of: Beyond Built Inspections**

A handwritten signature in blue ink, appearing to be 'D. J. K.', is written over a horizontal line.