

AGENDA
City of Homewood
Planning Commission
On-Line Meeting

JANUARY 5, 2021 - 6:00 PM

Call to order by Chairman Jeff Foster Roll Call Minutes	Communications from Chairman, Jeff Foster Communications from Vice-Chairman, Mark Woods Announcements/Commission Activities
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Instructions: This online Homewood Planning Commission meeting is being held in an effort to comply with social distancing requirements due to the COVID-19 Pandemic:

1st Option:

Join on-line through your computer or app with this link: <https://zoom.us/j/81507401297>
(If you click this link from a device/phone, this link will NOT work until you have downloaded the Zoom app)

2nd Option:

Join through the app if you already have the Zoom app downloaded
Meeting #: 815 0740 1297

3rd Option:

Dial in by phone: 253-215-8782

If joining on-line, for those items that allow public comments, you will be told when to enter your name and address into the chat box if you want to speak about that item. You can speak once your name is called.

Comments, in support or opposition to cases on the agenda, may be submitted through the City of Homewood website @www.cityofhomewood.com/boards-committees. Comments should be submitted no later than 24-hours prior to the meeting and will be provided to the board's members for their consideration. Please reference the case number or address in your comments.

OLD BUSINESS:

Item 1: (WITHDRAWN at the request of the applicant)

PC Case #: RZ 20-12-03

Property Address: 260 Oxmoor Road

Applicant(s): Chester Payne-Massey, Stotser & Nichols

Request: REZONE

Owner(s): Mike Patel / ADMA

Reason/Purpose: From GURD (Greensprings Urban Renewal

Parcel ID: 29-00-14-3-004-008.000

District) to C-5 (General Business District)

Item 2: (CARRIED OVER from December 1, 2020 meeting)

PC Case #: TX 20-12-06

Property Address: 709 Oak Grove Road

Applicant: Richard Carnaggio

Request: Text Amendment to Zoning Ordinance

Owner(s): Derek Waltchack

Reason/Purpose: A petition to the Planning Commission pursuant to Article IV, Section EE, (14) Sign Types and to integrate two additional sign types and review criteria to those sign types allowed within the West Homewood District.

NEW BUSINESS:

Item No. 1: (CARRIED OVER to February 2, 2021 meeting at request of applicant)

PC Case #: RS 21-01-01

Applicant(s): Thomas & Julie Cox

Owner(s): Same

Parcel ID: 28-00-17-2-002-014.001

Property Address: 508 Tamworth Lane

Request: RESURVEY

Reason/Purpose: To resurvey 1 Parcel (1 Lot) into 2 Parcels (2 Lots) to permit new residential construction.

Item No. 2:

PC Case #: AD 21-01-03

Applicant(s): Joe Schneider – SDP Acquisitions

Owner(s): Wildwood Center, LLC, Parkway Fox, LLC & Mont Belvieu Properties

Parcel ID: 29-00-26-2-000-001.008

Property Address: 275 Lakeshore Parkway

Request: Amended Development Plan

Reason/Purpose: Amendment to Wildwood Centre South Redevelopment Plan to permit the construction of a new two tenant retail building.

Item 3:

PC Case #: AD 21-01-04

Applicant: Matt Bartholomew – Whatabrands Real Estate

Owner(s): D3, LLC / Oldacre McDonald

Parcel ID: 29-00-23-3-001-001.002

Property Address: 195 State Farm Parkway

Request: Amended Development Plan

Reason/Purpose: Amendment to Wildwood North Redevelopment Plan to permit the construction of a new 3,200 sq. ft. restaurant (Whataburger)

**APPLICATION FOR TEXT AMMENDMENT TO THE ZONING ORDINANCE
HOMEWOOD PLANNING COMMISSION**

Physical Address: 709 Oak Grove Road

Date application filed: October 5, 2020

Tax map Parcel I.D. Number(s): 29 00 23 2 012 012.000

Current Zoning: WHD Land use: Commercial

Applicant: Richard Carnaggio

Owner: Dereck Waltchack

Phone: _____

Phone: _____

Address: 2920 1st Avenue S

Address: 1616 2nd Avenue S, Suite 100

Birmingham, AL 35233

Birmingham, AL 35233

Email: _____

Email: _____

Activity requested by applicant:

Text Amendment to the Zoning Ordinance.

Article IV, Section FF, (14) Sign Standards, 1. Allowed Signs.

Addition of Murals to the list of allowed signs.

(E - SIGNATURE PROVIDED)

Signature of Applicant

Signature of Owner

(E - SIGNATURE PROVIDED)

Signature of Owner

Signature of Owner

FOR CITY USE ONLY

Application received by: VICKI SMITH on October 5, 2020

\$ — Application fee* received on _____ by receipt # _____

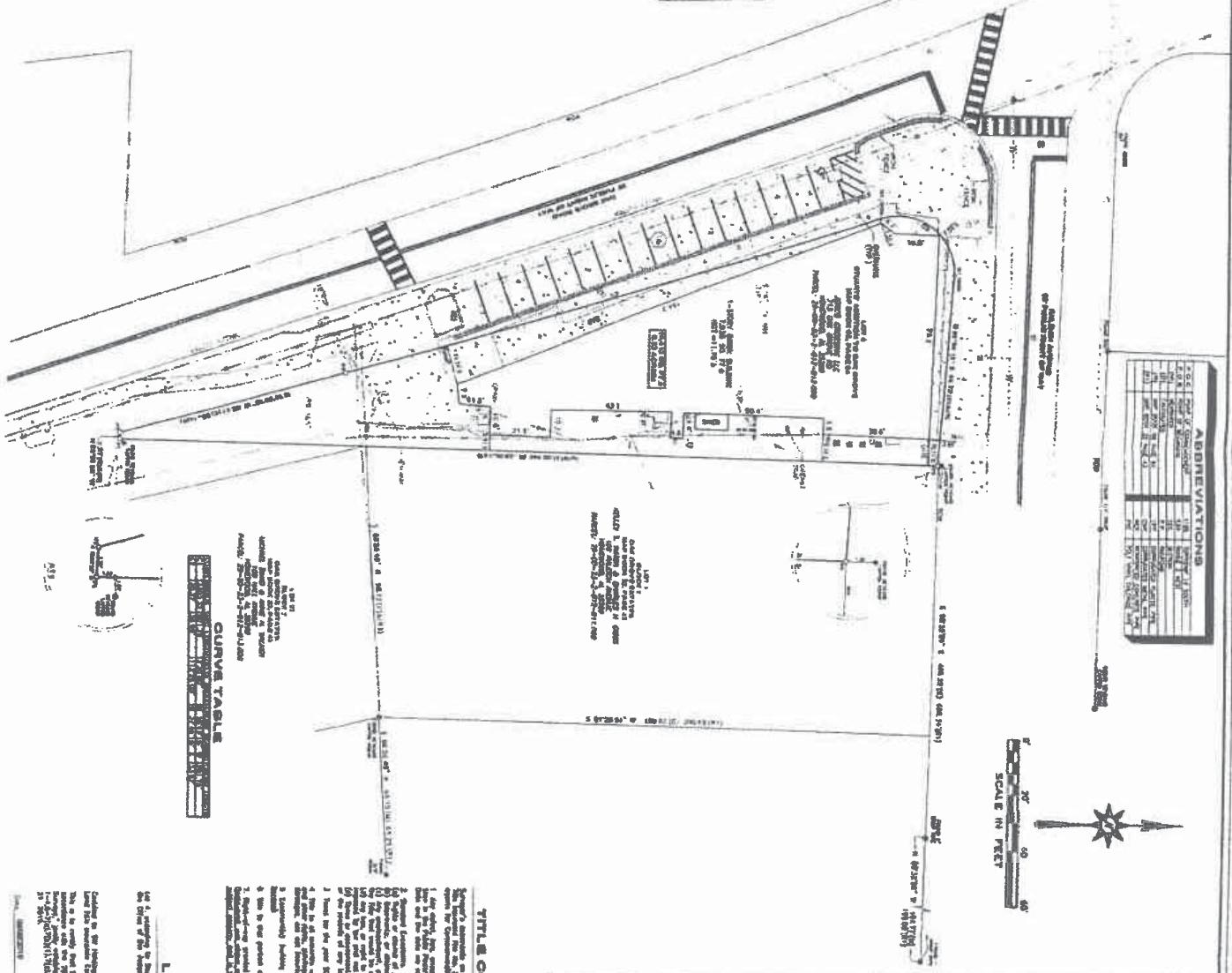
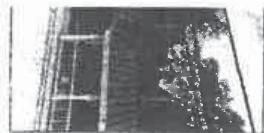
Application reviewed by Subdivision Administrator on _____

NPD Calculation: Completed by: _____ N/A: _____

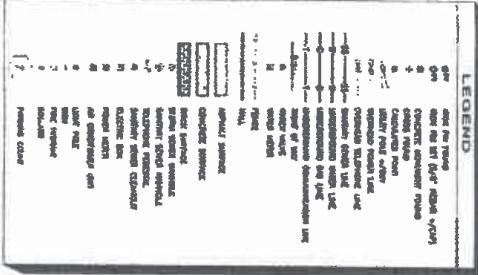
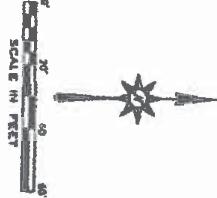
Application approved by Subdivision Administrator on _____

Action taken by Planning Commission (if applicable) _____

new which building
old buildings and dig
Other 11111111



ABBREVIATIONS	
ACR	ACRE
BLK	BLOCK
BLW	BLUFF
BLV	BLVD
BLW	BLUFF
BLV	BLVD
CIR	CIRCLE
CLT	CLOTHESLINE
CORNER	CORNER
FRT	FRONT
HGT	HEIGHT
LIN	LINER
RD	RD
RDW	RIDGEWOOD
RDT	RIDGEWOOD
RDY	READY
ST	STREET
TAN	TAN
THD	THICK
WLD	WIDE



TITLE COMMITMENT EXCEPTIONS

EXCUSES FROM TITLE COMMITMENT: EXCEP^T FOR THE CONDITIONS LISTED IN THE TITLE COMMITMENT, THE TITLE COMPANY WILL NOT BE HELD RESPONSIBLE FOR THE FOLLOWING:

- EXCEP^T FOR THE CONDITIONS LISTED IN THE TITLE COMMITMENT, THE TITLE COMPANY WILL NOT BE HELD RESPONSIBLE FOR THE FOLLOWING:
 - 1. DEFECTIVE TITLE: THIS INCLUDES ANY DEFECTIONS THAT ARE NOT LISTED IN THE TITLE COMMITMENT.
 - 2. CONSTRUCTION DEFECTS: THIS INCLUDES ANY DEFECTS THAT ARE NOT LISTED IN THE TITLE COMMITMENT.
 - 3. ENCUMBRANCES: THIS INCLUDES ANY ENCUMBRANCES THAT ARE NOT LISTED IN THE TITLE COMMITMENT.
 - 4. TAXES: THIS INCLUDES ANY TAXES THAT ARE NOT LISTED IN THE TITLE COMMITMENT.
 - 5. INSURANCE: THIS INCLUDES ANY INSURANCE POLICIES THAT ARE NOT LISTED IN THE TITLE COMMITMENT.
 - 6. LEADS: THIS INCLUDES ANY LEADS THAT ARE NOT LISTED IN THE TITLE COMMITMENT.
 - 7. OTHER: THIS INCLUDES ANY OTHER DEFECTS THAT ARE NOT LISTED IN THE TITLE COMMITMENT.

LEGAL DESCRIPTION

AS SHOWN ON DEED OF STUART ADDITION, SECTION FIVE, AS RECORDED IN THE DEED OF APRIL 15, 1966.

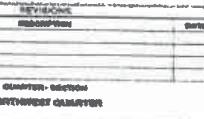


TITLE ALTMAN'S LAND TITLE SURVEY

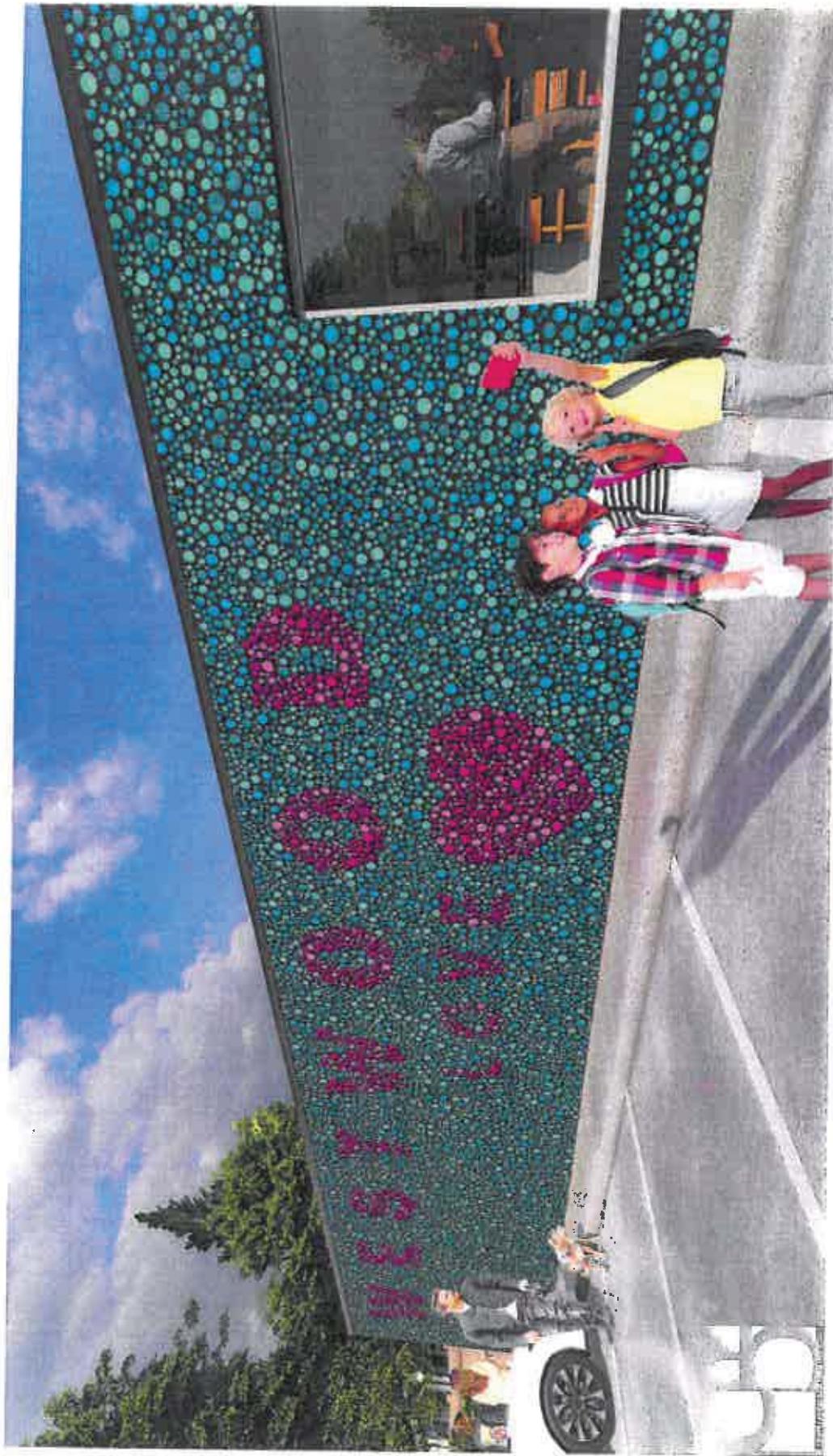
LOT 4 - STUART'S ADDITION TO OAK GROVE

FOR
SHANNON WALTCHECK

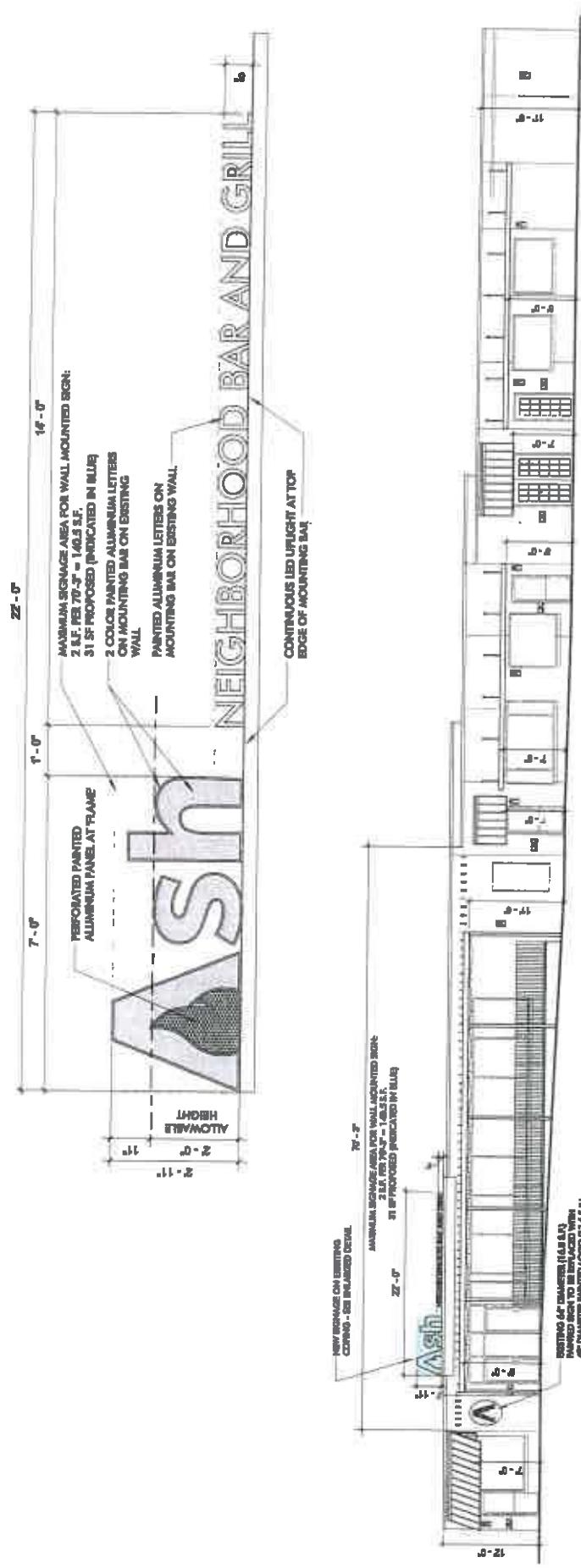
DATE: 06/28/2001
SURVEYOR: FIELD SURVEYOR NAME: INT'L NAME:
SURVEYOR: FIELD SURVEYOR NAME: INT'L NAME:
COORDINATE FILE: COORDINATE FILE:
ELEVATION: ELEVATION:
LAST PAGE SURVEY DATE: LAST PAGE SURVEY DATE:
REF ID: REF ID: 5000
REVISIONS: REVISIONS:
DESCRIPTION: DESCRIPTION:
RECORD DATE: RECORD DATE:
RECORD NUMBER: RECORD NUMBER:
RECORDED BY: RECORDED BY:
RECORDED DATE: RECORDED DATE:
RECORDED NUMBER: RECORDED NUMBER:



THE SHOPS AT OAK GROVE



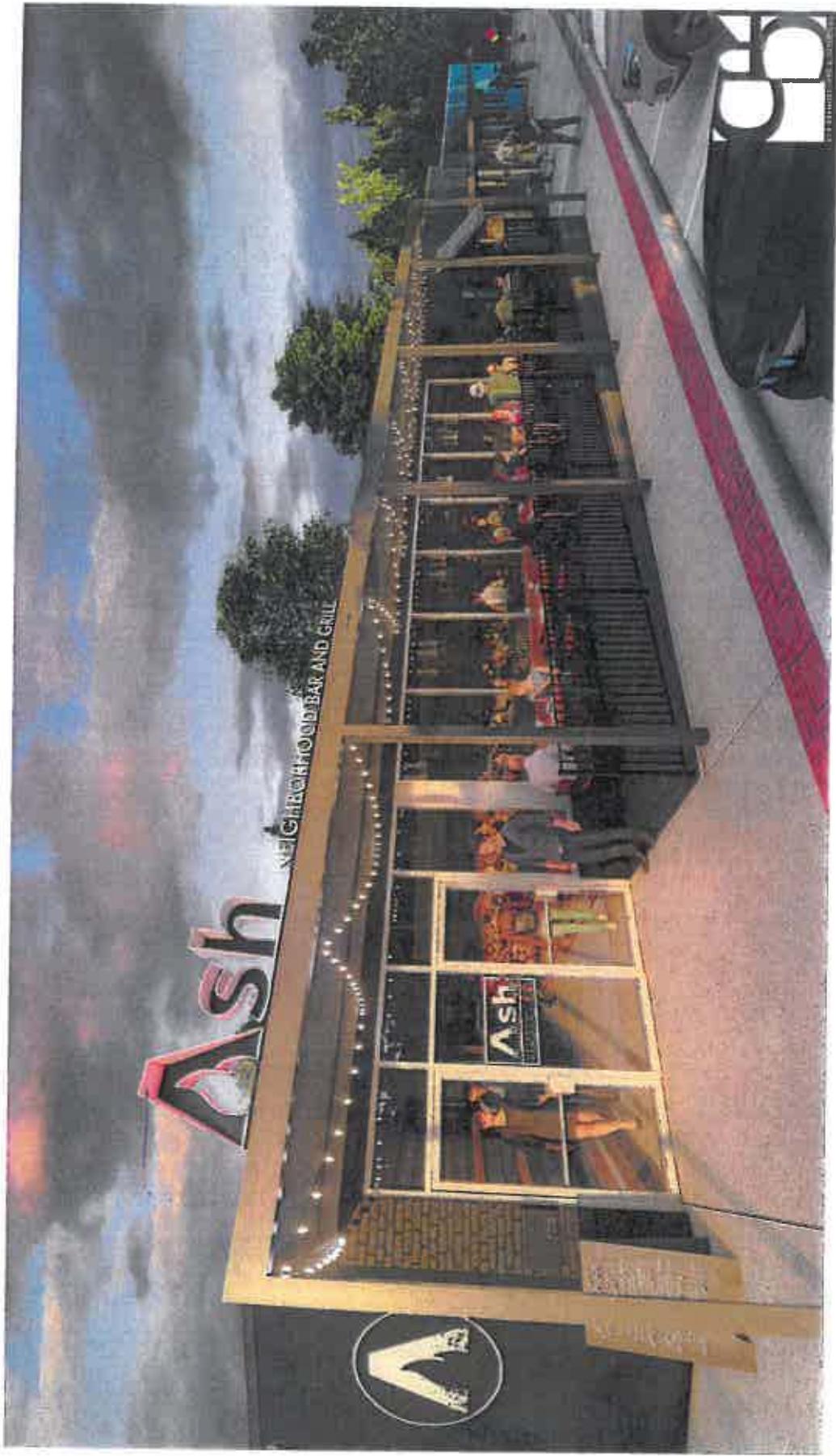
THE SHOPS AT OAK GROVE



THE SHOPS AT OAK GROVE



THE SHOPS AT OAK GROVE



709 Oak Grove Rd—Corner of Raleigh Ave & Oak Grove Rd



City of Homewood

709 Oak Grove Rd

TX 20-12-04

Locational Info



THE INFORMATION ON THIS DRAWING WAS COMPILED FROM SEVERAL SOURCES AND SHOULD ONLY BE USED FOR GENERAL INFORMATION AND ORIENTATION. THIS DRAWING IS THE PROPERTY OF THE CITY OF HOMEWOOD AND ITS USE BY ANYONE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY THE CITY OF HOMEWOOD IS PROHIBITED.

ZONING IS SUBJECT TO CHANGE. PLEASE CALL ZONING OFFICE TO CONFIRM ZONING. 332-6828

Form I.A.
APPLICATION FOR DEVELOPMENT PLAN APPROVAL
HOMewood PLANNING COMMISSION

1. Name of development: Lot 1F, Wildwood Centre, Lakeshore Pkwy, 35209

2. Date application filed: 11.18.20 3. Requested hearing date: 1.05.21

4. Approval requested by this application

Preliminary Development Plan

Amendment to Preliminary Development Plan

Final Development Plan

Amendment to Final Development Plan

5. Applicant: SDP Acquisitions, LLC (ATTN: Joe Schneider)

Phone: _____

Address: 310 Enterprise Drive, Oxford, MS 38655

6. Owner: Wildwood Center, LP, Parkway Fox, LLC and Mont Belview Properties IV,
Phone: LLC

Address: 701 NORTH POST OAK ROAD, STE. 210 HOUSTON, TX 77024

7. Attorney or authorized agent: N/A

Phone: N/A

Address: N/A

8. Engineer: Gonzalez - Strength & Associates, Inc.

Phone: (205)942-2486

Address: 1550 Woods of Riverchase Drive - Suite 200 Hoover, AL 35244

9. Surveyor: Gonzalez - Strength & Associates, Inc.

Phone: (205)- 942-2486

Address: 1550 Woods of Riverchase Drive - Suite 200 Hoover, AL 35244

10. Development Address(s): Lot 1F Wildwood Centre, Lakeshore Pkwy, 35209 (275 LAKESHORE PKW

11. Tax map parcel number(s): 29 00 26 2 000 001,008

12. Acreage: .96 13. Zoning: PUD - Wildwood Centre

14. Check all submissions with this application:

checklist

application fee

original plan in D-size

two (2) copies of plan

eleven by seventeen (11x17) of plan

proof of ownership

Signature of applicant: (SEE ATTACHED AGENT OF RECORD LETTER)

Signature of authorized agent or attorney: _____

Signature of authorization by owner: (SEE ATTACHED AGENT OF RECORD LETTER)

For City Use Only:

\$ 100. 00 application fee received on 1/18/20 by receipt # —

Scheduled hearing date: JANUARY 5, 2021

Application received by: FRED GOODWIN on NOV. 18, 2020

AGENT OF RECORD LETTER

TO THE CITY OF HOMEWOOD AND/OR JEFFERSON COUNTY DEVELOPMENT REVIEW DIVISION AND/OR THE DEVELOPMENT REVIEW COMMITTEE, PLANNING COMMISSION, BOARD OF COUNTY COMMISSIONERS, WATER MANAGEMENT DISTRICT, ADEM, AND ALDOT.

For the property identified as Parcel ID number 29 00 26 2 000 001.008, Wildwood Center, LP; Parkway Fox, LLC; Mont Belview Properties, IV, LLC, hereby designate and appoint Joseph Schneider, Managing Member of SDP Acquisitions, LLC as my/our Agent of Record for the purposes of representing me/us during the Development Review Process and/or hearing process.

Date: 11/20/20

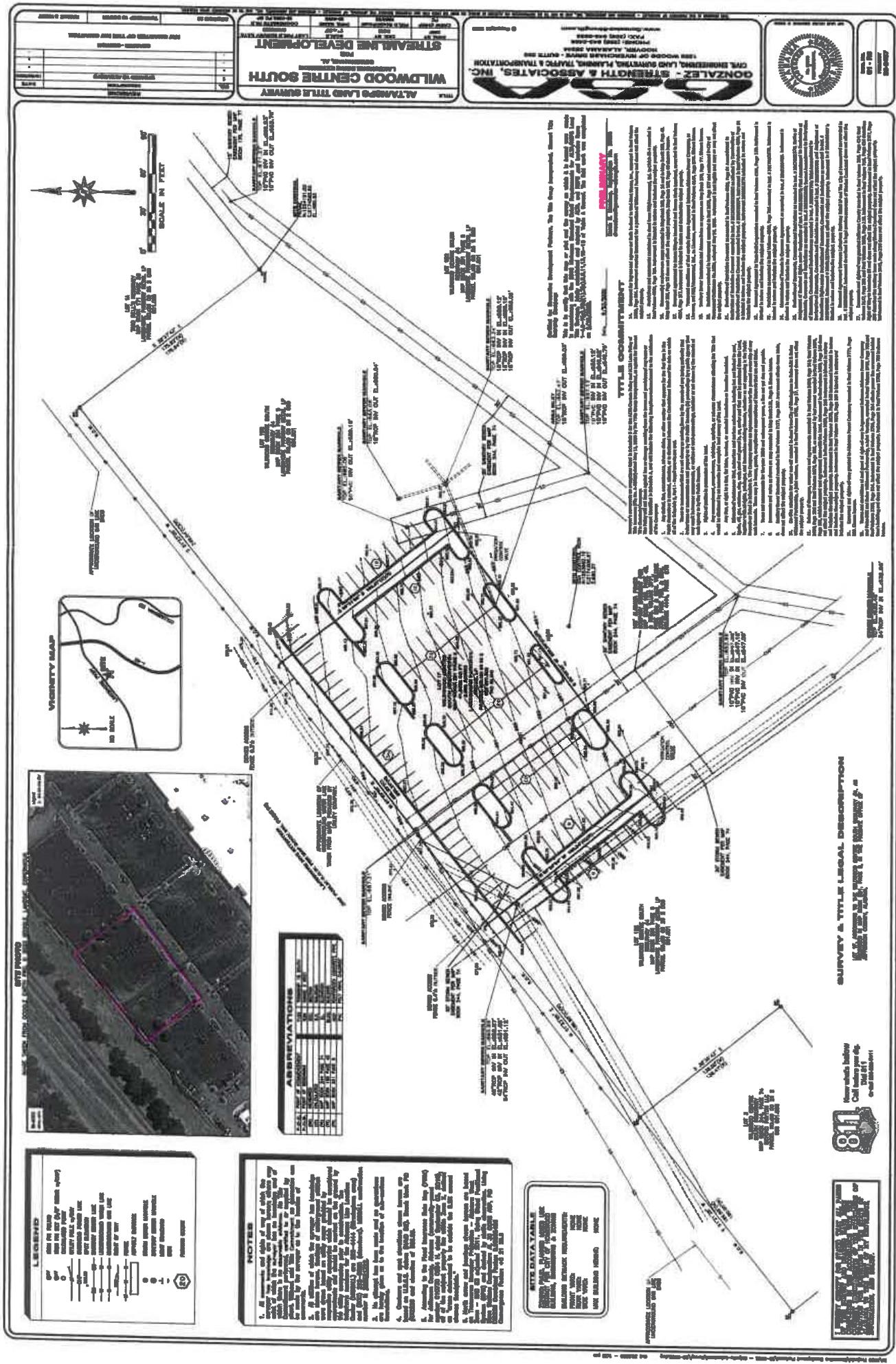
By: Wildwood Center, LP
Wildwood Center Management, Inc.
Hardam S. Azad, President
APPLICANT/OWNER (PRINT)

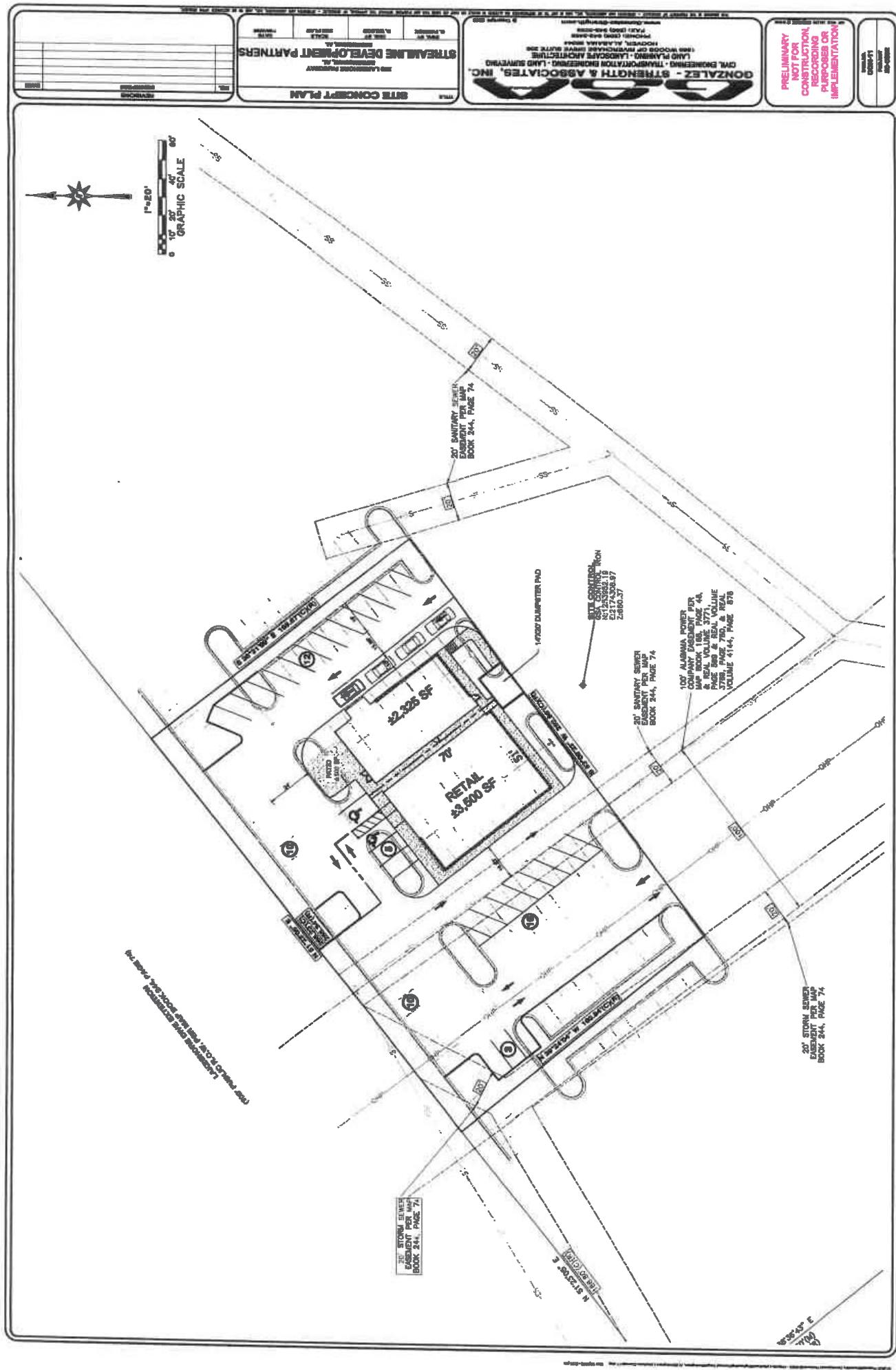
By: Wildwood Center, LP
Wildwood Center Management, Inc.
Redacted by BEZ Staff

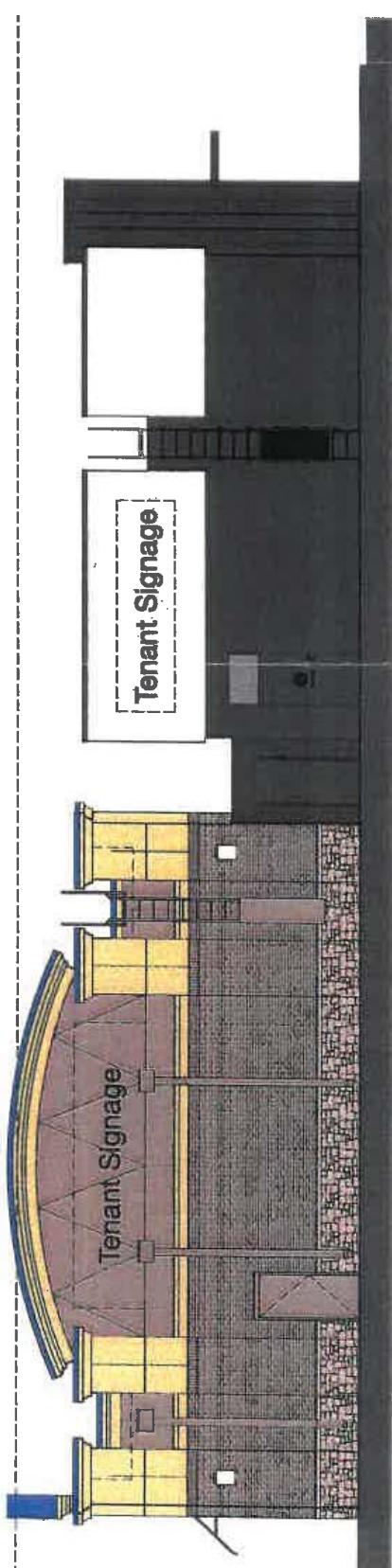
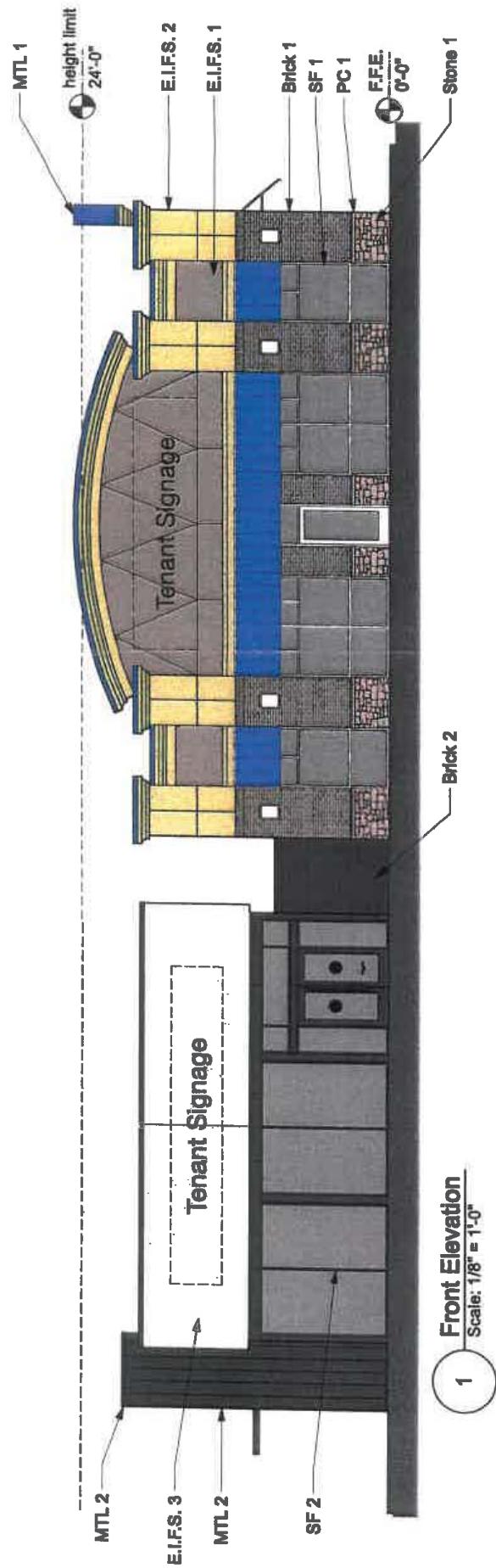
Hardam S. Azad APPICANT/OWNER'S SIGNATURE
President
APPLICANT/OWNER'S TITLE

Joseph A. Schneider
Redacted by BEZ Staff

APPLICANT/REPRESENTATIVE'S SIGNATURE
310 Enterprise Drive ADDRESS
Oxford, MS 38655 CITY, STATE, ZIP
205-383-9481 TELEPHONE







Lakeshore Drive Retail
Homewood, Alabama

Exterior Elevations
12/09/20

MATERIALS KEY

BRICK - 1:	Pine Half Brown's Ferry w/ incisor to match brick.
BRICK - 2:	Cheviot: MG Vetro Block w/ incisor to match brick.
MTL - 1:	Uni-Cast: "Tectonic Blue"
MTL - 2:	Uni-Cast: "Citrine"
SF - 1:	Champagne & Almondized Aluminum
SF - 2:	Charcoal Aluminum

PC - 1:	Stonemast precast all "Uniseal"
Stone - 1:	Dutch Quality Stone Drystack or approved equal
E.I.F.S. - 1:	Dock 202 "Timber"
E.I.F.S. - 2:	Dock 110 "Van Dyke"
E.I.F.S. - 3:	Dryvit to match under "tag"
E.I.F.S. - 4:	Dryvit to match under "tag's Armor"

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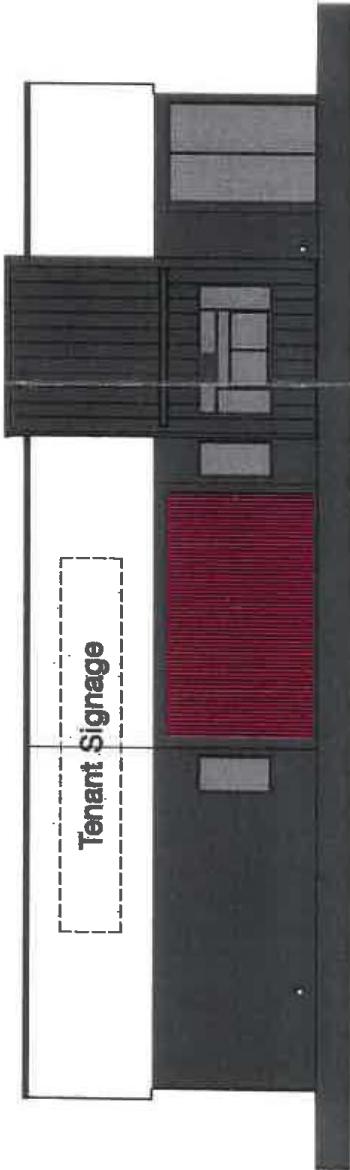
BLACKMON ROGERS
ARCHITECTS LLC

Lakeshore Drive Retail
Homewood, Alabama

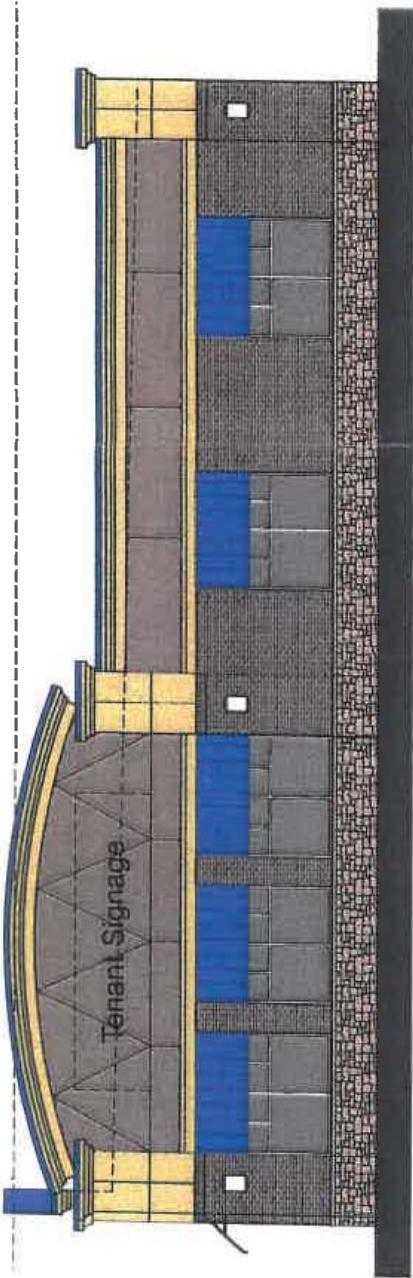
BLACKMON ROGERS
ARCHITECTS LLC

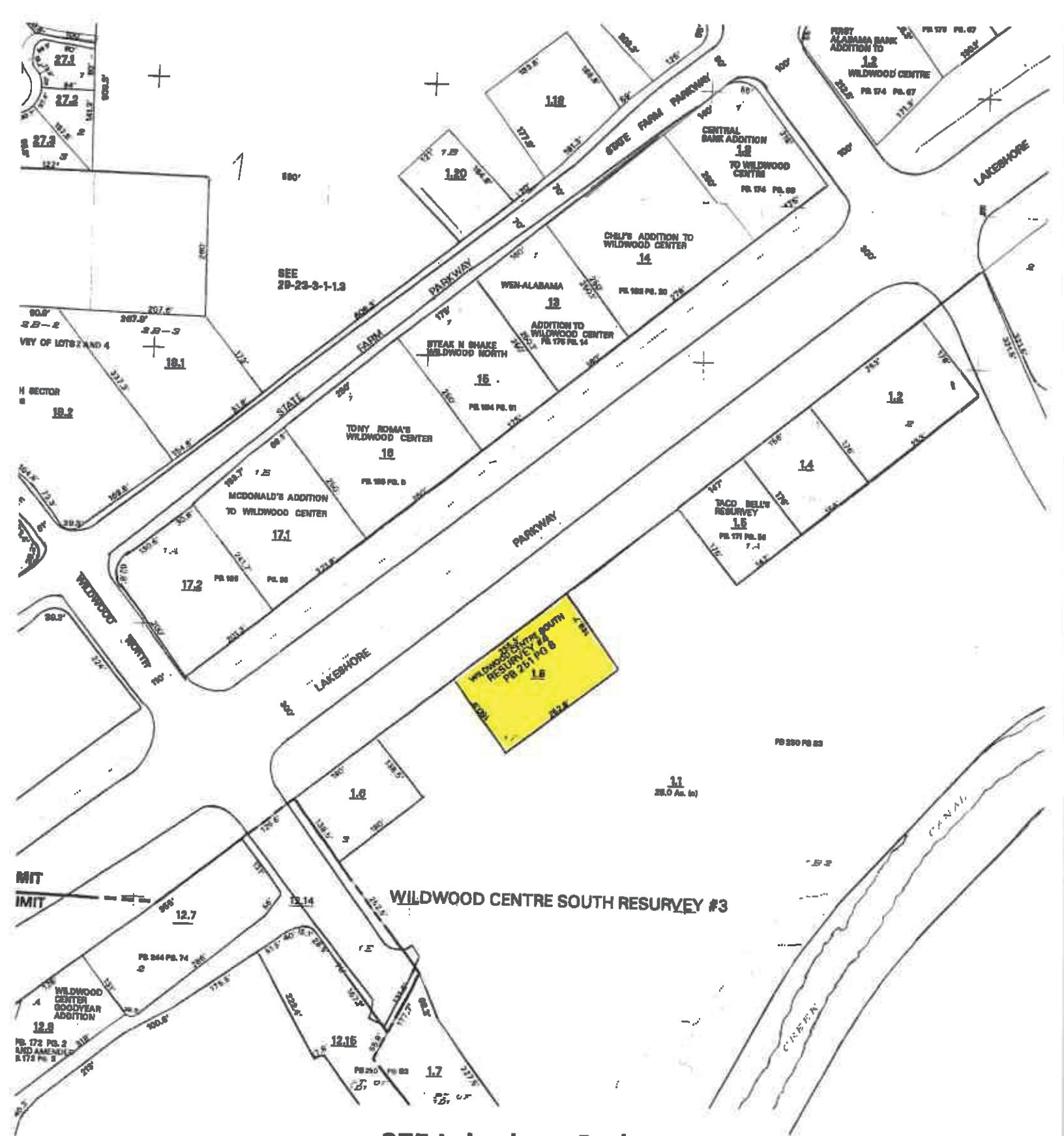
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1 Left Side Elevation
Scale: 1/8" = 1'-0"



2 Right Side Elevation
Scale: 1/8" = 1'-0"





275 Lakeshore Parkway Amended Development Plan Wildwood Centre South Case # AD 21-01-03

Parcel # 29-00-26-2-000-001.008

Amendment to Wildwood Centre South Redevelopment
Plan to permit the construction of a two tenant retail building

City of Homewood

275 Lakeshore Pkwy

AD 21-01-03

Aerial Photo



0 40 80 160 240
Feet

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ZONING IS SUBJECT TO CHANGE.
PLEASE CALL ZONING OFFICE TO
CONFIRM ZONING. 352-682-2828



Form I.A.
APPLICATION FOR DEVELOPMENT PLAN APPROVAL
HOMEWOOD PLANNING COMMISSION

1. Name of development: Whataburger
2. Date application filed: 11/11/2020
3. Requested hearing date: 01/05/2020
4. Approval requested by this application
 - Preliminary Development Plan
 - Amendment to Preliminary Development Plan
 - Final Development Plan
 - Amendment to Final Development Plan
5. Applicant: Whatabrands Real Estate (MATT BARTHOLOMEW - REAL ESTATE PROJECT MANAGER)
Phone: _____
Address: 300 Concord Plaza Drive, San Antonio, TX 78216
6. Owner: D3, LLC c/o Oldacre McDonald
Phone: _____
Address: 3841 Green Hills Village Dr., Ste. 400, Nashville, TN 37215
7. Attorney or authorized agent:
Phone: _____
Address: _____
8. Engineer: Gonzalez-Strength & Associates, Inc.
Phone: 205-942-2486
Address: 1550 Woods of Riverchase Dr., Ste.200, Hoover, AL 35244
9. Surveyor: Gonzalez-Strength & Associates, Inc.
Phone: 205-942-2486
Address: 1550 Woods of Riverchase Dr., Ste.200, Hoover, AL 35244

10. Development Address(s): 195 State Farm Pkwy., Homewood, AL 35209

11. Tax map parcel number(s): 012900233001001002

12. Acreage: 0.92

13. Zoning: PMUD

14. Check all submissions with this application:

checklist

application fee

original plan in D-size

two (2) copies of plan

eleven by seventeen (11x17) of plan

proof of ownership

Signature of applicant: _____ Redacted by BEZ Staff

Signature of authorized agent or attorney: _____ Redacted by BEZ Staff

Signature of authorization by owner: _____

For City Use Only:

\$ 100.00 application fee received on Nov. 12, 2020 by receipt # 321334

Scheduled hearing date: JANUARY 5, 2021

Application received by: GREG COBB on Nov. 12, 2020



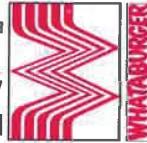
**Castles
Design
Group**

A Professional Corporation
3000 Peachtree Tech Center
N.W.
Atlanta, Georgia 30339
Tel: 770.944.7674
Fax: 770.944.7676

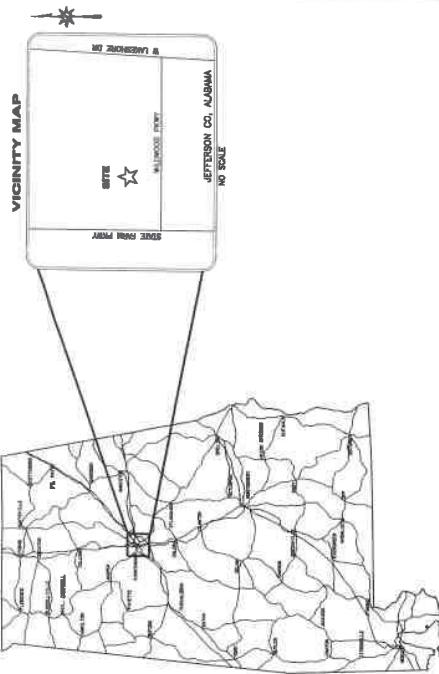
THIS/ THESE DOCUMENTS ARE
NOT INTENDED FOR
REGULATORY APPROVAL,
PERMITTING, OR
CONSTRUCTION.

REV.	DESCRIPTION	DATE
1		
2		
3		
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5		
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7		
8		
9		
10		

LAKESHORE PARKWAY AND WILDWOOD PARKWAY



BIRMINGHAM, AL 36211
Project No.: 20-0282
Drawing No.: 201-0282
Drawing Date: 05/20/2020
Drawing Type: COV-BW
Owner: 100%
Engineer: 100%
Surveyor: 100%
Drafter: 100%
Plotter: 100%



WHATABURGER
REAL ESTATE #2104722

CIVIL CONSTRUCTION PLANS

NEQ LAKESHORE PARKWAY AND WILDWOOD PARKWAY
BIRMINGHAM, ALABAMA 35211
GSA PROJECT# 20-0283

POINTS OF CONTACT

CIVIL ENGINEERING CONSULTANT
MATTHEW D. SIME, PE
GONZALEZ-STRENGTH & ASSOCIATES, INC.
1650 WOODS OF RIVERCHASE DRIVE, SUITE 200
HOOVER, AL 35244
(205) 942-9406
MSIMM@GONZALEZ-STRENGTH.COM

WATER COMPANY
DERICK MURPHY
BIRMINGHAM WATER WORKS BOARD
3900 15TH AVENUE NORTH
BIRMINGHAM, AL 35222
(205) 242-5200
DERICK.MURPHY@BWWB.ORG

SEWER COMPANY
EALY KEMP
JEFFERSON COUNTY ENVIRONMENTAL SERVICES
111 N RICHARD ARRINGTON JR. BLVD NORTH
BIRMINGHAM, AL 35205
(205) 242-5070
KEMP@EJCES.ORG

FIRE DEPARTMENT
NICK HILL
FIRE MARSHAL
200 15TH STREET, SOUTH
HOMEWOOD, AL 35209
(205) 388-1617
NICHOLAS.HILL@HOMEWOODAL.ORG

CITY BUILDING, ENGINEERING, & ZONING
WATTPHYSICIAN
CITY OF HOMEWOOD
200 15TH STREET, SOUTH
HOMEWOOD, AL 35209
(205) 388-1602
WATTPHYSICIAN@HOMEWOODAL.ORG

POWER COMPANY
ALABAMA POWER COMPANY
1218 8TH AVENUE NORTH
BIRMINGHAM, AL 35203
(205) 228-1180

LANDSCAPE ARCHITECT
ROBERT L. PAZZINO, MA
CASTLE DESIGN GROUP PC
3601 Kirby Drive, Suite 800
Houston, TX 77060
(713) 654-5774, Ext. 1306
PAZZINO@CASTLEDIGITALGROUP.COM

SHEET NO.	DESCRIPTION
C0.0	CIVIL COVER SHEET
C1.0	ALTAMIPS LAND TITLE SURVEY
C2.0	SITE DEMOLITION PLAN
C3.0	SITE LAYOUT PLAN
C4.0	SITE DIMENSION CONTROL PLAN
C5.0	SITE CONCRETE JOINTING PLAN
C6.0	SITE QABLING & DRAINAGE PLAN
C7.0	EROSION CONTROL PLAN
C8.0	EROSION CONTROL DETAILS
C9.0	SITE UTILITY PLAN
C10.0	SECTIONS & DETAILS
C11.0	SECTION & DETAILS
C12.0	LANDSCAPE PLAN
C13.0	LANDSCAPE SCHEDULE & DETAILS
C14.0	IRRIGATION PLAN
C15.0	IRRIGATION SLEAVING PLAN
C16.0	IRRIGATION NOTES & DETAILS

SHEET INDEX

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C0.0	CIVIL COVER SHEET
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C11.0	SECTION & DETAILS
C12.0	LANDSCAPE PLAN
C13.0	LANDSCAPE SCHEDULE & DETAILS
C14.0	IRRIGATION PLAN
C15.0	IRRIGATION SLEAVING PLAN
C16.0	IRRIGATION NOTES & DETAILS

GSA PROJECT NO.: 20-0282





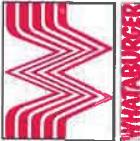
**Castles
Design
Group**

A Professional Corporation
3601 Kirby Dr., Suite 600
Houston, TX 77098
Tel: 713 664 7700
Fax: 713 664 0700

THREESE DOCUMENTS ARE
NOT INTENDED FOR
REGULATORY APPROVAL,
PERMITTING, OR
CONSTRUCTION.

REF.	DESCRIPTION	DATE
1		
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3		
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5		
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10		

LAKESHORE PARKWAY AND WILDWOOD PARKWAY



BIRMINGHAM, AL 36211

Plot No.: 20-0282
Drawing No.: 20-0282
Date:

Page	Site Plan	Page	Site Plan
1	20-0282	2	20-0282
2	20-0282	3	20-0282
3	20-0282	4	20-0282
4	20-0282	5	20-0282

SITE DEMOLITION LEGEND

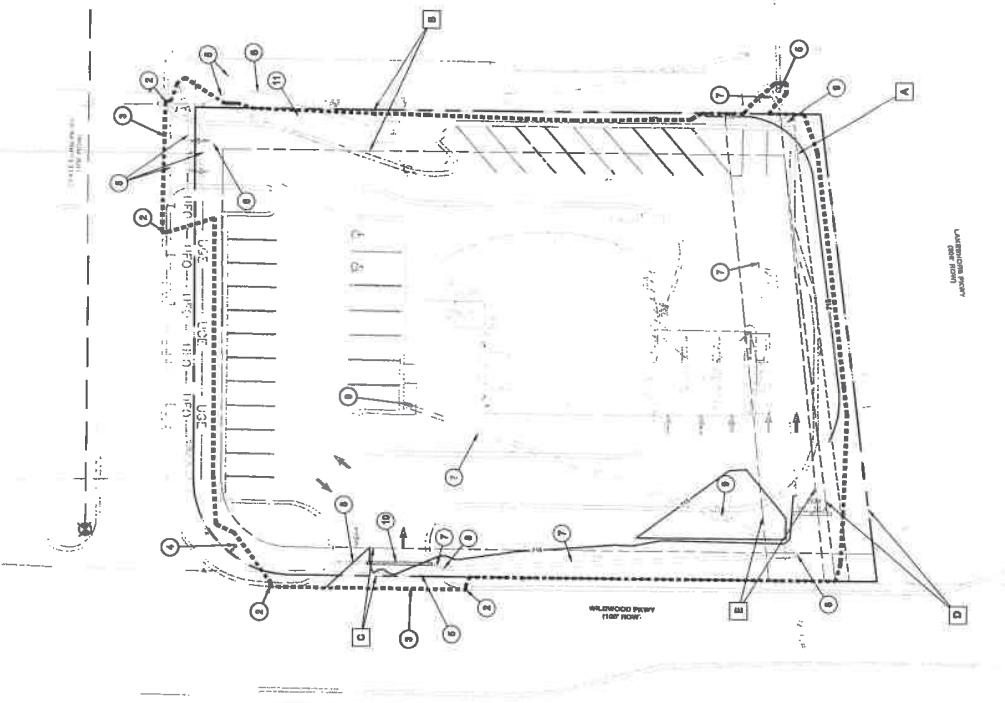
- CONCRETE LISTS, TYPICAL.
- CONCRETE AND IRON REINFORCED COLUMNS AND BEAMS.
- SWIVELING AND SWING DOORSETS, DOORS.
- EXTERIOR LIGHT POLE TO TERMINAL.
- EXTERIOR UTILITY TO TERMINAL.
- EXTERIOR STRUCTURE TO TERMINAL.
- EXTERIOR STRUCTURE TO BUILDING.

SETBACK & EASEMENT LEGEND

- △ PUBLIC EASEMENT OR ALONGLINE LAND TITLE SURVEY FOR SUPER INFORMATION.
- □ PUBLIC EASEMENT OR ALONGLINE LAND TITLE SURVEY FOR SUPER INFORMATION.
- □ PUBLIC EASEMENT OR ALONGLINE LAND TITLE SURVEY FOR SUPER INFORMATION.
- □ PUBLIC EASEMENT OR ALONGLINE LAND TITLE SURVEY FOR SUPER INFORMATION.
- □ PUBLIC EASEMENT OR ALONGLINE LAND TITLE SURVEY FOR SUPER INFORMATION.

DEMOLITION NOTES

1. COMMUNICATE WITH ALL OWNERS, TENANTS, AND CONTRACTORS, AS APPROPRIATE, TO DETERMINE WHETHER THERE IS ANY EXISTING EQUIPMENT OR SYSTEMS THAT ARE NOT SHOWN ON THIS DRAWING.
2. ALL EXISTING EQUIPMENT, SYSTEMS, AND UTILITIES SHALL BE REMOVED BY THE OWNER OF RECORD. THE CONTRACTOR SHALL NOT REMOVE ANY EQUIPMENT, SYSTEMS, OR UTILITIES UNLESS THEY HAVE BEEN APPROVED BY THE OWNER OF RECORD.
3. ALL EXISTING EQUIPMENT, SYSTEMS, AND UTILITIES SHALL BE REMOVED BY THE OWNER OF RECORD. THE CONTRACTOR SHALL NOT REMOVE ANY EQUIPMENT, SYSTEMS, OR UTILITIES UNLESS THEY HAVE BEEN APPROVED BY THE OWNER OF RECORD.
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16. ALL EXISTING EQUIPMENT, SYSTEMS, AND UTILITIES SHALL BE REMOVED BY THE OWNER OF RECORD. THE CONTRACTOR SHALL NOT REMOVE ANY EQUIPMENT, SYSTEMS, OR UTILITIES UNLESS THEY HAVE BEEN APPROVED BY THE OWNER OF RECORD.



Local road
Landmark



GSA PROJECT NO.: 20-0282

SITE DEMOLITION PLAN

Date: 10/20/2020 Plot: 005
Drawing No.: 20-0282 Zone: B
Client: GSA Owner: GSA



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Rev	Description	Date
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Case Paper No.: 2016722

SITE DISCUSSION PLAN

LAYOUT LEGEND

STATS ANALYSIS TABLE	
	RATIO OF # OF ACTIVES
PROTOTYPING	1.00
DATASTRUCTURE	1.00
ALGORITHM	1.00
LIVING SYSTEMS	1.00
PROGRAMMING	1.00
DATASTRUCTURE & ALGORITHM	1.00
PROTOTYPING & PROGRAMMING	1.00
DATASTRUCTURE & ALGORITHM & PROTOTYPING	1.00
PROGRAMMING & PROTOTYPING	1.00
DATASTRUCTURE & ALGORITHM & PROGRAMMING	1.00
DATASTRUCTURE & ALGORITHM & PROTOTYPING & PROGRAMMING	1.00
ALL	1.00
MEAN	1.00
STANDARD DEVIATION	1.00
MIN	1.00
MAX	1.00
SUM	1.00
PRODUCT	1.00
GRADUATE STUDENTS	1.00
GRADUATE STUDENTS & TOTAL	1.00
GRADUATE STUDENTS & TOTAL & GPA	1.00

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LAKESHORE PARKWAY
AND WILDWOOD PARKWAY

BIRMINGHAM, AL 35211
LAKESHORE
AND WILD
WHAT'S NEW

Case Paper No.: 2016722

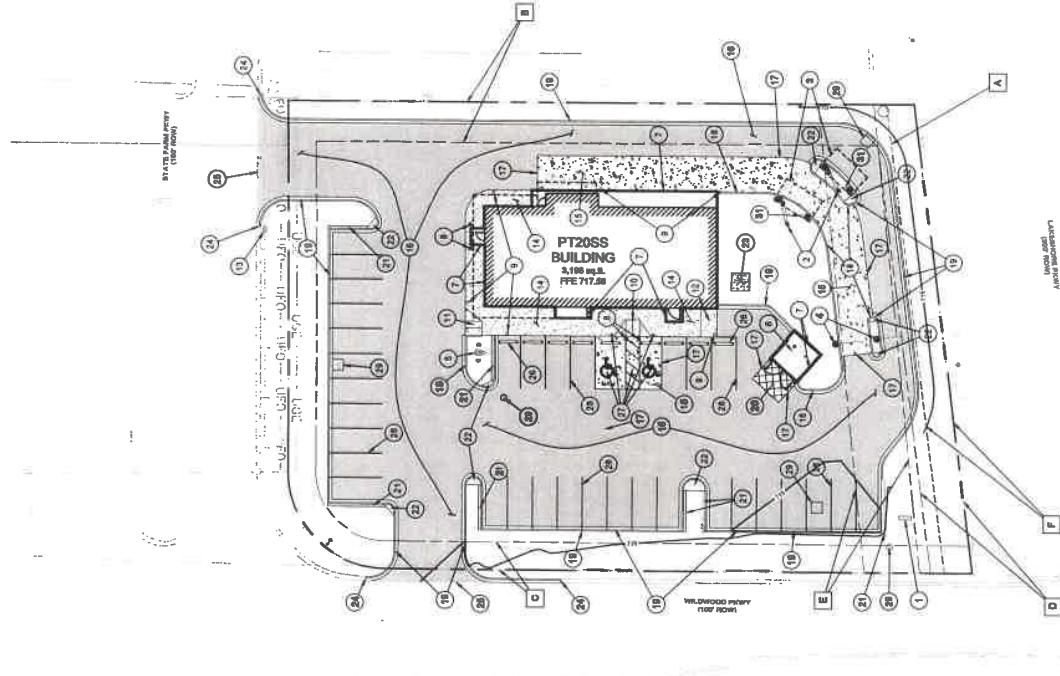
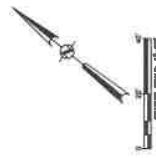
SITE DISCUSSION PLAN

SETBACK & EASEMENT LEGEND

- A) A LANDOWNER'S STATEMENT THAT ALLEGES LAND TITLE IS SUBJECT FOR SOME INFORMATION.
B) A LETTER SUBMITTED BY THE LAND OWNER TO THE RECORDS OFFICE FOR SOME INFORMATION.
C) AN ATTORNEY'S STATEMENT THAT ALLEGES LAND TITLE IS SUBJECT FOR SOME INFORMATION.
D) A LETTER SUBMITTED BY THE ATTORNEY TO THE RECORDS OFFICE FOR SOME INFORMATION.
E) A LETTER SUBMITTED BY THE ATTORNEY TO THE LAND OWNER AT THE LAND OWNER'S REQUEST FOR SOME INFORMATION.

GENERAL NOTES

SITE LAYOUT NOTES



DISTINCTIVE PERSPECTIVES ON INTEGRATING TECHNOLOGIES - SMALL CLASS Full Rd and Biggs Engineering



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1000 3/00

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GENERAL NOTES

2. Enclosed in each unit is a copy of the "Guidelines for Conducting a Residential Duct System Performance Test." It is recommended that all contractors, manufacturers, and suppliers of ductwork, insulation, ventilation equipment and related products read this document before proceeding with any duct system test.

3. The test is conducted by a professional who has been trained in the use of the test equipment and has experience in the field of duct system performance testing.

4. The test is conducted on a residential duct system that has been installed in accordance with the manufacturer's instructions and guidelines.

5. The test is conducted on a residential duct system that has been installed in accordance with the manufacturer's instructions and guidelines.

6. The test is conducted on a residential duct system that has been installed in accordance with the manufacturer's instructions and guidelines.

7. The test is conducted on a residential duct system that has been installed in accordance with the manufacturer's instructions and guidelines.

8. The test is conducted on a residential duct system that has been installed in accordance with the manufacturer's instructions and guidelines.

9. The test is conducted on a residential duct system that has been installed in accordance with the manufacturer's instructions and guidelines.

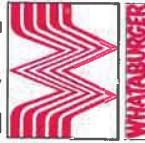
10. The test is conducted on a residential duct system that has been installed in accordance with the manufacturer's instructions and guidelines.

11. The test is conducted on a residential duct system that has been installed in accordance with the manufacturer's instructions and guidelines.

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LAKESHORE PARKWAY
AND WILDWOOD PARKWAY



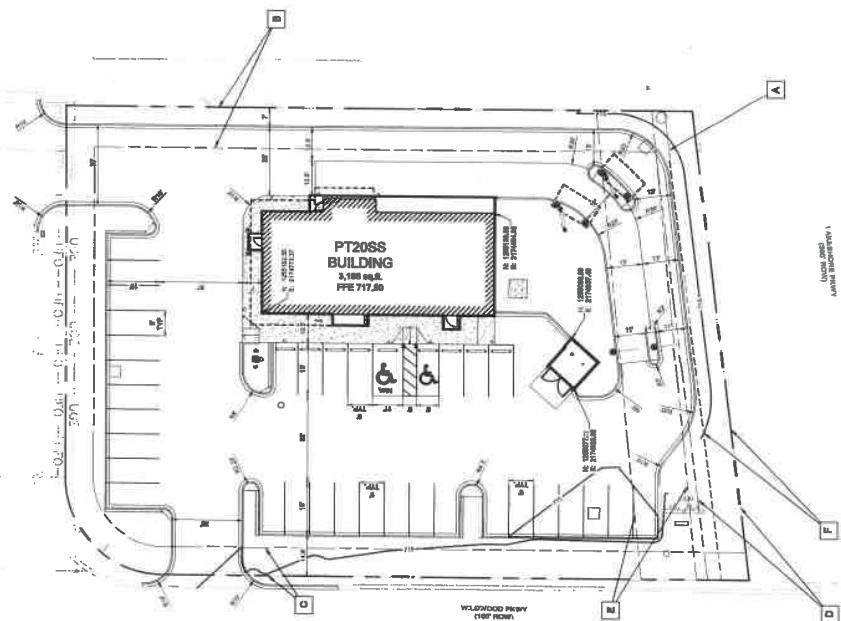
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SITE DIMENSION PLAN	Phone: 00%	Drawing No.: 03
1000x1000	Sheet No.: 002	

SETBACK & EASEMENT LEGEND

SITE LAYOUT NOTES

- A. BY LANDOWNER BARNNUMBER AND ALPHABETICAL LAND TITLE SURVEY FOR BOUNDARY INFORMATION.
 - B. BY UTILITY COMPANY AND ALPHABETICAL LAND TITLE SURVEY FOR BOUNDARY INFORMATION.
 - C. BY UTILITY BARNNUMBER AND ALPHABETICAL LAND TITLE SURVEY FOR BOUNDARY INFORMATION.
 - D. BY UTILITY BARNNUMBER ALPHABETICAL LAND TITLE SURVEY FOR BOUNDARY INFORMATION.
 - E. BY UTILITY DISTRIBUATOR UTILITY MANAGEMENT UNIT ALPHABETICAL LAND TITLE SURVEY FOR BOUNDARY INFORMATION.
 - F. BY PARCEL NUMBER



Digitized by srujanika@gmail.com



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Tel: 205.991.7744
Fax: 205.991.7750

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DRAINAGE LEGEND

- (1) TRENCH DRAIN SYSTEMS, 100 FT.
- (2) 24 IN. OF PIPE @ 100 FT. SECTIONS
- (3) CONCRETE SEWER PIPES TO 100' MILE MARK
- (4) TOP OF PIPE
- (5) 48" DIA. DIA. PIPE
- (6) 48" DIA. DIA. PIPE
- (7) CONCRETE SEWER STRUCTURE TO 100' MILE MARK
- (8) TOP OF PIPE
- (9) 48" DIA. DIA. PIPE
- (10) 48" DIA. DIA. PIPE
- (11) 120' OF 100' @ 100' MILE MARK
- (12) STEEL HATCHES & DOORS
- (13) DRAINS IN PAVEMENT
- (14) END CAP PLATES
- (15) ADJUSTABLE DRAIN TOP TO PAVEMENT GRADE LEVELS

GRADING LEGEND

- | | |
|-------|-----------------|
| FFF | MAJOR CONTROL |
| --- | MINOR DRAIN |
| ----- | FLAT LINE |
| | INCUT/TALUS |
| | OUTCUT/TALUS |
| 10 | TOP OF CUT |
| 11 | TOP OF FILL |
| 12 | TOP OF GROUND |
| 13 | TOP OF PAVEMENT |

GRADING & DRAINAGE NOTES

The grading plan shows the general configuration of the facility. Specific drainage details of interest include:
 1. The area of interest is bounded by the existing 100' mile marker 24" drain system, the 100' mile marker 120' drain system, and the 100' mile marker 100' drain system.
 2. The area of interest is bounded by the existing 100' mile marker 24" drain system, the 100' mile marker 120' drain system, and the 100' mile marker 100' drain system.
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SITE PREPARATION NOTES

1. It is the responsibility of the developer to coordinate with the local utility companies for relocation of existing utility lines. All utility lines must be disconnected prior to the start of construction. Existing utility lines must be disconnected at the point of entry to the building or facility.

2. It is the responsibility of the developer to coordinate with the local utility companies for relocation of existing utility lines. All utility lines must be disconnected at the point of entry to the building or facility.

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Total area:
Acre(s) ±

Area(s) ±

Approved by _____ on _____



BIRMINGHAM, AL 35211
WHATABURGER
Project No.: 20-02882
Date Printed: 20/07/2022
Drawing No.: 001
Page No.: 001
Sheet No.: 001
Scale: 1:1000
Drawing Title: SITE GRADING PLAN



GSA PROJECT NO.: 20-02882
Project Name: GSA PROJECT NO.: 20-02882
Address: 1000 10th Street, N.W., Washington, D.C. 20418
City: Washington
State: District of Columbia
Zip: 20418
Phone: 202-223-8700
Fax: 202-223-8777
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Web Address: [redacted]



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UTILITY LEGEND

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LAKESHORE PARKWAY
AND WILDWOOD PARKWAY



BIRMINGHAM, AL 35211

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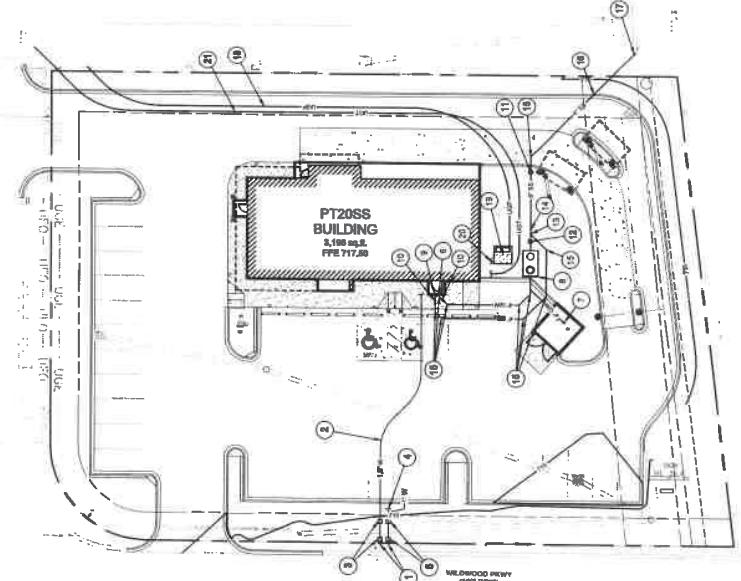


GSA PROJECT NO.: 20-0282



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REV. DATE
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2 2/1/00
3 3/1/00
4 4/1/00
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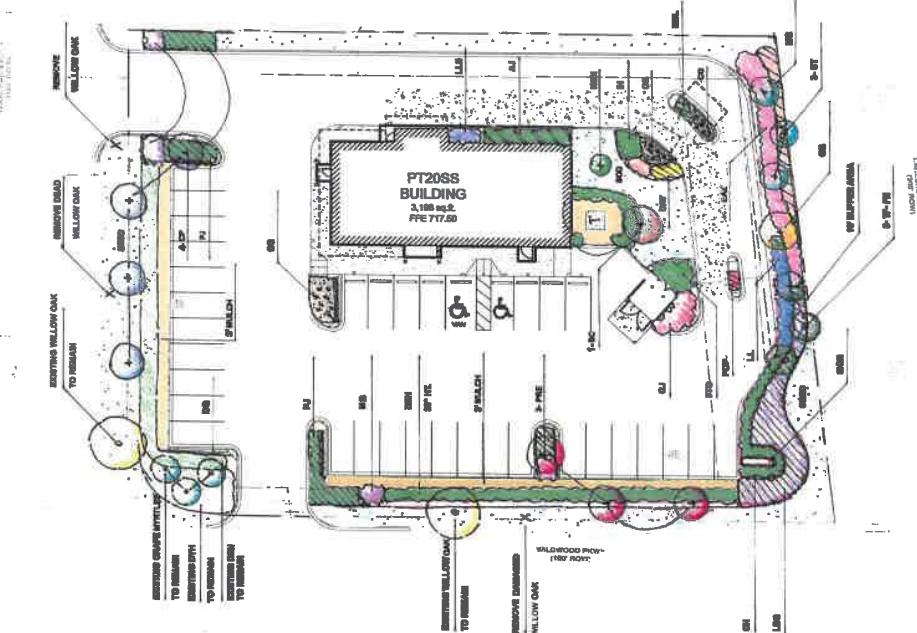


Page No.: 20-0285
Contract No.: 204122

Drawing No.: LAKESHORE CONCEPT PLAN
Date: 10/02/00
Architect: M. H.
Drawn By: E.
Clerk: C.



GSA PROJECT NO.: 20-0282



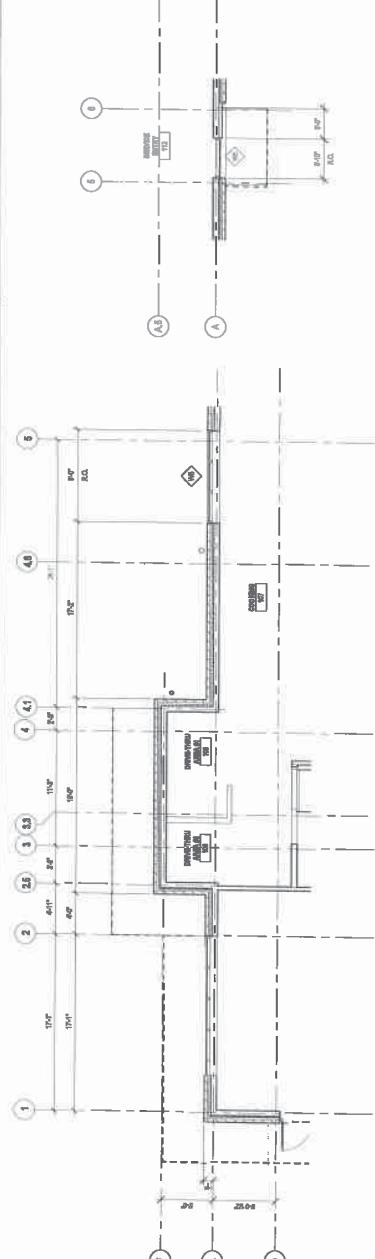


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Fax: 713.884.2824

GENERAL NOTES

1. DRAFTER'S DRAWINGS.
2. COPY THIS DRAWING AND MAKE A COPY OF ANY CHANGES MADE TO THIS DRAWING.
3. NO COMMUNICATIONS FROM LIAISON OR ENGINEERS.
4. PROVIDE MATERIAL AND CONTRACTOR TO MEET APPROVAL CODE REQUIREMENTS.
5. INTERNAL PARTITIONS TO COORDINATE WITH MANUFACTURER INSTRUCTION, ARCHITECT FURNISH TO YOU, AND CONTRACTOR REFERRED TO AS MANUFACTURER INSTRUCTIONS.
6. REINFORCED CONCRETE IN PIPES ALLOWED IN EXISTING CONTRACTOR WELD, PLATE AND ELLIOTTS, LIAISON OR ENGINEERS.
7. PROVIDE PLANS FOR THE MANUFACTURER'S APPROVAL AND SUBMISSION FOR INSPECTION.
8. MANUFACTURER DESIGN CONTRACTOR AUTHORIZES MANUFACTURER TO MAKE CHANGES AND REQUESTS MANUFACTURER TO MAKE CHANGES.
9. PROVIDE INFORMATION MATERIAL, IN THE FORMATION AS REQUESTED BY APPROPRIATE CODES.
10. PROVIDE ACCESS TO ATTACHMENT MATERIALS AND SHEET METAL UNLESS OTHERWISE REQUESTED.
11. PROVIDE ALL INFORMATION FOR THE MANUFACTURER TO PRINT OR PRINTABLE, OTHERWISE USE OF COMPUTER SYSTEMS FOR THE MANUFACTURER TO PRINT.
12. CONTRACTOR IS ADVISED TO CHECK THE DRAWINGS FOR THE MANUFACTURER'S APPROVAL. CONTRACTOR IS ADVISED TO CHECK THE DRAWINGS FOR THE MANUFACTURER'S APPROVAL.
13. CONTRACTOR IS ADVISED TO CHECK THE DRAWINGS FOR THE MANUFACTURER'S APPROVAL.
14. PROVIDE INFORMATION ON MANUFACTURER'S APPROVAL AND SUBMISSION FOR INSPECTION.
15. PROVIDE ALL SUPPORTS FOR THE MANUFACTURER'S APPROVAL.
16. WHERE THE DRAWINGS ARE PROVIDED WITH CROWNING ON THE TOP OF THE WALL, PROVIDE THE MANUFACTURER'S APPROVAL.
17. CONTRACTOR SHALL PROVIDE SPECIFIC INFORMATION WHEN THE INSTALLATION OF PROVIDED DRAWINGS, OTHER MATERIALS, AND OTHER METHODS ARE LOCATED ON THE DRAWINGS WHICH DO NOT FOLLOW THE CONTRACTOR'S STANDARD PRACTICE.
18. CONTRACTOR IS ADVISED TO CHECK THE DRAWINGS FOR THE MANUFACTURER'S APPROVAL.
19. CONTRACTOR IS ADVISED TO CHECK THE DRAWINGS FOR THE MANUFACTURER'S APPROVAL.
20. CONTRACTOR IS ADVISED TO CHECK THE DRAWINGS FOR THE MANUFACTURER'S APPROVAL.
21. CONTRACTOR IS ADVISED TO CHECK THE DRAWINGS FOR THE MANUFACTURER'S APPROVAL.
22. ALL INFORMATION TO THE MANUFACTURER IS SUBJECT TO MANUFACTURER'S APPROVAL.
23. NO REBONDING.



PARTIAL FIRST FLOOR PLAN AT B4-F
S10' = 1'-0"

REF	DESCRIPTION	DATE

LAKESHORE PARKWAY & WILLOWOOD PARKWAY

BIRMINGHAM AL 35299

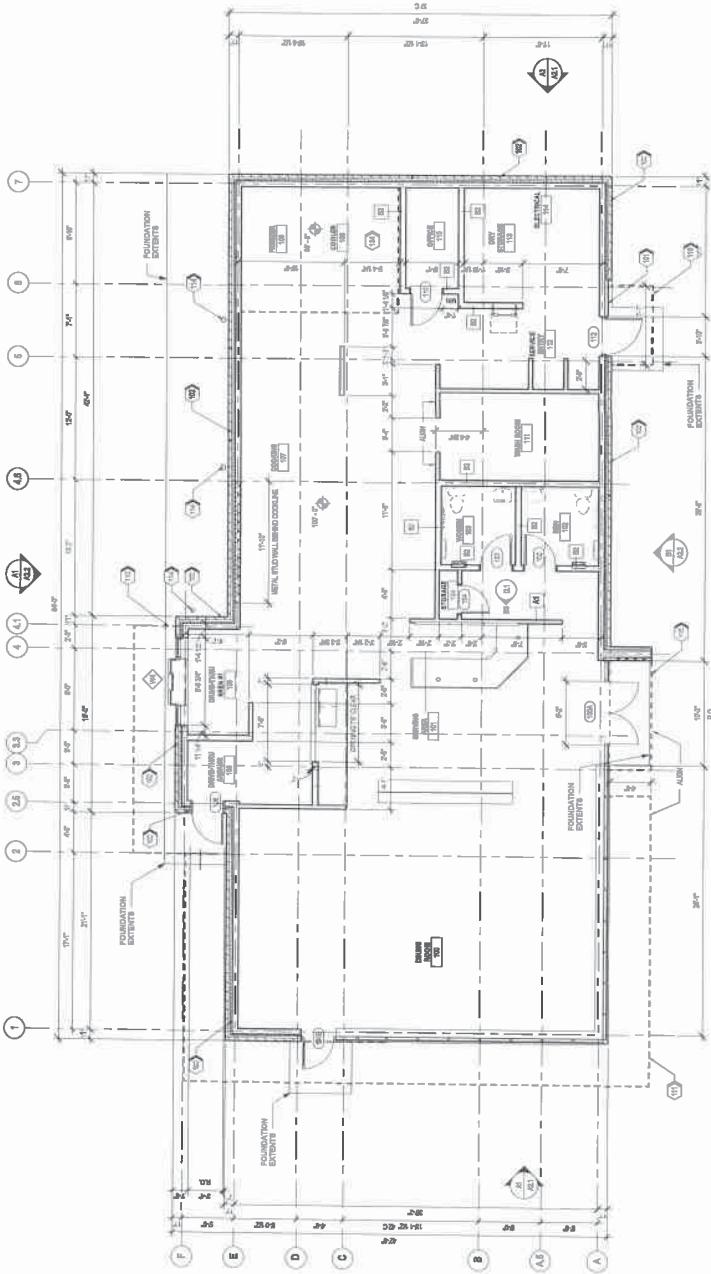


Project No.: 300000027
Drawing No.: 300000027-000000000000

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FLOOR PLAN

Date: 07/02/2000 Printed: 07/02/2000 Drawing No.: A1.1
Designer: WA Owner: WA
Drafter: AJ Draft: AJ
Revised: 07/02/2000



Floor Plan
S10' = 1'-0"

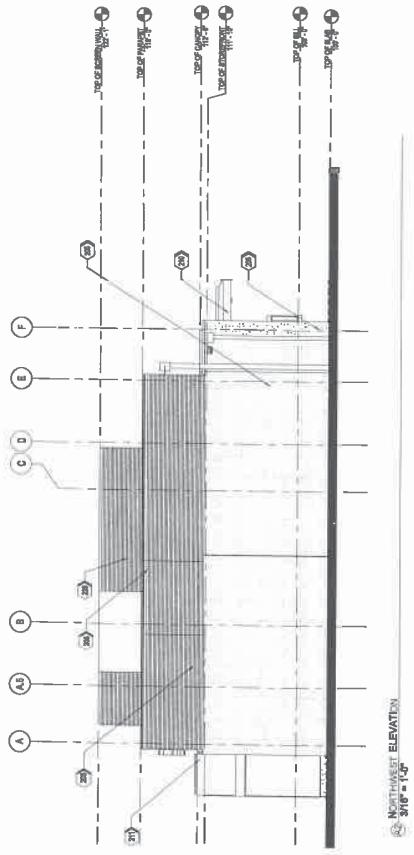


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E-mail: info@castlesgroup.com

KEYNOTES
KEYNOTE LEGEND

NOTE: EXTERIOR SURFACE UNDER SEPARATE PERMIT



CODE TO EXTERIOR MATERIALS

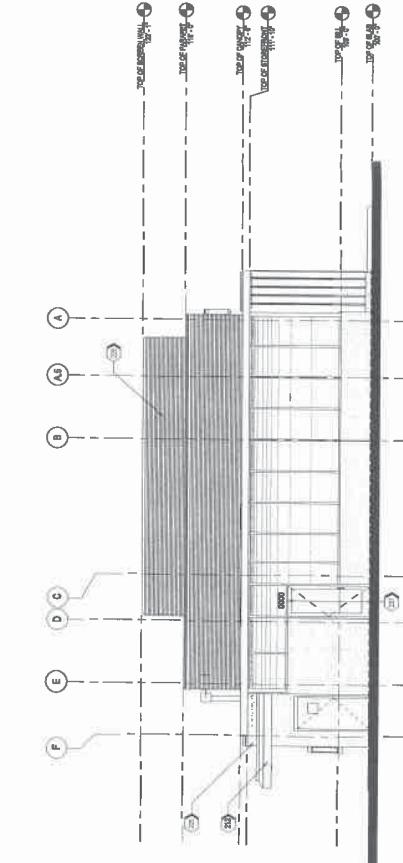
REF.	DESCRIPTION	DATE
SL-01	VENEERED ALUM. BLIND OF STEEL, VENETIAN GOLD REINFORCED WITH STAINLESS STEEL REINFORCED REINFORCING BARS, 16 INCHES ON CENTER, 1&1/2 INCHES DEEP.	3/13/08

SL-02	GRANITE PINTED GLASS IN LINE OF EXTERIOR WALLS 10'-0" X 10'-0" BLACK 20"	3/13/08
SL-03	COPPER BUTTER GLASS BLIND OF STEEL, VENETIAN GOLD	3/13/08

SL-04	STAINLESS STEEL BLIND OF STEEL, GOLD	3/13/08
SL-05	PERFORATED METAL PANEL, MANUFACTURED IN CHINA ALUMINUM ALLOY COLOR: CHAMPAGNE GOLD	3/13/08

SL-06	BRICK MANUFACTURED IN CHINA ALUMINUM ALLOY COLOR: CHAMPAGNE GOLD	3/13/08
SL-07	METAL PANEL MANUFACTURED IN CHINA COLOR: CHAMPAGNE GOLD MATCH FINISH	3/13/08

SL-08	METAL PANEL MANUFACTURED IN CHINA COLOR: CHAMPAGNE GOLD	3/13/08
SL-09	METAL PANEL MANUFACTURED IN CHINA COLOR: CHAMPAGNE GOLD	3/13/08



SECTION A-A'

SECTION B-B'

SECTION C-C'

SECTION D-D'

SECTION E-E'

SECTION F-F'

EXTERIOR ELEVATIONS

Date	Rev.	Page	Sheet No.	Drawing No.
				A2.1

NOT FOR REVIEW / REFERENCE ONLY

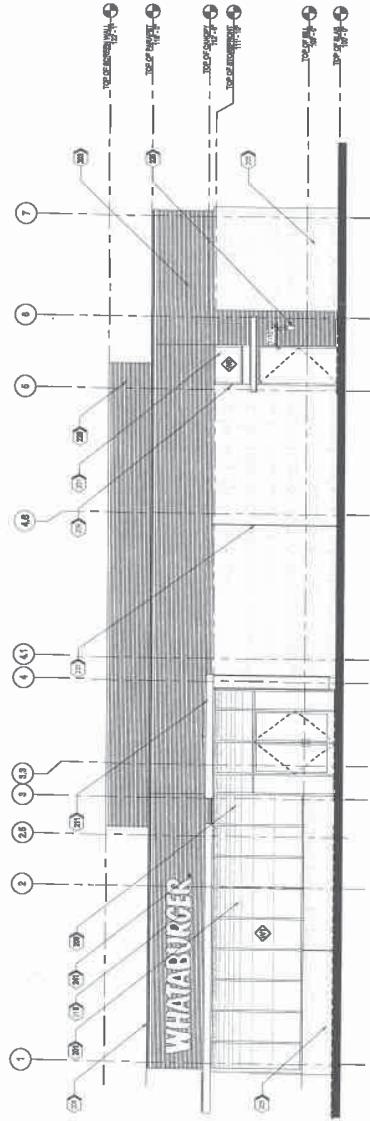


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A Professional Corporation
Architectural Engineers Interior Designers
Landscaping General Contractors
1001 Peachtree Street, Suite 1000
Atlanta, Georgia 30309
Tel: 404-524-7700
Fax: 404-524-7701
Telex: 713 687 7700
Tlx: 713 687 7701

KEYNOTES KEYNOTE LEGEND

NOTE: EXTERIOR MATERIALS UNDER SEPARATE PERMIT



SOUTHWEST ELEVATION
 $30'0'' \times 140'$

CODE TO EXTERIOR MATERIALS

KEY	DESCRIPTION	DATE
SA-1	VINYL CLADDING NAME OF SYSTEM: VINYL CLADDING EXTERIOR VENEER SYSTEM MANUFACTURER: VINYL CLADDING LAST USED: 25	06/25/89
SA-2	ALUMINUM PROFILED CLADDING NAME OF SYSTEM: ALUMINUM CLADDING MANUFACTURER: ALUMINUM CLADDING LAST USED: 06/25/89	06/25/89
SA-3	CRACK FIGHTER CLADDING NAME OF SYSTEM: CRACK FIGHTER MANUFACTURER: CRACK FIGHTER LAST USED: 06/25/89	06/25/89
SA-4	METAL PANEL NAME OF SYSTEM: METAL PANEL MANUFACTURER: METAL PANEL LAST USED: 06/25/89	06/25/89
SA-5	PREFORMED METAL NAME OF SYSTEM: PREFORMED METAL MANUFACTURER: PREFORMED METAL LAST USED: 06/25/89	06/25/89
SA-6	PREFORMED METAL PANEL NAME OF SYSTEM: PREFORMED METAL PANEL MANUFACTURER: PREFORMED METAL PANEL LAST USED: 06/25/89	06/25/89
SA-7	STICK NAME OF SYSTEM: STICK MANUFACTURER: STICK LAST USED: 06/25/89	06/25/89
SA-8	MONITOR NAME OF SYSTEM: MONITOR MANUFACTURER: MONITOR LAST USED: 06/25/89	06/25/89
SA-9	METAL SIGHT NAME OF SYSTEM: METAL SIGHT MANUFACTURER: METAL SIGHT LAST USED: 06/25/89	06/25/89
SA-10	METAL SIGHT NAME OF SYSTEM: METAL SIGHT MANUFACTURER: METAL SIGHT LAST USED: 06/25/89	06/25/89

LAKESHORE PARKWAY & WILLOWOOD PARKWAY

BIRMINGHAM, AL 35209



WHATABURGER

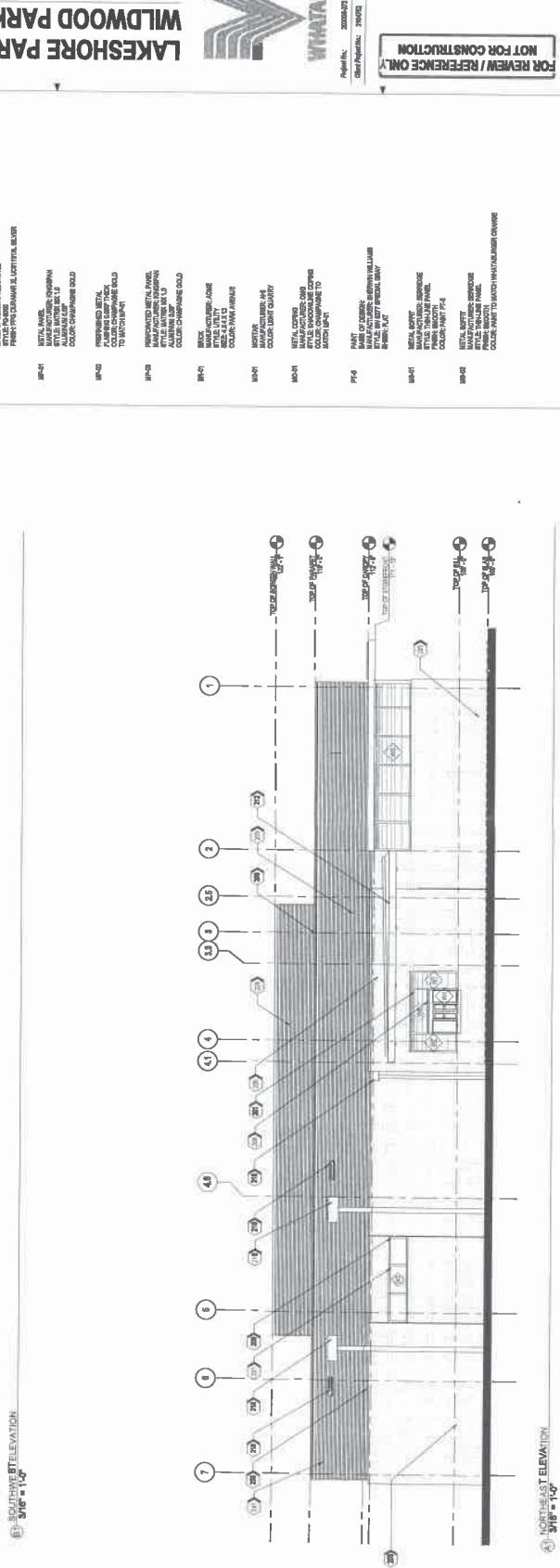
Project No.: 20000002

Client Project No.: 200002

FOR REVIEW / REFERENCE ONLY

EXTERIOR ELEVATIONS

Drawing No.: 00100
Drawing Date: 06/29/89
Drawing Rev.: P1
Drawing Inc.: A2.2



NORTHEAST ELEVATION
 $30'0'' \times 140'$



**Castles
Design
Group**

A Professional Corporation
380 University Dr., Suite 600
Seattle, Washington 98101
Tel.: 206.467.1770
Fax: 206.467.1775

REF.	DATE
REV.	DESCRIPTION

BIRMINGHAM, AL 35290



WHATABURGER
Project No.: 20000072
Client/Owner No.: 200002

NOT FOR REVIEW / REFERENCE ONLY
FOR REVIEW / CONSTRUCTION

EXTERIOR RENDERINGS

Sheet No.	Page No.	Drawing Title
A2.3	808	Castles Design Group



① NORTHEAST PERSPECTIVE

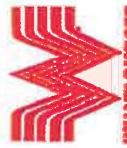


**Castles
Design
Group**

A Professional Corporation
2670 Valley Oak, Suite 600
Sacramento, CA 95833
Tel: 916.278.2700
Fax: 916.278.2701

REF.	DATE

BIRMINGHAM, AL 35209



WHATABURGER

Project No.: 2000-022
Architect No.: 2000-022

NOT FOR REVIEW / REFERENCE ONLY
EXTERIOR RENDERINGS

Drawing No.: A2.4

Date: 10/20/00
Printed: 08/01
Drawing No.: A2.4
Subject: WHATABURGER
Status: PCD
Arch. No.: 2000-022
Proj. No.: 2000-022



1-SOUTHWEST PERSPECTIVE



**Castles
Design
Group**

A Professional Corporation
3801 Kirby Dr., Suite 600
Houston, TX 77027
713.661.7777

REF	DATE
REV	DESCRIPTION
REV	REV

LAKESHORE PARKWAY &
WILLOWOOD PARKWAY



BIRMINGHAM, AL 35299

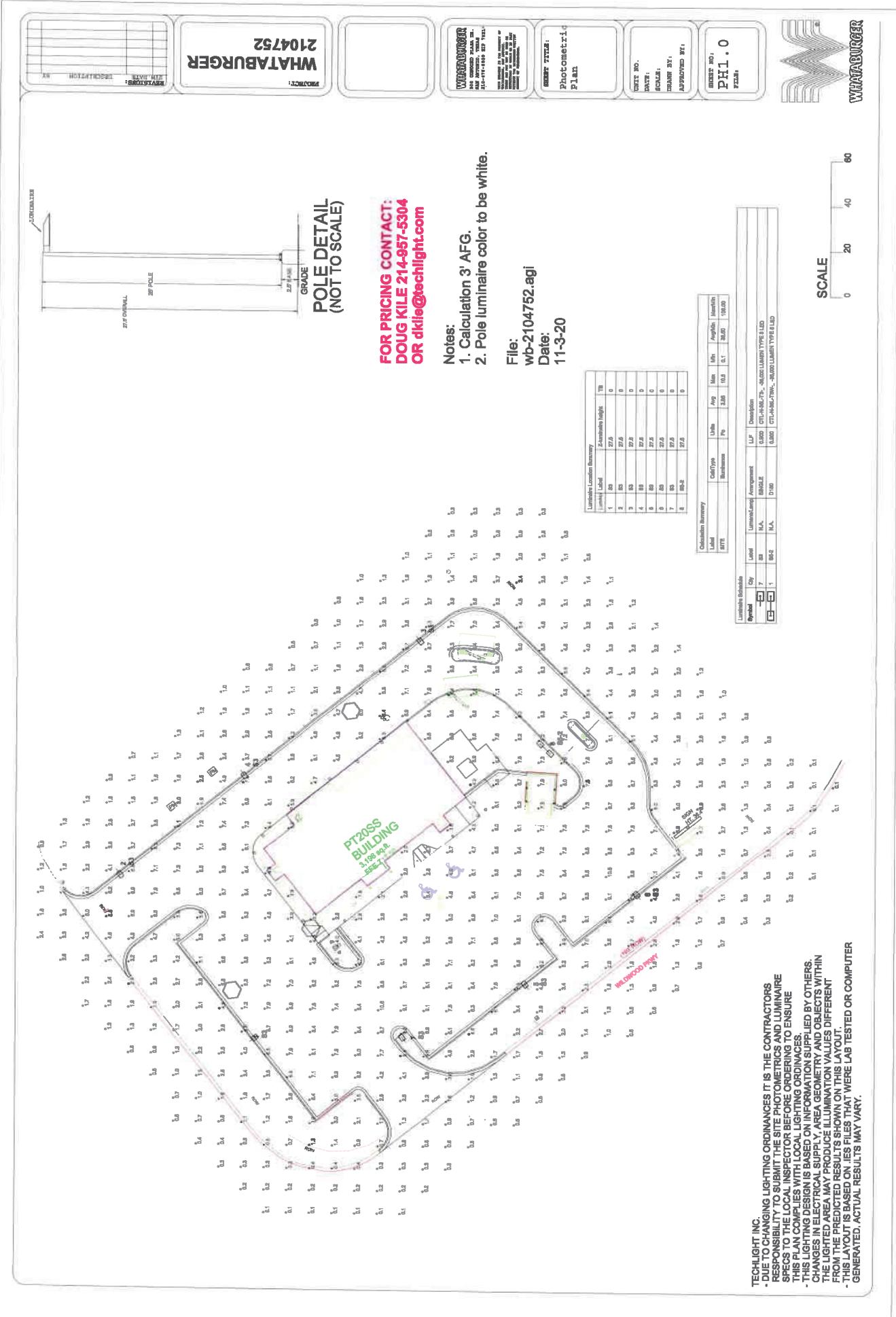
Project No.: 2000047
Client Name: Whataburger

Drawing Title:
EXTERIOR RENDERINGS

Date: 10/20/08
Printed: 10/20/08
Drawing No.: A2.5
Designer: [Redacted]
Editor: [Redacted]
Owner: [Redacted]
Checklist: [Redacted]



(1) NORTHEAST PERSPECTIVE



195 State Farm Parkway

CASE AD 21-01-04

Parcel ID # 29-00-23-3-001-001.002

Adjacent Properties:

- | | |
|------------------------|-------------------------|
| 189 State Farm Parkway | #29-00-23-3-001-001.007 |
| 201 State Farm Parkway | #29-00-23-3-001-001.008 |
| 202 State Farm Parkway | #29-00-23-3-001-001.019 |
| 109 Wildwood Parkway | #29-00-23-3-001-001.009 |
| 207 Lakeshore Parkway | #29-00-26-2-000-002.000 |

1.6
22.2 Ac. (a)

200

10

PL 176 Pg. 2

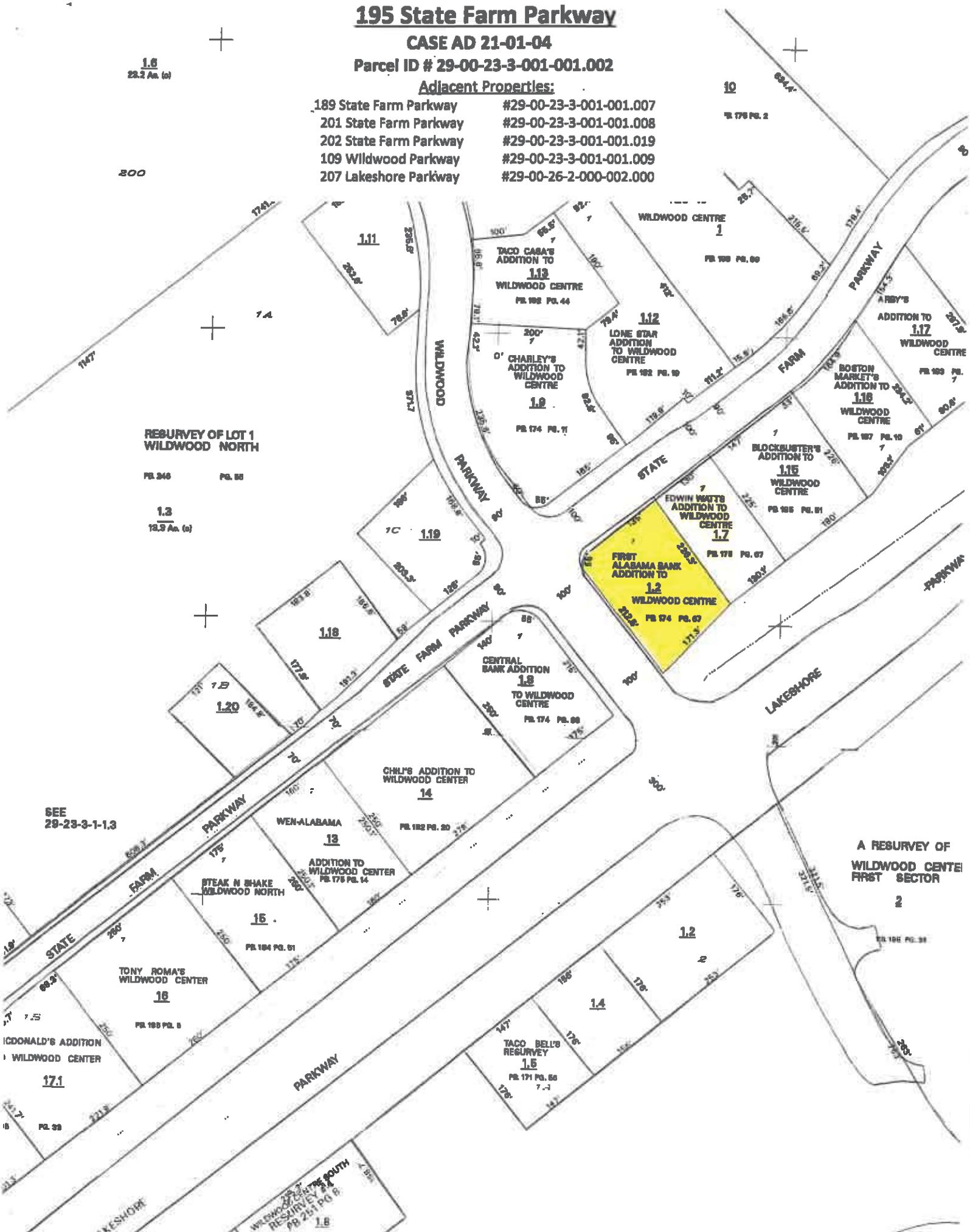
284.4

RESURVEY OF LOT 1 WILDWOOD NORTH

PL 246 Pg. 80

1.3
13.9 Ac. (a)

SEE
29-23-3-1-1.3



A RESURVEY OF
WILDWOOD CENTRE
FIRST SECTOR

2

WILLOWBROOK STATE FARM PARKWAY
RESURVEY
PL 231 PG. 8
1.8

City of Homewood

**195 State Farm
Parkway**

AD 21-01-04

Aerial Photo

Subject Property
 
Parcel

N

0 20 40 80 120
Feet

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195 State Farm Parkway – Bird's Eye View

