

Town of Lapel Unified Development Code

# **Ag**

## **Agricultural District**

### **Ordinances and Development Regulations**

Volume 2 of 12

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# V2.1

## Introduction & General Standards

### V2.1.1

#### District Intent

The “Ag”, Agriculture Zoning District is intended to provide locations for agricultural operations and related land uses. This district is further intended to reduce conflicts between residential and agricultural uses, preserve the viability of agricultural operations, and limit development in areas with minimal infrastructure. This district should be used to protect agricultural operations from land uses that are incompatible with the available infrastructure.

## V2.1.2

## Permitted and Special District Uses

## Permitted Uses

**Agricultural Uses**

- Animal Boarding / stables (excluding kennels)
- Farm (general)
- Greenhouse (commercial)
- Winery

**Residential Uses**

- Dwelling, Single-family (includes Manufactured Home types I & II)

**Communications / Utility Uses**

- Public Well field / Water Treatment Facility
- Telecommunications Facility / Tower
- Water Tower

**Institutional / Public Uses**

- Place of Worship
- Fairgrounds
- Police, Fire, or Rescue Station

**Park Uses**

- Golf Course and/or Country Club (including driving range)
- Nature Preserve / Center
- Park, Playgrounds, Recreational Use (small scale)

**Industrial Uses**

- Agricultural Products Terminal

## Special Uses

**Agricultural Uses**

- Agricultural Product Sales, Distribution, & Storage Facility
- Farm (confined feeding)
- Farm Equipment Sales and Services
- Farmer's Market (for sale of products grown off-site)
- Livestock Auction / Sales Facility

**Residential Uses**

- Bed and Breakfast Facility
- Boarding House
- Dwelling, Mobile Home and Manufactured Home type III

**Institutional / Public Uses**

- Airport
- Animal Shelter
- Cemetery
- Government Facility (non-office)
- Heliport

- Penal or Correctional Facility

**Park Uses**

- Campground / RV Park

**Commercial Uses**

- Health Spa
- Kennel
- Recreational Uses (large scale)(sports complex, etc.)
- Retreat Center

**Industrial Uses**

- Power Generation Facility (commercial)
- Mineral Extraction and Processing

**Communications / Utility Uses**

- Wind Farm (large scale / commercial)
- Solar Farm (large scale / commercial)

### V2.1.3

#### Unlisted and Questionable Uses

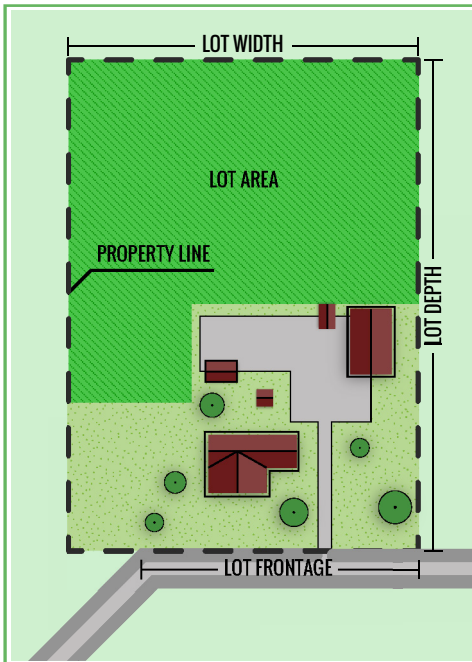
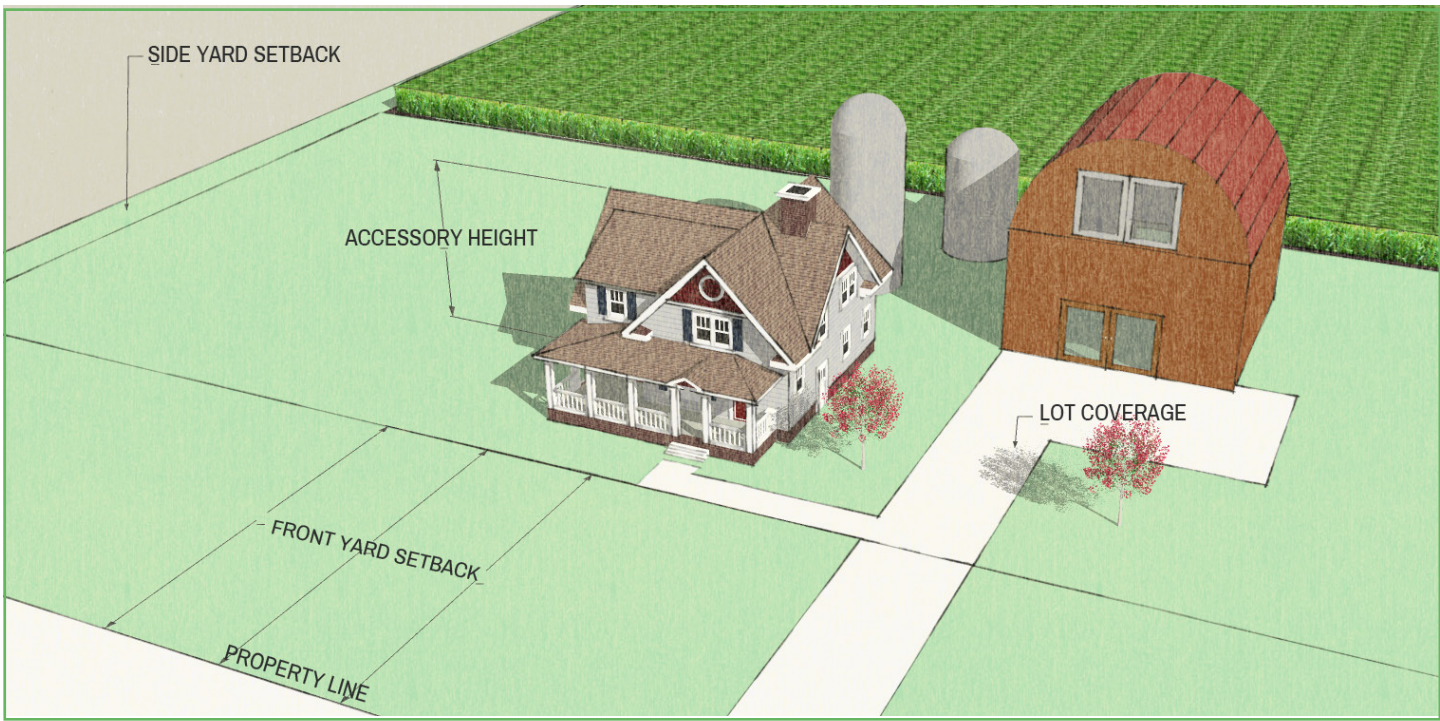
Any land use not listed or that is questionable as a permitted use in **Section V2.1.2** on page six (6) of this volume, is not allowed unless determined otherwise, through interpretation of the Unified Development Code's intent and the intent for the Agricultural District.

- A. Following the process set forth in **Section V1.8** of Volume One, Processes, Permits, & Fees, the Zoning Administrator or Plan Commission may determine that an unlisted or questionable use may be placed if it is significantly similar to another use that is permitted by right.
- B. In no instance shall the Zoning Administrator's interpretation be construed as a process for establishing a Use Variance.

### V2.1.4

#### General District Standards

The following illustrations on pages eight (8) and nine (9) display the General District Standards for the Agricultural District.



**Minimum Lot Area:**

- Two (2) Acres

**Minimum Lot Width:**

- 250 Feet

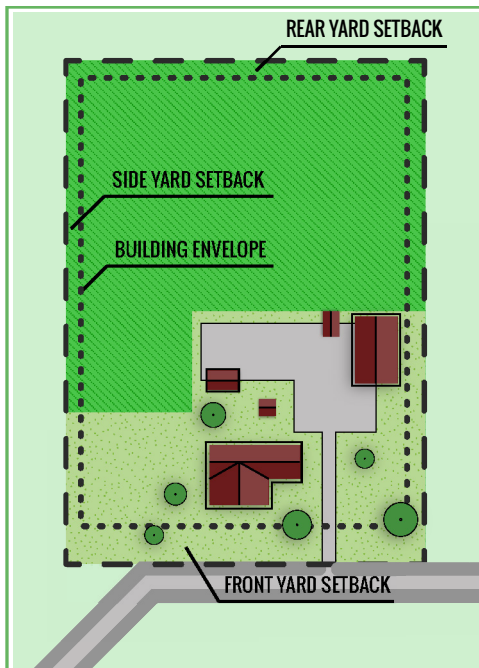
**Minimum Lot Frontage:**

- 250 Feet

**Maximum Lot Depth:**

- Not applicable





#### Sewer and Water:

- May use public sewer or private well and septic systems

#### Minimum Front Yard Setback:

- 50 feet when adjacent to an Arterial Road
- 30 feet when adjacent to a Collector Road
- 25 feet when adjacent to a Local Road

#### Minimum Side Yard Setback:

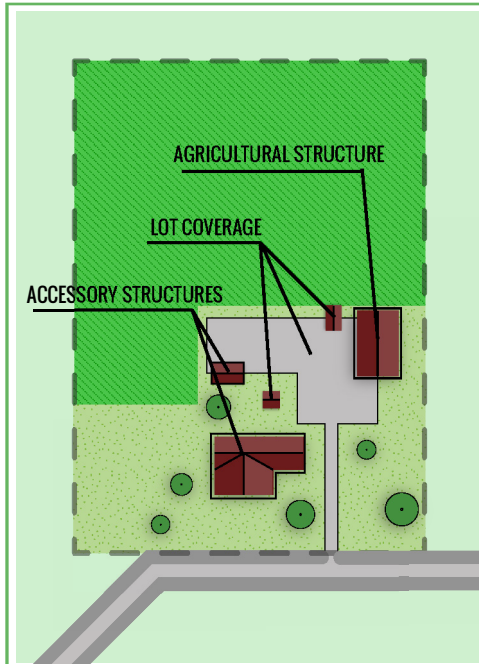
- 15 feet | 50 feet when adjacent to R1, R2, or R3 District

#### Minimum Rear Yard Setback:

- 15 feet | 50 feet when adjacent to R1, R2, or R3 District

#### NOTE

Lots that were legally created under a prior ordinance and are less than two (2) acres, minimum side and rear setbacks are ten (10) feet.



#### Maximum Lot Coverage:

- Square footage of all structures and impervious surface cannot exceed 15% of the Lot Area

#### Minimum Living Area:

- 800 square feet, accessory and primary use dwelling

#### Minimum Ground Floor Area:

- Not applicable

#### Maximum Dwelling Structures per Lot:

- One (1) dwelling (with unlimited agricultural structures - must take into consideration the maximum lot coverage)

#### Maximum Height of Structures:

- 35 feet for Primary and Accessory Dwelling Units
- All Agricultural Structures are exempt.

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# V2.2

## Development & Performance Standards

### V2.2.1

#### Introduction

All structures, land uses, land use changes, structural alterations, structural relocations, structural additions, and structural enlargements that are constructed, created, established, or otherwise occur after the effective date of this Code (except as may otherwise be provided within this Ordinance) shall be subject to all Development and Performance Standards and regulations for this District.

### V2.2.2

#### Expansion or Modification of Existing Uses and Structures

No structure, parking area, or other site feature regulated by this Code shall be enlarged, altered, or expanded unless the minimum improvements required by this Section are provided to the property to the extent of its alteration or expansion.

In the case of a substantial expansion, the entire site must meet the requirements of this Section. An alteration or expansion to an existing property is substantial when the area or square footage of the expanded or altered land (including property used for building space, parking, or storage) or structure, respectively, exceeds 25% of the area or square footage of the existing land or structure, exclusive of the alteration or expansion.

### V2.2.3

#### Development Standards that Apply

The sections that follow contain Development Standards arranged by category. The standards listed in this Volume apply specifically to the Ag – Agricultural District. Development and Performance Standards for the other districts will be located in their corresponding Volumes.

### V2.2.4

#### Lot / Yard Standards

This Lot / Yard Standards section applies to the Agricultural District:

- A. Legal Nonconforming Lots: All existing lots in conflict with the lot/yard regulations at the effective date of this Ordinance shall be considered Legal Non-Conforming Lots.
- B. General Requirements: Except as provided in this Ordinance, no building or structure shall be erected, altered, enlarged or reconstructed unless such alteration, enlargement, or reconstruction conforms with the lot/yard regulations of the district in which it is located, as follows:
  - i. Front Yard Setbacks: The minimum front yard setbacks shall be as follows:
    - a. 50 feet when adjacent to an Arterial Rd
    - b. 30 feet when adjacent to a Collector Rd
    - c. 25 feet when adjacent to a Local Rd
  - ii. Side Yard Setbacks: The minimum side yard setbacks shall be as follows:
    - a. 50 feet when adjacent to a R1, R2, or R3 District
    - b. 15 feet when adjacent to all other Districts
  - iii. Rear Yard Setbacks: The minimum rear yard setbacks shall be as follows:
    - a. 50 feet when adjacent to a R1, R2, or R3 District
    - b. 15 feet when adjacent to all other Districts
  - iv. Lot Areas: The minimum lot area for this District

- shall be two (2) acres. There is no maximum lot area for this district.
- v. Lot Width: The minimum lot width shall be 250 feet.
- vi. Lot Frontage: The minimum lot frontage shall be 250 feet.
- vii. Lot Depth: There is no minimum lot depth for this district.
- viii. Public Utility Requirements: Both public sewer and private well and septic systems are permitted in the Agricultural District.
- ix. Lot Coverage: The maximum lot coverage, including all impervious surfaces, shall not exceed 15% of the total lot area.
- x. Living and Ground Floor Areas: The minimum living area for a primary use and accessory use dwelling shall be 800 square feet. There is no minimum ground floor area.
- xi. Primary Structures: The maximum number of residential and/or dwelling units per lot shall not exceed one (1) unit.

- C. Setback Standards: No portion of any structure or material for sale stored outdoors is allowed to be located within the required setbacks. Structures shall include, but not be limited to garages, carports, balconies, roofs, decks, chimneys, cornices, bay windows, eaves, fire escapes, steps, and platforms above normal grade level. Parking spaces, interior drives, other vehicle use areas and sidewalks shall be permitted within the required setbacks at normal grade level subject to the requirements of this Code.

## V2.2.5 Height Standards

This Height Standards section applies to the Agricultural District:

- A. The maximum height permitted shall not exceed 35 feet for all Primary and Accessory Dwelling Units.
  - i. Agricultural-use structures are exempt.

- B. No structure may be erected or changed so as to make its height greater than specified in **Subsection A of V2.2.5**, except as noted below: Exceptions to the height standards include:

- i. The following structures may exceed the permitted height regulations by twofold (x2), but shall not exceed a total height from grade level of 70 feet.
  - a. Church steeples,
  - b. Water towers, and
  - c. Utility transmission towers
- ii. The following structures may exceed the permitted height standards by up to 15 feet, but shall be completely shielded from view by design features of the building:
  - a. Necessary mechanical appurtenances, and
  - b. Elevator bulkheads.
- iii. The height of telecommunication towers and antenna shall meet the requirements of **Section V2.2.16**, Telecommunication Facility Standards.

## V2.2.6

### Accessory Use / Structures Standards

This Accessory Use / Structures Standards section applies to the Agricultural District:

- A. No accessory structures shall be placed in any required setbacks and shall otherwise comply with all Development Standards for the Agricultural District.
- B. All accessory uses and structures shall be permitted only in association with, and on the same lot as the primary use or structure. Accessory uses and structures shall not be permitted to be located, placed, or established on any lot prior to the establishment of a primary use or structure unless otherwise permitted by this Code.
- C. Accessory structures are not deemed to include swing sets, mailboxes, lamp posts, doghouses, tree houses, and other such incidentals except as otherwise stated in this

- Code.
- D. Accessory structures shall comply with the following location requirements:
- i. No accessory structures shall encroach on any platted easement without written consent of the agency the easement belongs to or is managed by.
  - ii. No accessory structures shall be placed in any operable septic fields.
  - iii. A minimum separation of ten (10) feet shall be provided between an accessory structure and any primary structure or other accessory structure.
  - iv. All accessory structures, with the exception of gazebos, decks, and dwelling units, shall only be located to the rear of the primary structure except in the case of corner or through lots; in which case, the structures may be placed to the side of the primary structure. In no case may any accessory structure (with the exception of an accessory-use dwelling unit) be located closer to the front property line than the setback provided by the primary structure.
- E. No vehicle may be used as an accessory structure in the Ag District.
- F. Barns and other similar agricultural buildings shall be considered primary structures on property used for agricultural purposes. All other structures on property used for agriculture, including dwellings, shall be considered accessory structures.
- G. Accessory structures and uses permitted as special uses are specified for each zoning district in Subsections I - M of this Ordinance.
- H. Agricultural uses located in the Ag District shall be permitted with accessory uses and structures specified below.
- I. The following accessory uses are permitted, subject to all applicable requirements of this Ordinance:
- i. recreational raising of non-farm animals, and
  - ii. outdoor storage of agricultural products and materials used in agricultural production.
- J. If a dwelling is present on the property, the following accessory uses are also permitted, subject to all applicable requirements of this Code:
- i. child day-care home,
  - ii. home occupation (type I) (subject to the Home Occupation Standards in **Section V2.2.15**), and
  - iii. swimming pool.
- K. The following accessory structures are permitted, subject to all applicable requirements of this Code:
- i. additional agricultural structures,
  - ii. antennas and satellite dishes (subject to the Satellite Dish Standards in **Section V2.2.20**),
  - iii. bath houses, hot tubs and saunas,
  - iv. attached and detached decks and patios,
  - v. detached garages and carports,
  - vi. gazebos,
  - vii. recreational greenhouses,
  - viii. mini barns, sheds and other storage buildings,
  - ix. privacy fences (subject to the Fence and Wall Standards in **Section V2.2.22**),
  - x. sport courts, and
  - xi. swimming pools.
- L. In the Ag District, an accessory building may be permitted as a Special Use on a lot prior to construction of the primary structure for a period of up to two (2) years for the purpose only to allow a homeowner / builder a place to store materials for that home. A covenant is required by the BZA that the home will be started within two (2) years and that there will be no business activity from the accessory structure.
- M. Semi-trailers, Personal-On-Demand Storage (PODS), truck box beds, busses and other similar items shall not be considered accessory structures in this District.

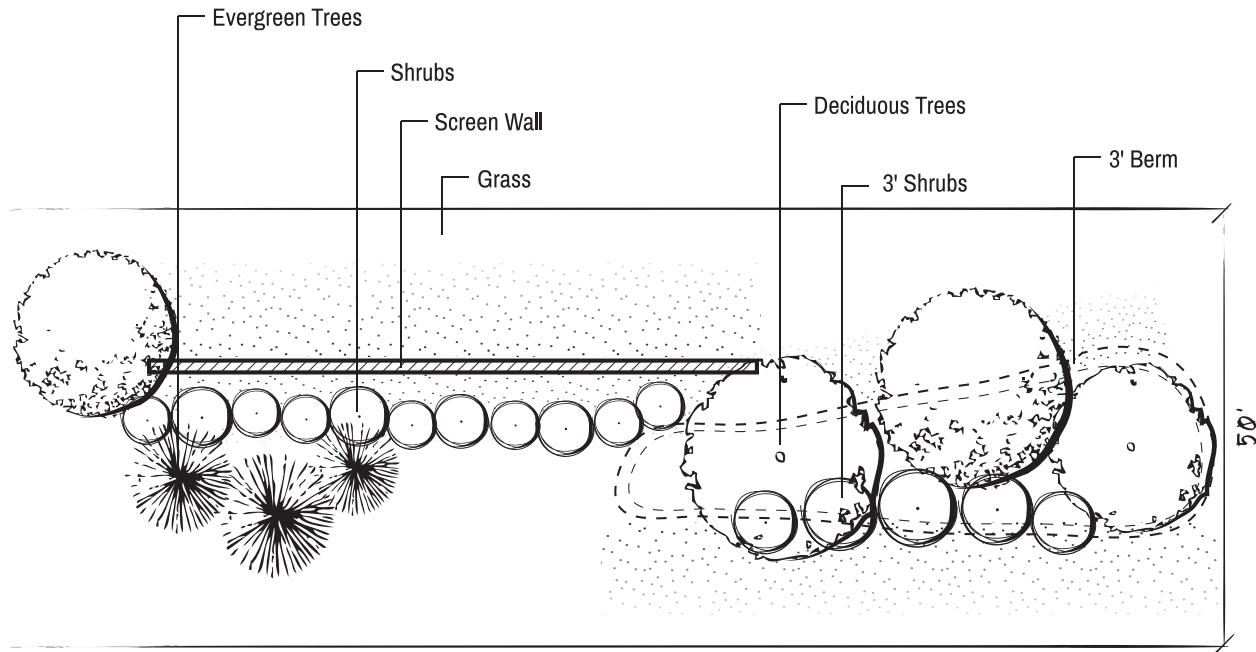
## V2.2.7

### Buffer Zone / Screening Standards

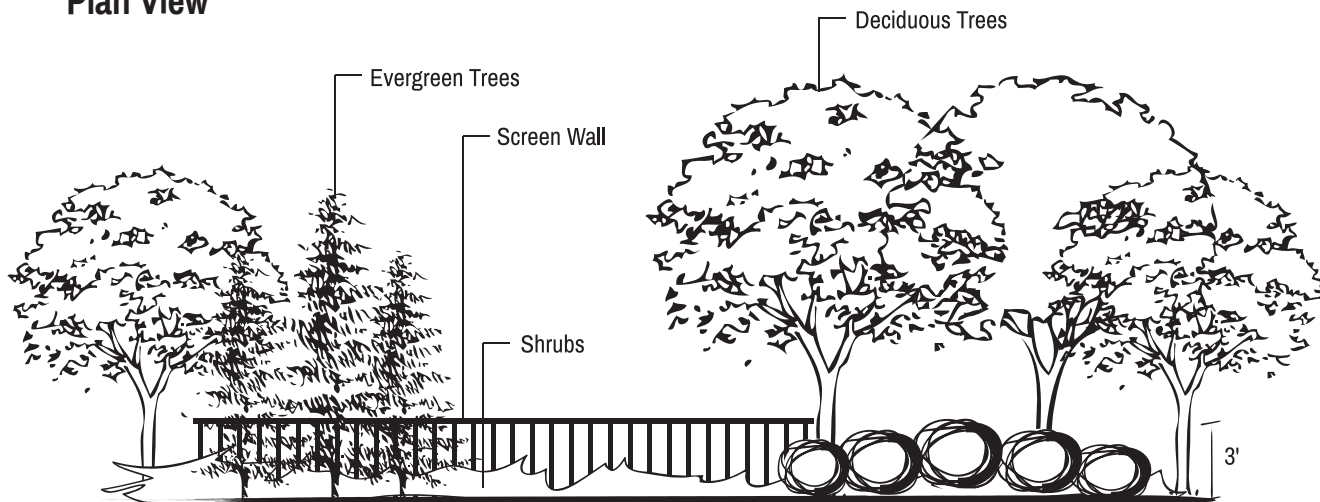
It is the intent of this section to require buffer zones and landscape screening to reduce the negative impacts between incompatible land uses and to provide for landscaping within parking lots. It is further intended to preserve and enhance the aesthetic qualities, character, privacy, and land values of the Town.

- A. A Buffer Zone shall be required on the subject parcel between zoning districts as indicated on the **Buffer Zone Matrix on page 23**.
- B. A Buffer Zone shall be required on the subject parcel even if the adjacent parcel is unimproved land.
- C. When any developed parcel requiring a Buffer Zone changes to a more intense land use or a special land use approval and/or site plan review is required, the buffer shall comply with the **Buffer Zone Matrix on page 23** and appropriate Buffer Zone Requirements.
- D. If existing conditions are such that a parcel cannot comply with the Buffer Zone Requirements, then the Zoning Administrator shall determine the character of the Buffer Zone based on the following criteria:
  - i. Traffic Impacts.
  - ii. Increased building and parking lot coverage.
  - iii. Increased outdoor sales, displays, or manufacturing area.
  - iv. Physical characteristics of the site and surrounding area such as: topography, vegetation, etc.
  - v. Visual noise and air pollution levels.
  - vi. Health, safety, and welfare of the Town.
  - vii. Additional dwelling units and resulting density (residential development)
- E. If two zoning districts requiring a Buffer Zone are separated by a thoroughfare, the design of the Buffer Zone shall be determined by the Zoning Administrator based on the criteria contained in **Section V2.2.7, (A - D)** above.
- F. Buffer Zone Requirements are categorized into three levels of intensity - One (1) being the most intense and three (3) being the lowest level of intensity. For the purpose of the Ag District, there are no instances for which a level 1 Buffer Zone shall be required.
- G. Subsections J -L of this ordinance contain the illustrations and requirements for Buffer Zones One (1), Two (2), and Three (3).
- H. Buffer Zone 2 shall be applied when the Ag-zoned lot is adjacent to the following district:
  - i. Ig - General Industrial
- I. Buffer Zone 3 shall be applied when the Ag-zoned lot is adjacent to the following districts:
  - i. R1 - Single-Family Residential (Suburban)
  - ii. R2 - Single-Family Residential (Traditional)
  - iii. R3 - Multi-Family Residential
  - iv. C1 - General Commercial
  - v. Is - Institutional and Social
  - vi. Il - Light Industrial
- J. Required Buffer Zone 1 development(s) shall comply with the following standards:
  - i. The buffer zone shall be a minimum width of 50 feet.
  - ii. The buffer zone shall contain one (1) tree for each 20 linear feet or fraction of buffer zone length. At least one-half of the total number of trees required within the buffer zone shall be canopy trees.
  - iii. The buffer zone shall contain a three (3) foot high screen comprised of plant material, berming, screen walls or fencing, or any combination of these elements.
  - iv. If berming is used for all or part of the buffer zone screen, the berm shall contain a minimum of one (1) shrub for each ten (10) linear feet or fraction of berm length. All required plant material shall be placed on the top and exterior side slope of the berm.
  - v. If a screen wall or fence is used for all or part of

# Buffer Zone 1



Plan View



Elevation



the buffer zone screen, a minimum of one (1) shrub for each ten (10) linear feet or fraction of wall or fence shall be placed on the exterior side of the wall or fence.

- vi. If plant material is used for all or part of the required buffer zone screen, the screen shall consist of a minimum of four (4) shrubs for each 20 linear feet or fraction of screen length. The shrub shall be a minimum of 24 inches high at the time of planting.
- vii. All areas outside of the planting beds shall be covered with grass or other living ground cover.

K. Required Buffer Zone 2 development(s) shall comply with the following standards:

- i. The buffer zone shall be a minimum width of 30 feet.
- ii. The buffer zone shall contain one (1) tree for each 30 linear feet or fraction of buffer zone length. At least one-half of the total number of trees required within the buffer zone shall be canopy trees.
- iii. The buffer zone shall contain a three (3) foot high screen comprised of plant material, berming, screen walls or fencing, or any combination of these elements.
- iv. If berming is used for all or part of the buffer zone screen, the berm shall contain a minimum of one (1) shrub for each ten (10) linear feet or fraction of berm length. All required plant material shall be placed on the top and exterior side slope of the berm.
- v. If a screen wall or fence is used for all or part of the buffer zone screen, a minimum of one (1) shrub for each ten (10) linear feet or fraction of wall or fence shall be placed on the exterior side of the wall or fence.
- vi. If plant material is used for all or part of the required buffer zone screen, the screen shall consist of a minimum of four (4) shrubs for each 20 linear feet or fraction of screen length. The shrub shall be a

minimum of 24 inches high at the time of planting.

- vii. All areas outside of the planting beds shall be covered with grass or other living ground cover.

L. Required Buffer Zone 3 development(s) shall comply with the following standards:

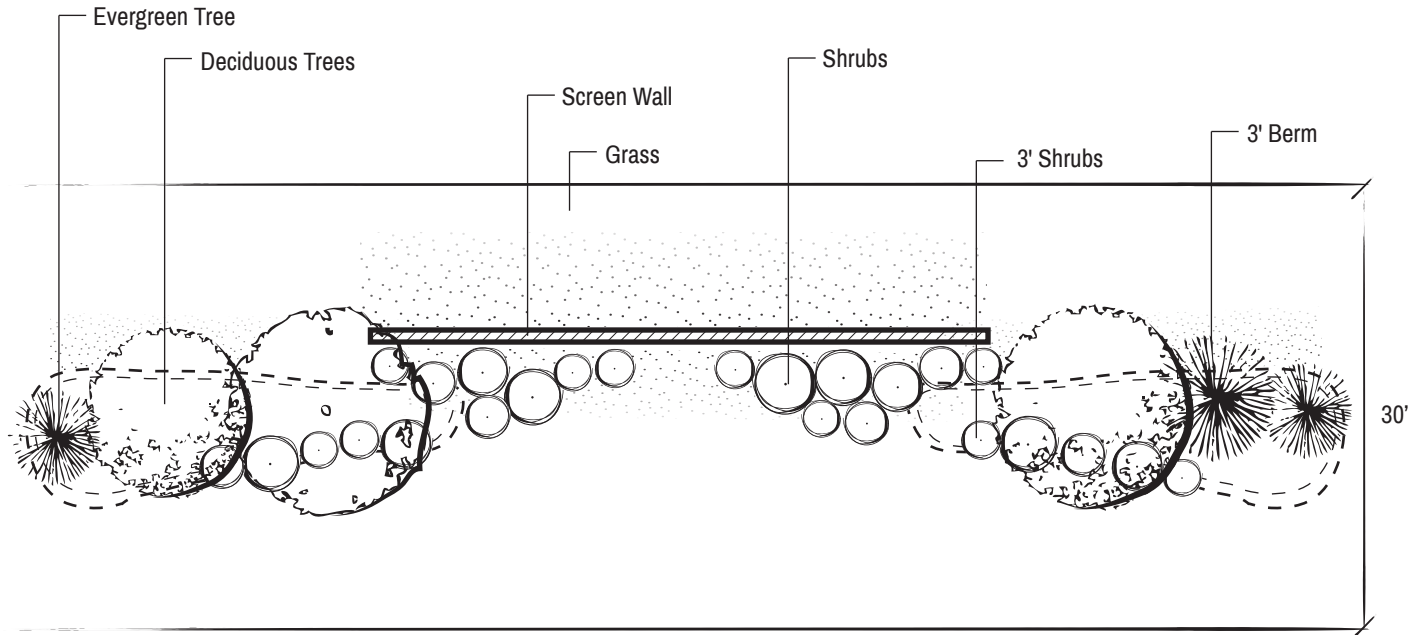
- i. The buffer zone shall be a minimum width of ten (10) feet.
- ii. The buffer zone shall contain one (1) tree for each 30 linear feet or fraction of buffer zone length. At least one-half of the total number of trees required within the buffer zone shall be canopy trees.
- iii. The buffer zone shall contain a three (3) foot high screen comprised of plant material, berming, screen walls or fencing, or any combination of these elements.
- iv. If berming is used for all or part of the buffer zone screen, the berm shall contain a minimum of one (1) shrub for each ten (10) linear feet or fraction of berm length. All required plant material shall be placed on the top and exterior side slope of the berm.
- v. If a screen wall or fence is used for all or part of the buffer zone screen, a minimum of one (1) shrub for each ten (10) linear feet or fraction of wall or fence shall be placed on the exterior side of the wall or fence.
- vi. If plant material is used for all or part of the required buffer zone screen, the screen shall consist of a minimum of four (4) shrubs for each 20 linear feet or fraction of screen length. The shrub shall be a minimum of 24 inches high at the time of planting.
- vii. All areas outside of the planting beds shall be covered with grass or other living ground cover.

M. **Off-Street Parking Areas**

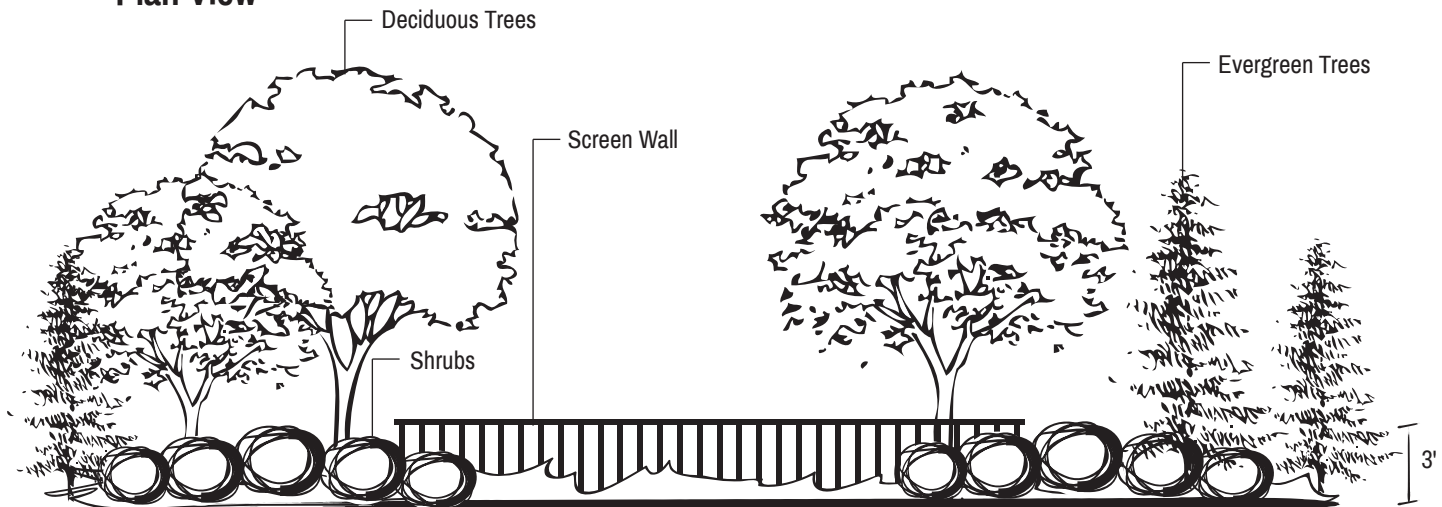
Off-street parking areas containing six (6) or more parking spaces shall be provided with landscaping in accordance with the following:



# Buffer Zone 2

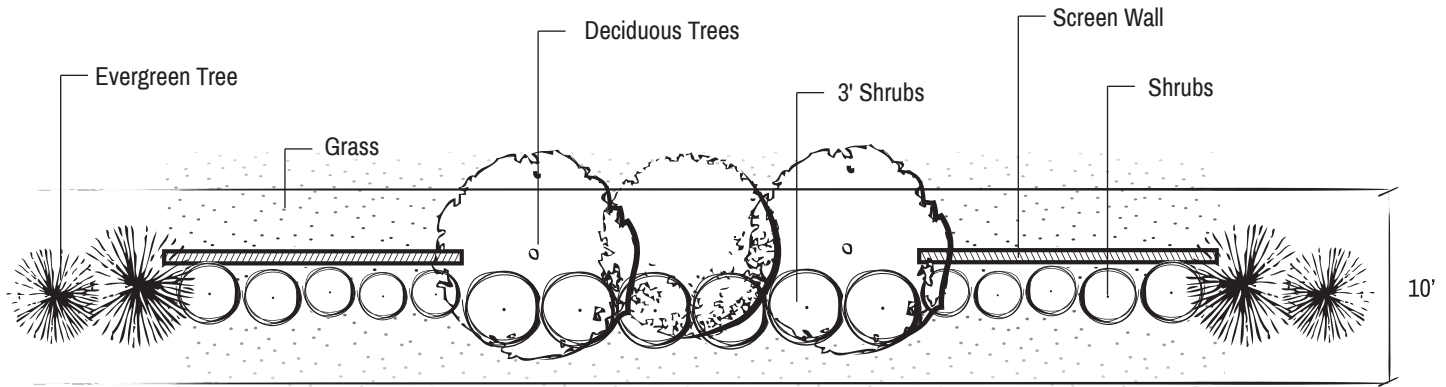


**Plan View**

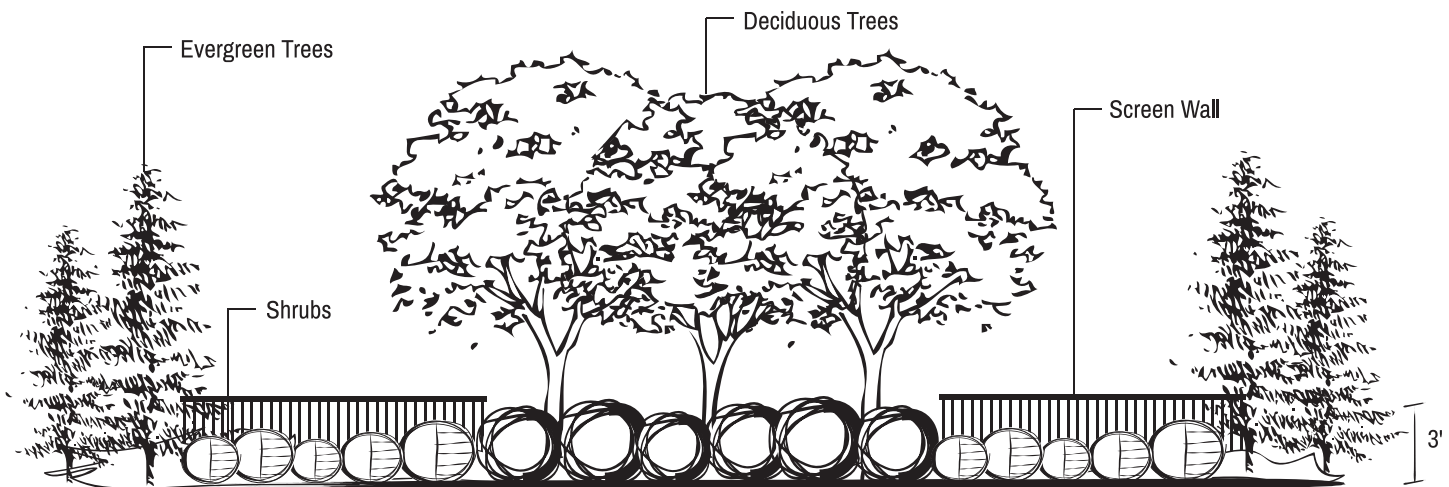


**Elevation**

# Buffer Zone 3



Plan View



Elevation

- i. 6 – 100 spaces: One (1) canopy tree and 100 sq. ft. of landscaped area per six (6) spaces – round up. For example, a lot having 56 spaces would require 10 canopy trees and 1,000 sq. ft. of landscaped area.
- ii. 101 – 200 spaces: One (1) canopy tree and 100 sq. ft. of landscaped area per eight (8) spaces – round up. For example, a lot having 135 spaces would require 17 canopy trees and 1,700 sq. ft. of landscaped area.
- iii. 201+ spaces: One (1) canopy tree and 100 sq. ft. of landscaped area per ten (10) spaces – round up. For example, a lot having 340 spaces would require 34 canopy trees and 3,400 sq. ft. of landscaped area.

In no case shall any required Buffer Zone be considered as part of the off street parking landscape area.

Off-street parking areas serving uses located within an industrial zoning district that do not serve the general public and are not visible from a public road; or off-street parking areas in any zoning district that serve public or private forest preserve areas, game refuge areas, parks, or similar recreation areas; or that serve public and private conservation areas and structures for the development, protection and conservation of open space, watersheds, water, soil, forests and wildlife resources; or that serve non-commercial parks, playgrounds, and playfields; shall be exempt from the off-street parking area landscaping requirement.

#### N. Development Standards for Required Off-Street Parking Areas

Required parking lot landscape areas shall comply with the following standards:

- i. The minimum size of a landscaped area shall be 60 square feet and at least six (6) feet wide.
- ii. All landscaped areas shall be covered by grass,

- shredded bark, or a living ground cover.
- iii. All landscaped areas shall contain at least one (1) canopy tree. The tree shall be located so as not to be damaged by any surrounding vehicles. (see Figure 2.2.7.1, below)



Figure 2.2.7.1

- O. When the property line abuts land not in the right-of-way of a street:
  - i. The appropriate Buffer Zone shall be applied according to the zoning district for which the parking lot lies. (**See the Buffer Zone Matrix on page 23**)
  - ii. If no Buffer Zone is required, the Inspector may still require the use of screening materials.
- P. When the property line abuts the right-of-way of a street:
  - i. For an arterial road, Buffer Zone 1 standards shall apply. ; except where driveways or other openings may necessitate other treatments.
  - ii. For a collector road, Buffer Zone 2 standards shall apply; except where driveways or other openings may necessitate other treatments.
  - iii. For a local road, Buffer Zone 3 standards shall apply; except where driveways or other openings

- iv. may necessitate other treatments.
- iv. Where peripheral landscaping and screening requirements conflict with street planting regulations of the Indiana Department of Transportation, the more stringent of the two regulations shall be applied.

- Q. The Zoning Administrator shall approve the location of required off-street parking landscaping using the following criteria:
- i. Landscaping shall be installed such that, when mature, it does not obscure traffic signs, fire hydrants, lighting, drainage patterns on site or on adjacent properties, or obstruct vision for reason of safety, ingress, or egress.
  - ii. Trees shall be installed in such a manner that parked motor vehicles are shaded whenever possible.
  - iii. Landscaping shall be dispersed throughout the parking lot in order to break up large expanses of impervious surfaces.
  - iv. At least one-half of the required trees shall be installed in the interior of the parking area. The interior shall be considered as any point ten (10) feet from the outside boundary of the parking area. This requirement may be modified by the Zoning Administrator if the landscaped areas are being used for on-site storm water retention and filtration.
  - v. All landscaped areas shall be protected by a raised standard or rolled concrete curb. This requirement may be exempt if the interior landscaped areas are being used for on-site storm water retention and filtration – although proper plant and drainage substitutions must be implemented.

R. **General Landscaping Development Standards**

***Minimum Plant Material Standards:***

- i. All plant materials shall be hardy to Madison County, free of disease and insects and conform to

- the American Standard for Nursery Stock approved by the American Nursery & Landscape Association. A list of recommended trees are available in the **Appendix on page 61**. A Copy is also available in the office of the Plan Commission.
- ii. All plant materials shall be installed in such a manner so as not to alter drainage patterns on site or adjacent properties or obstruct vision for reasons of safety, ingress, or egress.
- iii. All plant materials shall be planted in a manner so as to not cause damage to utility lines (above and below ground), public roadways, or pedestrian facilities (sidewalks, bikeways, multimodal paths, etc.).
- iv. Planting requirements shall be met through the installation of a variety of tree and plant species so as to prevent the creation of a monoculture susceptible to disease and insect pests.
- v. Minimum plant sizes at time of installation:
  - a. Deciduous Canopy: two (2) and one-half (1/2) inch caliper
  - b. Deciduous Ornamental Tree: two (2) inch caliper
  - c. Evergreen Tree: 24 inches in height
  - d. Deciduous Shrub: six (6) inches in height
  - e. Upright Evergreen Shrub: six (6) inches in height
  - f. Spreading Evergreen Shrub: 18 – 24 inch spread
  - g. Height and Caliper Measurements at time of planting:
    - 1. Height shall be measured from the top of the root flair to the top of the canopy.
    - 2. Caliper:
      - i. If the tree caliper is four (4) inches or less, measurement shall

- take place six (6) inches above the root flair.
    - ii. If the tree caliper is greater than four (4) inches, measurement shall take place 12 inches above the root flair.
  - vi. Existing plant material which complies with the standards and intent of the ordinance, as determined by the Zoning Administrator, may be credited toward meeting the landscape requirements.
  - vii. The plant material shall achieve its horizontal and vertical screening effect within four (4) years of initial installation.
  - viii. Clustering of trees and shrubs within buffer zones is permitted.
  - ix. The following trees are not permitted as they have a tendency to split and break; their roots clog drains and sewers; and they are unusually susceptible to disease or insect pests:

Tree Species Not Approved	
Common Name	Horticultural Name
Boxelder	Acer Negundo
Ginkgo	Ginkgo Biloba (female only)
Honey Locust	Gleditsia Triacanthos var. Inermis (with thorns)
Mulberry	Morus Species
Black Locust	Robinia Species
Willows	Salix Species
Siberian Elm	Ulmus Pumila
Slippery Elm; red Elm	Ulmus Rubra

Chinese Elm	Ulmus Parvifolia
Ash	All varieties susceptible to EAB
Sweet Gum	Liquidambar Styraciflua (seed varieties)
Tree of Heaven	Ailanthus Altissima
Birch, White Paper	Betula Papyrifera

#### **Minimum Berm Standards:**

- i. Berms shall be constructed so as to maintain a side slope not to exceed a one (1) foot rise to a three (3) foot run ratio.
- ii. Berm areas not containing planting beds shall be covered with grass or living groundcover maintained in a healthy growing condition.
- iii. Berms shall be constructed in such a manner so as not to alter drainage patterns on site or on adjacent properties or obstruct vision for reasons of safety, ingress, or egress.
- iv. If a berm is constructed with a retaining wall or by terracing, the earthen slope shall face the exterior of the site.

#### **Minimum Screen Wall and Fence Standards**

- i. All screen walls and fences shall be constructed with new, durable, weather resistant and easily maintainable materials. Chain link and barbed wire fences are not permitted.
- ii. The wall or fence may be constructed with openings that do not exceed 20 percent of the wall surface. The openings shall not reduce the intended obscuring effect of the wall.
- iii. Screen walls or fences shall not be constructed so as to alter drainage on site or on adjacent properties or obstruct vision for reasons of safety, ingress, or egress.

- S. Detention/retention areas shall be permitted within buffer zones provided they do not hamper the screening intent of the buffer zone or jeopardize the survival of the plant materials.
- T. Solid waste dumpsters and recycling containers may be installed in buffer zones provided they are completely shielded from view (from adjacent properties and public right-of-way) by a continuous opaque screen. The screen may be comprised of berming, plant material, screen walls or fences or any combination of these elements.
  - i. If plant materials are used, they must provide the intended screening effect within one (1) year of installation.
- U. Requirements for projects developed in phases: If a project is constructed in phases, the landscape screen may also be constructed in phases. The Zoning Administrator shall determine the extent of each phase on:
  - i. Adjacent land uses
  - ii. Distance between land uses
  - iii. Operational characteristics both on and off site
  - iv. Building heights
  - v. Physical characteristics of the site such as topography, existing vegetation, etc.
- V. Landscape Screening Waiver: Should the Zoning Administrator determine, upon inspection, that adequate landscaping screen on a site already exists or that such landscaping screen shall not be required, the applicable zoning ordinance provisions may be waived in whole or in part. Criteria which shall be used when considering a landscaping screen waiver shall include, but shall not be limited to:
  - i. Topographic variations
  - ii. Existence of natural vegetation
  - iii. Existing and proposed building placement
  - iv. Sight distances
  - v. Adjacent land uses
  - vi. Existence of floodplain and poor soils areas
- W. Installation and Maintenance Provisions:

- i. The Zoning Administrator shall mandate a financial guarantee of a sufficient amount to insure the installation of all required landscaping.
- ii. All plant material shall be tended and maintained in a healthy growing condition, replaced when necessary, due to poor health, disease, or unsafe conditions, and kept free of refuse and debris.
- iii. Screen walls and fences shall be maintained in good repair.
- iv. Any landscaping required by this section that is removed or replaced without the written permission of the Plan Commission shall be replaced at the owner's expense with new landscaping of the appropriate species that is equal to or greater in caliper, height, or canopy proportions to the required landscaping that was removed.

#### How to use the Buffer Zone Matrix on Page 23

Starting on the left-hand column, find the District in which the proposed improvement is being made. Moving right along the row, find the District(s) for the properties adjacent to the parcel in question. If there is a number in the box, then the appropriate buffer zone is required.

- i. "1" requires the implementation of Buffer Zone 1
- ii. "2" requires the implementation of Buffer Zone 2
- iii. "3" requires the implementation of Buffer Zone 3

**A parcel adjacent to multiple districts may require the implementation of two or more Buffer Zone types. For example, if an unimproved parcel in the R2 District is adjacent to the Ag District on the east and the R1 District on the west, then that parcel would require a Buffer Zone 3 implementation on the east side and a Buffer Zone 2 implementation on the west side.**



## Buffer Zone Matrix

	Ag	R1	R2	R3	C1	C2	II	Ig	Is	Po
Ag		3	3	3	3		3	2	3	
R1	3		2	3	2		2	1	3	
R2	3	2		3	3		3	2	3	
R3	3	3	3		2		3	3	3	
C1	2	2	2	3					2	2
C2										
II	1	2	1	1	1	2			1	1
Ig	1	1	1	1	1	1			1	1
Is	2	3	3	3	3	3	1	1	3	2
Po				1	2	1	3	3	2	

1 = Buffer Zone 1 | 2 = Buffer Zone 2 | 3 = Buffer Zone 3

### V2.2.8

#### Performance Standards

This Performance Standards section applies to the Ag District:

All uses placed into operation after the effective date of this Ordinance should comply with the following general performance standards in the interests of protecting public health, safety, and general welfare and lessening damage to property. No use on a property should exhibit obnoxious characteristics to the extent that it constitutes a public nuisance or interferes with reasonable enjoyment of neighboring properties. No use in existence on the effective date of this Ordinance should be altered or modified to conflict with these standards. The "Right to Farm" laws may supercede these guidelines as they pertain to farming and agricultural uses.

- A. **Air Pollution:** No use on a property should release vapors, noxious, toxic or corrosive matter or other air pollutants in such concentration as to be detrimental to health, animals,

vegetation or property, or conflict with public air quality standards.

- B. **Electrical Disturbance:** No use on a property should cause electrical disturbance adversely affecting radio, television or other equipment in the vicinity.
- C. **Fire Protection:** Fire fighting equipment and prevention measures acceptable to the local Fire Departments should be readily available and apparent when any activity involving the handling and storage of flammable or explosive materials is conducted.
- D. **Noise:** No use on a property should produce noise in such a manner as to be objectionable because of volume, frequency, intermittence, beat, shrillness, or vibration. Such noise should be muffled or otherwise controlled so as not to become detrimental or a nuisance to neighboring property-owners. Public safety sirens and related apparatus

used solely for public purposes shall be exempt from this standard.

- E. **Vibration:** No use on a property should cause vibrations detectable beyond lot lines without the aid of instruments.
- F. **Heat and Glare:** No use on a property should produce heat and glare in such a manner as to create a hazard to neighboring property. No such heat or glare interfere with the reasonable enjoyment of neighboring property, or the safety of transportation routes.
- G. **Waste Matter:** No use on a property should accumulate within the lot or discharge waste matter beyond the lot lines.
- H. **Water Pollution:** No use on a property should produce erosion or other pollutants in such a quantity as to be detrimental to adjacent properties or to conflict with public water quality standards.

## V2.2.9

### Building Design and Architectural Standards

The Following Design and Architectural Standards apply to Single-Family homes constructed in the Ag District. Manufactured Homes (Types I, II, & III), mobile homes, and agricultural structures are exempt from the requirements of this section.

- A. Compliance required for building permit: Compliance with this section, as determined by the Zoning Administrator, shall be required as a condition precedent to the issuance of a building permit for a single-family homes in the Ag District. A decision by the Zoning Administrator may be appealed to the BZA, following the rules and procedures set forth in **Volume 1, Section V1.6**.
- B. All residential structures shall comply with respect to street orientation and massing of adjacent homes.
- C. **Roofing**
  - i. All roofing materials shall be subject to the approval of the Plan Commission.
  - ii. The structure shall have two or more roof planes visible from the public right-of-way. (See **Figures 2.2.9.1 and 2.2.9.2**)



**Figure 2.2.9.1 - Not Suitable - Only one (1) roof plane is visible from the public right-of-way.**



**Figure 2.2.9.2 - Suitable - At least two (2) roof planes are visible from the public right-of-way.**

- iii. The pitch of the largest square footage roof must be 6:12 or greater with façade gables of 8:12, unless the style of the house warrants a change. A roof pitch of 3:12 may be permitted for prairie-style homes subject to review by the Plan Commission.



- iv. There shall be a minimum roof overhang of nine (9) inches on all sides of the home.
- v. The roof shall be covered with the highest industry standard roofing materials including, but not limited to natural clay tiles, slate, concrete tiles (with natural texture and color), wood shakes or shingles (with adequate fire protection), or high profile, three-dimensional asphalt/fiberglass shingles with a 30-year warranty, or synthetic or recycled material that stimulates tile, stone, shake or slate.
- vi. Metal roofing shall be permitted so long as the materials meet the following requirements:
  - 1. Galvanized roofs shall have a minimum galvanizing level of at least “G-90” as suggested by the Metal Construction Association.
  - 2. Galvalume roofs shall have a minimum rating of AZ-50 or AZ-55.
  - 3. Painted metal roofs shall meet the minimum requirements of the Metal Construction Association’s Certified Premium Painted level (or its equivalent).

**D. Building Material Requirements**

- i. Where two (2) wall materials are combined horizontally on one elevation, the heavier of the two (2) materials must be below.
- ii. The exterior elevations of all single story residences 1,500 square feet or less in livable floor area shall be masonry. This requirement shall include all sides of the structure, exclusive of windows, doorways, and bays.
- iii. At least 50 percent (50%) of the front elevation of all residential buildings greater than 1,500 square feet, exclusive of windows, doorways (other than garage doors), and bays, shall be masonry.
  - a. When garage doors are located on a front elevation, in making the calculation, they

shall be included as a part of the façade.

- iv. The side and rear elevations of all residences greater than 1,500 square feet that abut a street, open space, trail, or park, shall have at least 50 percent (50%) masonry as the exterior building material on all visible elevations.
- v. The remaining, non-masonry façade area shall have durable siding materials. Manufactured siding shall have at least a 25-year written manufacturer’s limited warranty. Durable siding materials include:
  - 1. Cement fiber
  - 2. Engineered wood / composite
  - 3. Masonry
  - 4. Rust resistant architectural metals
  - 5. Stucco
  - 6. Vinyl
    - a. All vinyl siding shall be approved and endorsed as meeting or exceeding ASTM D3679 by the Vinyl Siding Institute through their Vinyl Siding Certification Program. Vinyl siding shall be a minimum thickness of 0.044 inches. Lap siding shall have a maximum six (6) inch exposed board space. A letter or certificate stating such shall be attached to each building permit request.
  - 7. Any other material approved by the Plan Commission
  - 8. A combination of the aforementioned materials
  - 9. Sheathing or bracing may not be used as an exterior wall covering except with the prior written approval of the Plan Commission.

- E. **Architectural Design Requirements**
- All residential design plans with side or rear elevations adjacent to streets, parks, golf courses, open space, or other public use shall distribute architectural features and materials so as to achieve side-specific design for each side that faces such street, park, golf course, open space, or public use.
  - The exterior wall surface of the first floor of any multi-story residence shall have a minimum of one (1), two (2) foot step back on both the front and rear elevation, achieved through a recessed or alternately loaded garage, covered porch, gable, or other architectural feature.
  - There shall be no windowless elevations.
- F. Architectural, conservation, and indoor air quality standards. This section is implemented with a weighted point system. Residential design plans subject to the requirements of this ordinance shall be compared against the architectural, conservation, and/or indoor air quality features listed below and shall be assigned points thereunder. All residential design plans shall:
- Meet a minimum score of 15 points from Table 2.2.9.1, Architectural Standards; and
  - Meet a minimum score of 10 points from Table 2.2.9.2, Conservation and Indoor Air Quality Standards.

**Table 2.2.9.1 - Architectural Standards**

	Windows	3	2	1	Total
1.	Window mullion patterns on 75% of windows			X	
2.	One full height, two-story bay window (for a one-story home, one full height bay window)	X			
3.	One bay window		X		
4.	One or more roof dormers		X		

5.	Two or more clerestory windows or windows with transoms above the main window		X		
6.	Front door with one or more sidelights, transom window or double door			X	
7.	Ribbon windows with two or more horizontal rows of windows containing at least three windows each			X	
8.	Decorative shutters on at least two street facing windows			X	
9.	At least two special, decorative window heads or window sills on street facing elevations			X	
10.	Four or more square feet of windows in the garage that are not on the door			X	
11.	Garage door(s) with windows			X	
	<b>Roofs</b>	<b>3</b>	<b>2</b>	<b>1</b>	<b>Total</b>
12.	Light colored, light-reflecting shingles / roofing material			X	
13.	Clay, concrete tile, cement, or standing seam metal roof	X			
14.	Decorative roofing elements (e.g. copper above a bay window)		X		
15.	Greater than nine (9) inch roof overhang on all sides	X			
	<b>Architectural Details / Styles</b>	<b>3</b>	<b>2</b>	<b>1</b>	<b>Total</b>
16.	Facade with greater than 50% masonry (on all public use-facing sides)		X		
17.	100% masonry on all sides	X			
18.	Porte-cochere over driveway	X			

19.	Functioning or simulated chimney		X		
20.	Change in siding style between home and roof gable ends		X		
21.	Decorative material on at least one gable end facing a public street or public use (e.g. decorative vents, lentils, etc.)			X	
22.	Garage not visible on front elevation	X			
23.	Provide a wide fascia at least four (4) inches around doors, windows, and porches.			X	
	<b>Porches, Stoops, and Enhancements</b>	<b>3</b>	<b>2</b>	<b>1</b>	<b>Total</b>
25.	Covered porch of at least 50 square feet on the front elevation	X			
26.	Porch of at least 50 square feet on the front elevation		X		
27.	Wraparound porch, at least six (6) feet deep	X			
28.	Second story porch (at least 25 square feet)	X			
29.	Walk out back covered patio of at least 50 square feet		X		
30.	Eight (8) inch wide columns, as measured at the base of the column, on front or side porch			X	
31.	Porch or balcony railings		X		
32.	Public view - landscape enhancements in yards that face streets, parks, golf courses, open space, or other public uses.	X			

**Table 2.2.9.2 - Conservation Standards**

	Conservation and Indoor Air Quality Standards	3	2	1	Total
1.	Photovoltaic solar panel installed	X			
2.	Solar thermal solar panel installed	X			
3.	Home energy rating system (HERS) index greater than 90 and less than or equal to 95			X	
4.	HERS index greater than 85 and less than or equal to 90		X		
5.	HERS index greater than 75 and less than or equal to 85	X			
6.	HERS index less than or equal to 75	5 points			
7.	Energy Star certified home	5 points			
8.	National Green Building Standard/ ANSI Standard ICC 700 or LEED for homes, Bronze Level equivalent or greater	X			
9.	Stated furnace efficiency between .78 and .95 AFUE		X		
10.	Stated furnace efficiency greater than .95 AFUE	X			
11.	Stated water heater efficiency between .675 and .82		X		
12.	Stated water heater efficiency of .82 or more	X			
13.	Air conditioner with stated efficiency greater than or equal 14 SEER		X		
14.	Air conditioner with stated efficiency greater than or equal to 16 SEER	X			
15.	Certified EPA Water Sense home			X	
16.	All showerheads and hand held showers are 2.0 GPM or less			X	

17.	All showerheads and hand held showers are Water Sense labeled		X		
18.	All bathroom faucets flow rate is 1.5 GPM or less at 60 PSI			X	
19.	All bathroom faucets are Water Sense labeled		X		
20.	All toilets are 1.28 GPF or less			X	
21.	All toilets are Water Sense labeled		X		
22.	All toilets have dual actuated flushing		X		
23.	Dishwasher is Energy Star labeled			X	
24.	Landscape weather-based irrigation controllers are Water Sense labeled		X		
25.	Design of front landscaped area utilizes Water Sense budget tool		X		
26.	On-demand hot water systems in accordance with Water Sense programs, including, but not limited to: <ul style="list-style-type: none"> <li>• Tankless water heater at water-use location</li> <li>• Manifold system with less than 1/2 gallon bleed-off</li> <li>• Circulating pump on occupant switch</li> </ul>	X			
27.	Use of pressure compensating sprinklers with check valves		X		
28.	Irrigation system designed by certified irrigation contractor	X			
29.	Active radon control system		X		
30.	Passive radon control system			X	
31.	Heat recovery ventilation/energy recovery ventilation system	X			

32.	Geothermal heating/cooling system installed	5 points	
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## V2.2.10

### Environmental Standards

This Environmental Standards section applies to the Agricultural District.

#### A. Land Suitability:

No land shall be used, or structure erected where the land is unsuitable for such use or structure due to slopes greater than 10%, adverse soil or rock formation, erosion susceptibility, low percolation rate or bearing strength, or any other feature as determined by the Building Inspector, Plan Commission, or Town Council likely to be harmful to the health, safety, prosperity, aesthetics, and general welfare of the community.

#### B. Preservation of Natural/Historic Features:

Existing natural and historic features which would add value to the development of the town such as trees, streams, vistas, lakes, historical landmarks (as listed in the Indiana Department of Natural Resources Indiana Historic Sites and Structures Inventory), and similar irreplaceable assets, when possible, should be preserved through harmonious and careful design. Land to be developed shall be designed and improved as far as practical in conformity to existing topography in order to minimize storm water runoff, and conserve the natural cover and soil.

#### C. Landscaping:

Any part or portion of a non-farm parcel which is not used for structures, loading or parking spaces, sidewalks and accessory uses shall be landscaped or left in a natural state. If landscaped, it shall be planted with an all season ground cover and shall be landscaped with trees and shrubs in accordance with the requirements of the Landscaping Standards in **Section V2.2.23** and shall be in

- keeping with natural surroundings.
- D. **Riparian Habitat Areas:**  
 These provisions shall apply to all lots which are contiguous with or directly adjoin an intermittent or perennial stream or river.
- i. A protective streamside buffer fifty feet in width measured from the top of a stream, creek or riverbank landward shall be observed. Top of the bank shall mean the highest elevation of land which confines to their channel waters flowing in an intermittent or perennial stream or river. Except as provided in subsection vi of this section, a riparian habitat management plan, prepared by a registered civil engineer or landscape architect shall be required for development including grading, dredging, and filling within the protective streamside buffer. The riparian habitat management plan shall be submitted to the Plan Commission and Zoning Administrator for review and approval.
  - ii. The protective streamside buffer required by subsection i of this section is a minimum and may be increased if necessary to mitigate the impact of the proposed development on riparian habitat areas.
  - iii. A riparian habitat management plan shall address the following areas:
    1. Site development shall be fitted to the topography and soil so as to create the least potential for vegetation loss and site disturbance;
    2. Vegetation removal shall be limited to that amount necessary for the development of the site. Protection of tree crowns and root zones shall be required for all trees planned for retention;
    3. Vegetation indigenous to the site or plant community shall be restored in areas affected by construction activities.
  - iv. A riparian habitat management plan shall be drawn to scale and shall be of sufficient clarity to indicate the nature and extent to the work, bank stabilization and revegetation efforts proposed. A riparian habitat management plan shall include the following information:
    1. Name and address of owner;
    2. Name, address, professional status, license number, and phone number of the person who prepared the plan;
    3. Location and assessor's parcel number of the proposed site;
    4. North arrow, scale, and the name and location of the nearest public road intersection;
    5. Existing contours of the site, as well as finished contours to be achieved by grading. Contours shall be sufficiently detailed to define the topography over the entire site (generally at two-foot intervals);
  4. If proposed development including grading, dredging and filling within the protective streamside buffer would affect the banks of the stream or river, bank stabilization using techniques acceptable to the Building Inspector shall be required to prevent erosion;
  5. A discussion of site design with the Plan Commission to minimize the disturbance and loss of vegetation.
- Temporary vegetation, sufficient to stabilize the soil, may be required on all disturbed areas as needed to prevent soil erosion. New planting shall be given sufficient water, fertilizer and protection to insure reestablishment. Plants which minimized fire hazards should be utilized adjacent to buildings and structures;

6. Detailed plans of all bank stabilization and erosion control measures
  7. Delineation of areas to be cleared during development activities;
  8. Restoration vegetation proposed for all surfaces exposed to be exposed during development activities, including any dredged, filled, or graded areas;
  9. The location and extent of required Buffer Zones and method implementation; any use restrictions and method of implementation.
- v. All approved measures to mitigate the loss or impact to riparian habitat shall become conditions for approval of the project. In addition, all approved riparian habitat management measures shall be carried out prior to final clearance of the building permit or concurrently with the installation of site improvements in the case of a subdivision map.
- vi. The Zoning Administrator may waive the requirement for a riparian habitat management plan for projects which will not result in disturbance to the land or where on-site conditions clearly demonstrate that the site is not now occupied by riparian habitat vegetation and would not effectively respond to riparian revegetation. An applicant requesting such a waiver shall submit sufficient information to substantiate the waiver. Such projects may include, but are not limited to the following:
1. A change of use or status of the property (i.e. rezoning) which will not directly result in construction or land-disturbing activities;
  2. An accessory building less than five hundred square feet in size;
  3. Construction within an existing structure;
  4. A lot line adjustment..

E.

**Cut / Fill Grade:**

No cut or fill grade shall exceed a slope of 3/1 or 33-1/3%. This provision shall apply to all cuts and fills exceeding 100 square feet in exposed surface area, including cuts or fills on land naturally exceeding 3/1 in slope.

F.

**Treatment of Fill:**

Material used for fill where permitted by this Ordinance and/or by the IDEM, IDNR, or other governmental agency, shall be promptly covered and seeded.

G.

**Erosion Prevention:**

All land, regardless of slope, from which structures or natural cover has been removed or otherwise destroyed, shall be appropriately graded and seeded within 30 days after the removal or destruction of said natural cover to prevent erosion.

H.

**Surface Water:**

It shall be the responsibility of the owner of any lot or parcel of land developed for any use other than for agriculture to provide for adequate surfacewater drainage. Existing natural surface drainage should be utilized. Whenever the evidence available indicates that the natural surface drainage is inadequate, the owners shall provide the parcel with an adequate surface water drainage system which shall be integrated into the drainage pattern of surrounding properties. Swales are required to be placed in an easement to prohibit future filling or constructing. On-site detention for a 100-year storm event shall be required unless a written statement by the County Engineer indicates that it is not necessary to prevent harm to adjoining properties. All drainage plans are subject to review and approval by the Madison County Engineer, and Madison Drainage Board.

I.

**Drainage:**

Drainage swales (ditches) along dedicated roadways and within the right-of-way or on dedicated drainage easements are not to be altered, except for maintenance as originally constructed and as approved by the Madison County Highway Department, the Madison County Drainage Board,



or the Indiana Department of Transportation. Driveways may be constructed over these swales as permitted by the appropriate agency.

**J. Regulated Drain Setbacks:**

No permanent structures other than a fence may be erected, and if erected in violation of this section, no such structure may be used if its location is within 50 feet of the center line of any regulated tile ditch, or within 50 feet of the existing top of bank of any regulated open ditch or tile unless approved by the Madison County Engineer and Madison County Drainage Board.

**K. Projects Affecting Regulated Drains:**

Regulated drains are under the jurisdiction of the Madison County Drainage Board. The Madison County Drainage Board or Madison County Engineer shall review and approve all development or projects directly affecting a regulated open ditch or tile per I.C. 36-9-27-13 of the Indiana Drainage Code.

**L. Alterations to Bodies of Water:**

No alteration of the shoreline or bed of a river, wetland, or public lake shall be made until appropriate written approval is obtained from the Indiana Department of Natural Resources, and Army Corp of Engineers, the Indiana Department of Environmental Management; and the provisions of this Ordinance are complied with.

**M. Retention, Detention, and Pond Edges:**

All retention, detention, and pond edges must be maintained with a buffer of natural plantings within 20 feet of the peak elevation. This shall be considered in addition to the Buffer Zone requirements in **Section V2.2.7**. The use of “rip-rap” or any other engineered hard edges are not permitted except around inlets and outlets. However, the use of “rip-rap” or any other engineered hard edgesshall not exceed 5% of lineal feet of the total edge of any retention facility, detention facility, or pond.

**N. Code Compliance / Hazardous Waste:**

All development must be in compliance with Title 329 of the Indiana Code, as amended, as it relates to hazardous waste,

low level nuclear waste, underground storage tanks, waste tires, and other applicable chapters of said Title.

**O. Code Compliance / Environmental Quality:**

All development must be in compliance with Title 13 of the Indiana Code, as amended, as it relates to air pollution control,water pollution control, solid waste management, and other applicable chapters of said Title.

**P. Waste/Debris:**

No waste materials such as garbage, rubbish, household appliances, inoperable vehicles, furniture designed for interior use, gasoline, oil, flammables,soils, tars, chemicals, greases, dead plant material, noxious weeds, industrial or agricultural waste, or any other material of such nature, quantity, obnoxiousness, toxicity, or temperature so as to contaminate, pollute, or harm water bodies or ground water, provide a habitat for disease carrying animals and insects, or represent a public safety hazard shall be deposited, located, stored, or discharged outside on any lot; nor shall such waste be allowed to accumulate within structures in a manner that is inconsistent with applicable regulations for the storage of such materials.

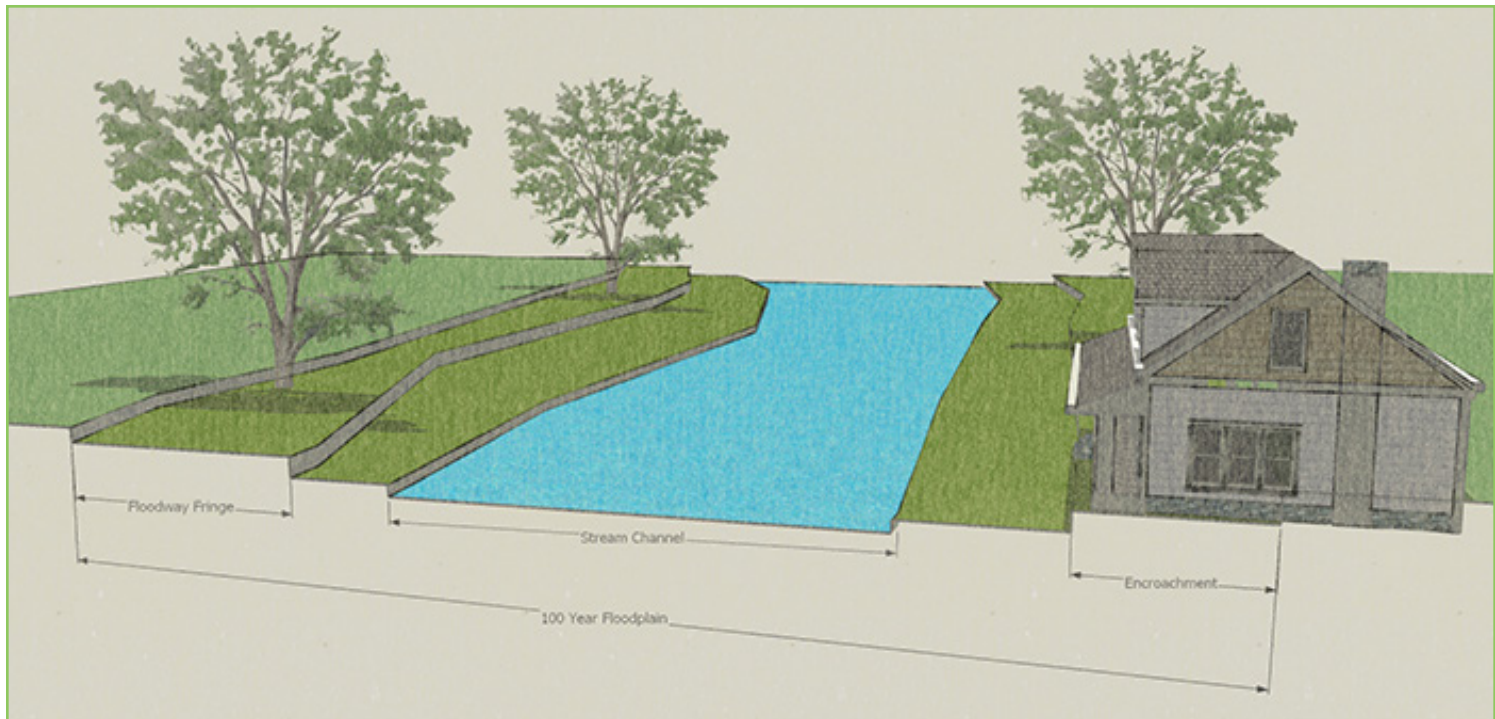
**Q. Fuel Storage:**

No highly flammable or explosive liquids,solids, or gasses specified by the State Fire Marshal shall be stored except in accordance with the rules established by the State Fire Marshall.

## V2.2.11

### Flood Hazard Area Standards

This Flood Hazard Area Standards section applies to the Agricultural District: The purpose of this section is to guide development in flood hazard areas in order to reduce the potential for loss of life and property, reduce the potential for health and safety hazards, and to reduce the potential for extraordinary public expenditures for flood protection and relief. Under the authority granted to local units of government to control land use within their jurisdiction, which includes taking into account the effects of flooding, the Town Council of the Town of Lapel adopts these flood hazard area standards in



order to accomplish the following:

- to prevent unwise developments from increasing flood or drainage hazards to others;
- to protect new buildings and major improvements to buildings from flood damage;
- to protect human life and health from the hazards of flooding;
- to lessen the burden on the taxpayer for flood control projects, repairs to flood-damaged public facilities and utilities, and flood rescue and relief operations;
- to maintain property values and a stable tax base by minimizing the potential for creating flood blighted areas; and
- to make federally subsidized flood insurance available for structures and their contents in the Town of Lapel by fulfilling the requirements of the National Flood Insurance Program.

A. **Disclaimer of Liability:**

B.

The degree of flood protection required by this section is considered reasonable for regulatory purposes and is based on available information derived from engineering and scientific methods of study. Larger floods can and will occur on rare occasions. Therefore, this Ordinance does not create any liability on the part of the Town of Lapel, the Department of Natural Resources, or the State of Indiana, for any flood damage that results from reliance on this Ordinance or any administrative decision made lawfully thereunder.

**Duties of the Building Inspector:**

The Building Inspector shall review all development and subdivision proposals to ensure compliance with this Ordinance, including but not limited to the following duties:

- i. Ensure that all development activities within the Special Flood Hazard Areas (SFHA) of the jurisdiction of Lapel meet the requirements of this



- Code;
  - ii. Provide information and assistance to citizens upon request about permit procedures and floodplain construction techniques;
  - iii. Ensure that construction authorization has been granted by the Indiana Natural Resources Commission for all development projects subject to the requirements of this section, and maintain a record of such authorization (either copy of actual permit or letter of recommendation);
  - iv. Maintain a record of the “as-built” elevation of the top of the lowest floor (including basement) of new and / or substantially improved buildings constructed in the SFHA. Inspect before, during, and after construction;
  - v. Maintain a record of the engineer’s certificate and the “as-built” flood-proofed elevation of all buildings subject to the requirements of this section;
  - vi. Cooperate with state and federal floodplain management agencies to improve base flood and floodway data and to improve the administration of this section. Submit reports as required for the National Flood Insurance Program;
  - vii. Maintain for public inspection and furnish upon request regulatory flood data, SFHA maps, Letters of Map Amendment (LOMA), Letters of Map Revision (LOMR), copies of DNR permits and letters of recommendation, federal permit documents, and “as-built” elevation and flood-proofing data for all building constructed subject to this Code; and
  - viii. Notify adjacent communities and the State Coordinating Office prior to any alteration or relocation of a watercourse, and submit copies of such notifications to FEMA.
- C. **Regulatory Flood Elevation:**  
This section’s protection standard is the regulatory flood.

The regulatory flood elevation and floodway limits for each of the SFHAs delineated as an “A Zone” on the Flood Insurance Rate Map of Madison County dated May 3rd, 2011, shall be the best data available as provided by the Department of Natural Resources.

- i. Whenever a party disagrees with the best available data, the party submitting the detailed engineering study needs to replace existing data with better data and submit it to the Department of Natural Resources for review and approval.
- ii. For all projects involving channel modifications or fill (including levees) the Town shall submit the data and request that the Federal Emergency Management Agency revise the regulatory flood data.

D. **Improvement Location Permit Application:**

No person, firm, corporation, or governmental body not exempted by state law shall commence any “development” in the SFHA without first obtaining an Improvement Location Permit. The Building Inspector shall not issue an Improvement Location Permit if the proposed “development” does not meet the requirements of this Ordinance. The application for an Improvement Location Permit shall be accompanied by the following:

- i. A description of the proposed development.
- ii. Location of the proposed development sufficient to accurately locate property and structure in relation to existing roads and streams.
- iii. A legal description of the property site.
- iv. A site development plan showing existing and proposed development locations and existing and proposed land grades.
- v. Elevation of the top of the lowest floor (including basement) of all proposed development. Elevation should be in National Geodetic Vertical Datum of 1929 (NGVD) or North American Vertical Datum (NAVD). In either case the conversion formula should be included.

- E. Improvement Location Permit Review and Approval:**  
Upon receipt of an application for an Improvement Location Permit, the Building Inspector shall determine if the site is located within an identified floodway, floodway fringe, or within the floodplain where the limits of the floodway have not yet been determined.
- i. **Identified Floodway Sites:** If the site is in an identified floodway the Building Inspector shall require the applicant to forward the application, along with all pertinent plans and specifications, to the Department of Natural Resources and apply for a permit for construction in a floodway.
    - 1. Under the provisions of IC 14-28-1 a permit from the Natural Resources Commission is required prior to the issuance of a local improvement location permit for any excavation, deposit, construction or obstruction activity located in the floodway. This includes land preparation activities such as filling, grading, clearing and paving etc. undertaken before the actual start of construction of the building.
    - 2. No action shall be taken by the Building Inspector until a permit has been issued by the Natural Resources Commission granting approval for construction in the floodway.
    - 3. Once a permit has been issued by the Natural Resources Commission, the Building Inspector may issue the local Improvement Location Permit, subject to compliance with all requirements of this section. The Improvement Location Permit cannot be less restrictive than the permit issued by the Natural Resources Commission.
  - ii. **Identified Floodway Fringe Sites:** If the site is

- located in an identified floodway fringe, the Building Inspector may issue the local Improvement Location Permit provided the provisions contained in this section have been met. The key provision is that the top of the lowest floor of any new or substantially improved structure shall be at or above the Flood Protection Grade (FPG).
- iii. **Undefined Floodplain Sites with Significant Upstream Drainage:** If the site is in an identified floodplain where the limits of the floodway and floodway fringe have not yet been determined, and the drainage area upstream of the site is greater than one square mile, the Building Inspector shall require the applicant to forward the application, along with all pertinent plans and specifications, to the Department of Natural Resources for review and comment.
  - 1. No action shall be taken by the Building Inspector until either a permit for construction in the floodway or a letter of recommendation citing the 100-year flood elevation and the recommended Flood Protection Grade has been received from the Department of Natural Resources.
  - 2. Once the Building Inspector has received the proper permit or letter of recommendation approving the proposed development, an Improvement Location Permit may be issued provided the conditions of the Improvement Location Permit are not less restrictive than the conditions received from the Department of Natural Resources and the provisions contained in this section have been met.
- iv. **Undefined Floodplain Sites with Insignificant Upstream Drainage:** If the site is in a floodplain where the limits of the floodway and floodway fringe have not yet been determined and the

drainage area upstream of the site is less than one square mile, the Building Inspector shall require the applicant to provide an engineering analysis showing the limits of the floodway, floodway fringe and 100 year elevation for the site. Upon receipt, the Building Inspector may issue the local Improvement Location Permit, provided the provisions contained in this section have been met.

**F. Flood Plain Development:**

All developments shall be prohibited in the 100-year floodplain unless otherwise specified below:

- i. Permitted Uses: The following uses shall be permitted by right, provided they are permitted in the underlying district:
  - 1. Agricultural uses such as crop production, pastures, orchards, tree farms, plant nurseries, vineyards, and general farming.
  - 2. Forestry, wildlife areas and nature preserves.
  - 3. Parks and recreational uses except golf course and driving range.
  - 4. Public streets, bridges, and roadways.
- ii. Special Uses: Uses permitted as a Special Use are as follows:
  - 1. Riding stables or trails.
  - 2. Public well.
  - 3. Sewage treatment plant (not including septic fields).
  - 4. Water management use facilities (i.e. dams, docks, channel improvements, dikes, jetties, marinas, piers, wharves, levees, floodwalls, and irrigation facilities).
  - 5. Public / private parking area.
  - 6. Golf course.
  - 7. Driving range.
  - 8. Mineral extractions and processing as shown on the flood-insurance rate maps.

**G. Preventing Increased Damages:**

No development in the SFHA shall create a damaging or potentially damaging increase in flood heights or velocity or threat to public health and safety.

- i. Within the floodplain identified on the Flood Boundary and Floodway Map, the Flood Insurance Rate Map, or engineering analysis provided, no development shall be allowed which acting alone or in combination with existing or future development, will cause any increase in the elevation of the regulatory flood or result in a net loss of floodwater capacity.
- ii. No development in the SFHA shall include locating or storing chemicals, explosives, buoyant materials, flammable liquids, pollutants, or other hazardous or toxic materials below the Flood Protection Grade, unless such materials are stored in a flood-proofed storage tank or building constructed according to the requirements of this section.
- iii. New and replacement sanitary sewer lines and on-site waste disposal systems may be permitted providing all manholes or other above ground openings are located above the FPG, or those which are located below the FPG are watertight.

**H. Building Protection Requirements:**

In addition to the damage prevention requirements of this section, all buildings to be located in the SFHA shall be protected from flood damage below the FPG. This building protection requirement applies to the following situations:

- i. construction or placement of any new building having a floor area greater than 400 square feet;
- ii. structural alterations made to:
  - 1. an existing (previously unaltered) building, the cost of which equals or exceeds 50% of the value of the pre-altered building (excluding the value of the land);
  - 2. Any previously altered building;

- iii. reconstruction or repairs made to a damaged building that are valued at or more than 50% of the market value of the building (excluding the value of the land) before damage occurred;
- iv. installing a manufactured home on a new site or a new manufactured home on an existing site. This Ordinance does not apply to returning the existing manufactured home to the same site it lawfully occupied before it was removed to avoid flood damage; and
- v. installing a travel trailer or recreational vehicle on a site for more than 180 days.

I. **Building Protection Methods:**

The building protection requirement may be met by one of the following methods. The Building Inspector shall maintain a record of compliance with these building protection standards as required by this section.

- i. Residential or Non-residential Structures on Fill:  
A residential or nonresidential building may be constructed on a permanent land fill in accordance with the following:
  - 1. The fill shall be placed in layers no greater than 1 foot deep before compacting to 95% of the maximum density obtainable with the Standard Proctor Test method.
  - 2. The fill should extend at least ten (10) feet beyond the foundation of the building before sloping below the FPG.
  - 3. The fill shall be protected against erosion and scour during flooding by vegetative cover, riprap, or bulkheading. If vegetative cover is used, the slopes shall be no steeper than three (3) horizontal to one (1) vertical.
  - 4. The fill shall not adversely affect the flow of surface drainage from or onto neighboring properties.

- 5. The top of the lowest floor including basements, (see definition of lowest floor) shall be at or above the FPG.

ii. **Elevated Residential and Non-residential Structures:** A residential or nonresidential building may be elevated in accordance with the following:

- 1. The building or improvements shall be elevated on posts, piers, columns, extended walls, or other types of similar foundation provided: **(A)** Walls of any enclosure below the elevated floor shall be designed to automatically equalize hydrostatic flood forces on the walls by allowing for the entry and exit of floodwaters, through providing a minimum of two (2) openings (in addition to doorways and windows) having a total area of one (1) square foot for every one (1) square foot of enclosed area subject to flooding (the bottom of all such opening shall be no higher than one foot above grade); and **(B)** Any enclosure below the elevated floor is used for storage of vehicles and building access.
- 2. The foundation and supporting members shall be anchored and aligned in relation to flood flows and adjoining structures so as to minimize exposure to known hydrodynamic forces such as buoyancy, current, waves, ice, and floating debris.
- 3. All areas below the FPG shall be constructed of materials resistant to flood damage. The top of the lowest floor (including basement) and all electrical, heating, ventilating, plumbing, and air conditioning equipment and utility meters shall be located at or above the FPG. Water and sewer pipes, electrical

- and telephone lines, submersible pumps, and other water-proofed service facilities may be located below the FPG.
  - iii. Permanent Manufactured Homes and Recreational Vehicles: Manufactured homes and recreational vehicles to be installed or substantially improved on a site for more than 180 days must meet one of the following anchoring requirements:
    1. The manufactured home shall be elevated on a permanent foundation such that the lowest floor shall be at or above the FPG and securely anchored to an adequately anchored foundation system to resist flotation, collapse, and lateral movement. This requirement applies to all manufactured homes to be placed on a site; **(A)** outside a manufactured home park or subdivision; **(B)** in a new manufactured home park or subdivision; **(C)** in an expansion to an existing manufactured home park or subdivision; or **(D)** in an existing manufactured home park or subdivision on which a manufactured home has incurred “substantial damage” as a result of a flood.
    2. This requirement applies to all manufactured homes to be placed on a site in an existing manufactured home park or subdivision that has not been substantially damaged by a flood.
    3. The manufactured home shall be elevated so that the lowest floor of the manufactured home chassis is supported by reinforced piers or other foundation elements that are no less than 36 inches in height above grade and be securely anchored to an adequately anchored foundation system
  - iv. Temporary Recreational Vehicles: Recreational vehicles placed on a site shall either:
    1. be on the site for less than 180 consecutive days;
    2. be fully licensed and ready for highway use (defined as being on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices, and has no permanently attached additions); or
    3. meet the requirements for “manufactured homes” in **Subsection iii** above.
  - v. Flood-proofed Non-residential Structures: A non-residential building may be flood-proofed to the FPG (in lieu of elevating) if done in accordance with the following:
    1. A Registered Professional Engineer shall certify that the building has been designed so that below the FPG, the structure and attendant utility facilities are watertight and capable of resisting the effects of the regulatory flood. The building design shall take into account flood velocities, duration, rate of rise, hydrostatic pressures, and impacts from debris or ice.
    2. Flood-proofing measures shall be operable without human intervention and without an outside source of electricity.

## V2.2.12

### Parking Standards

This Parking Standards section applies to the Agricultural District:

- A. Two off-street parking spaces, paved or gravel, are required per farm-related dwelling unit. Off street parking spaces may not fully or partially be in a public right-of-way, utility



easement, or septic field. Each space must be at least nine (9) feetwide and 18 feet long. Parking spaces shall be provided on the same lot as the dwelling units for which they are required. Parking areas must be designed as to prevent vehicles from having to back into or maneuver in public streets.

- B. One (1) and one-half (1/2) off street spaces, paved or gravel shall be required for each non-farm dwelling unit. Each space must be at least nine (9) feet wide and 18 feet long.
- C. No vehicle, including recreational and commercial vehicles, shall be parked, stored, or allowed to remain on a lot or parcel of land that does not contain a principal structure.
- D. Vehicles or trailers of any type without current license plates and registration or in an inoperable condition shall be prohibited other than in completely enclosed buildings or associated with permitted junk yards or auto-repair facilities. Such vehicles associated with permitted junk yards or auto-repair facilities must be stored consistent with the following requirements:
  - i. All such vehicles, including antique vehicles, shall be stored within the rear or side yard. In no case shall such vehicles be stored in any right-of-way, front yard, or required setback area.
  - ii. All storage areas for such vehicles shall be completely enclosed with a six (6) foot tall, 100% opaque wood, stone, or masonry fence. Gates allowing access to the storage areas are permitted. Gate shall be closed when not in use, and shall consist of six (6) foot tall, 100% opaque wooden doors.
- E. No vehicle or tractor / trailer of any type may be used predominantly for the purpose of personal storage.

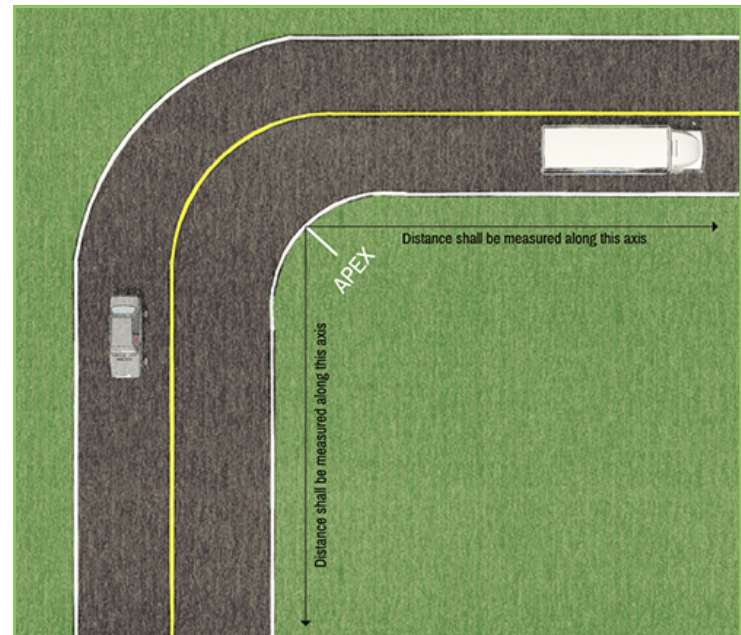
## V2.2.13

### Entrance / Drive Standards

This Entrance / Drive Standards section applies to the Agricultural District. It is the intent of this section to provide for a safe and efficient vehicular and pedestrian transportation system.

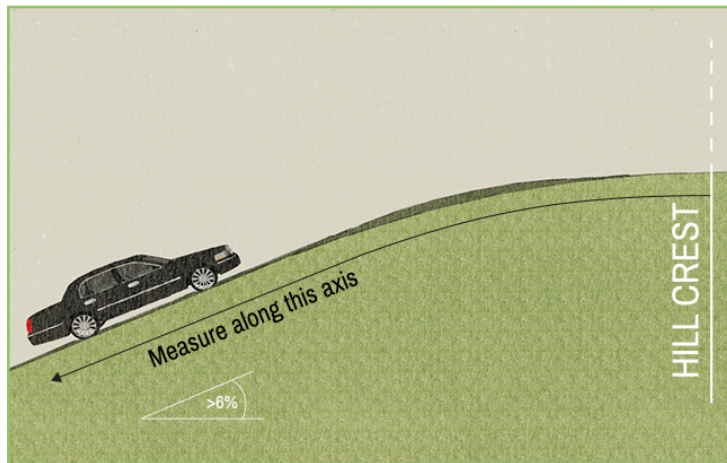
- A. The location of drives on or near curves and changes in grade shall be investigated individually by the Town Council and evaluated for their sight distance and the design speed of the roadway or the posted speed limit, whichever is greater. The Town Council may specify entrance and drive locations based on this investigation.

- i. No entrance or drive shall be permitted within:
  - 1. 140 feet of the apex of a curve (30 degrees or greater) and where the road is an Arterial,
  - 2. 120 feet of the apex of a curve (30 degrees or greater) where the road is a Collector,
  - 3. 70 feet of the apex of a curve (30 degrees or greater) where the road is a Local Road



- ii. No entrance or drive shall be permitted:
  - 1. Within a minimum of 225 feet from the crest of a hill where the slope on either side of the crest is six percent (6%) or

- greater, and the speed limit is 45 MPH or greater;
2. Within a minimum of 175 feet from the crest of a hill where the slope on either side of the crest is six (6%) or greater, and the speed limit is 45 MPH or less; or
  3. Where the visibility to or from the desired location is determined to be otherwise impaired by the Building Inspector.



- iii. Curb cuts and drives are permitted within 30 feet of the crest of a hill unless the Building Inspector determines the visibility to be impaired.
- B. No entrance or drive shall exceed the following pavement widths for two-way traffic (if one-way, the measurements shall be one-half (1/2) of the measurements below:
- i. 32 feet if from a non-residential agricultural use onto an Arterial,
  - ii. 30 feet if from a non-residential agricultural use onto a Collector,
  - iii. 26 feet if from a non-residential agricultural use onto a Local Road,
  - iv. 28 feet if from an agricultural use with residential onto any type of street,
  - v. 22 feet if from a non-agricultural use with residential

onto any type of street.

**The distances for the above standards shall be determined by measuring from the outside edges of the curb or pavement (whichever is more) of the entrance or drive at the public right-of-way which it accesses.**

- C. All drives providing access to a public right-of-way from all lots used for purposes other than single-family residences shall be designed so that vehicles are traveling in a forward direction when entering and leaving. In no case may any access drive be designed to require a vehicle to back onto any arterial or collector road.
- D. The number of entrances or drives provided shall meet the following requirements:
  - i. Single and two-family residences shall be limited to two (2) drives per dwelling unit;
  - ii. If a manufactured home park or multifamily development has 40 or more dwelling units, there must be two (2) access points from the public road. Individual dwelling sites may only have driveways accessing interior roads.
- E. All entrances or drives which provide access to more than three (3) lots, which are not part of a larger subdivision, with access from a public right-of-way shall be considered a private street and shall be prohibited.
- F. The Building Inspector or Plan Commission may determine that the following are necessary:
  - i. an acceleration or deceleration lane, or
  - ii. a passing blister at a new entrance or drive
- G. No entrance or drive shall be permitted to begin within 200 feet of any intersecting road or 100 feet of any other entrance or drive on either side of the road.

**The distances for the above standards shall be determined by measuring from the right-of-way line to the curb or edge of pavement (whichever is less) of the entrance or drive.**

## V2.2.14

### Sight Visibility Standards

This Site Visibility Standards section applies to the Agricultural District. The intent of this section is to provide for a safe vehicular and pedestrian transportation system. The visibility at intersections, driveways, curb cuts, and entrances are particularly important for the safe movement of vehicles and pedestrians.

- A. All intersections must maintain an area (Sight Visibility Triangle) where primary or accessory structures, trees, vegetation, or signs (other than road signs) are not allowed to be placed or to project between a height of three (3) and eight (8) feet measured from the nearest top-of-curb (or edge of pavement where curbs are not present). The Sight Visibility Triangle is illustrated below.



**Figure 2.2.14.1 - Sight Visibility Triangle**

*Figure 2.2.14.1, above, should be paired with Table 2.2.14.1 on the right.*

**Table 2.2.14.1 - Sight Visibility Triangle Standards**

Sight Visibility Triangle Requirements	
Road Type	"A" and "B" Segment Length
Arterial	35 feet
Collector	30 feet
Local	20 feet
Private Entrance or Drive	15 feet

- B. The Sight Visibility Triangle shall be established by connecting points located along the intersecting rights-of-way at the distances from the point of intersection required by **Table 2.2.14.1**, above.

## V2.2.15

### Home Occupation Standards

**This Home Occupation Standards Section applies to the Ag District. Home occupations shall be allowed as either permitted uses or special uses consistent with the provisions of Section V2.1.2 of this Volume. The allowed home occupations are classified as either a Type I Home Occupation or a Type II Home Occupation as defined below:**

A. **Type I Home Occupations:**

Type I Home Occupations are those which meet the following standards; representing requirements which permit minimal business practices in certain residential zoning districts while maintaining residential character. Type I home occupations shall be permitted uses, consistent with the Accessory Use & Structure Standards (**Section V2.2.6**) of this Volume and the provisions of **Section V2.1.2** of this Code.

- The home occupation must not involve retail sales or manufacturing, and shall be limited to small, home-office operations.
- The home occupation must not involve the employment of any person other than those



- iii. residing at the location of the home occupation. At least one (1) person residing on the premises must be the primary operator of the home occupation.
- iv. The equipment used for the home occupation must be limited to computers, fax machines, telephones, copy machines, and other small business office equipment.
- v. The home occupation must not involve any exterior storage or display of products, equipment or materials.
- vi. There shall be no use or storage of dangerous chemicals, acids, caustics, explosives, or other such hazardous equipment or materials, other than those materials that are used in typical household activities.
- vii. The home occupation must not make any use of accessory structures, including attached and detached garages.
- viii. The home occupation must utilize no more than 25% of the total floor area of the primary structure.
- ix. The home occupation must not require any exterior, structural or aesthetic alterations to the dwelling unit that change the residential character of the dwelling unit.
- x. The home occupation must not require any additional entrances to the dwelling unit.
- xi. No displays, signs, and/or advertisements associated with the home occupation shall be permitted.
- xii. The home occupation must not require increasing or enhancing the size, capacity, or flow of the water, gas, septic, sewer, or electrical system beyond what is standard for a residence.
- xiii. The home occupation must not involve clients, associates, or persons visiting, shopping, meeting, or otherwise doing business at the location of the

- home occupation, and therefore not require the addition of any off-street parking spaces.
- xiv. The home occupation must not require the use of commercial vehicles for pickup and deliveries other than from the U.S. Postal Service, UPS, and other express carriers.
- xv. The establishment and conduct of a home occupation shall not change the principal residential character or use of the dwelling unit, nor shall there be any exterior evidence of the home occupation being conducted. The home occupation use shall be clearly incidental to the residential use.

#### **Type II Home Occupations:**

Type II Home Occupations are those which meet the following standards; representing requirements which permit reasonable business practices in certain residential and agricultural zoning districts while maintaining residential and rural character and the viability of farming operations. Type II home occupations shall be special uses, consistent with the Accessory Use & Structure Standards of **Section V2.2.6** of this Volume.

- i. The home occupation must not involve retail sales or manufacturing, but may include professional and personal services, or auto, furniture, and appliance repair.
- ii. The home occupation must not involve the employment of any more than one (1) person who does reside at the location of the home occupation.
- iii. At least one (1) member residing on the premises must be the primary operator of the business.
- iv. The home occupation must not require any exterior storage or display of equipment or materials, including vehicles (operable or inoperable), equipment, or appliances being serviced by the home occupation.
- v. There shall be no use or storage of dangerous chemicals, acids, caustics, explosives, or other

- such hazardous equipment or materials, other than those materials that are used in typical household activities.
- vi. Not more than 40% of the total floor area of any level of the primary structure shall be used for the home occupation, however, business practices in accessory structures are permitted so long as the accessory structure(s) do not alter the residential character of the property or neighborhood.
- vii. The home occupation must not require any exterior, structural or aesthetic alterations to the dwelling unit that change the residential character of the dwelling unit.
- viii. The home occupation must not require an identification sign exceeding two (2) square feet, attached to the primary structure. No off-site displays, signs, and/or advertisements associated with the home occupation shall be permitted - nor shall any display, sign, or advertisement associated with the home occupation be permitted in the yard of the property .
- ix. The home occupation must not require increasing or enhancing the size, capacity, or flow of the water, gas, septic, sewer, or electrical system beyond what is standard for a residence.
- x. The home occupation must not require that more than two (2) additional parking spaces be added to the lot(s) on which the residence is located.
- xi. The home occupation must not require the use of commercial vehicles for pickup and deliveries other than from the U.S. Postal Service, UPS, and other express curriers.
- xv. The establishment and conduct of a home occupation shall not change the principal residential character or use of the dwelling unit, nor shall there be any exterior evidence of the home occupation being conducted other than

the attached sign as specified in **Subsection viii** of this Code. The home occupation use shall be clearly incidental to the residential use.

C. **Nuisances:**

Home occupations which comply with the requirements of this section but are deemed by the Building Inspector to be a nuisance or distract from the residential character of the area by excessive traffic, noise, vibration, electrical interference, odors, light, smoke, fumes, dust, or other offensive characteristics shall be prohibited.

D. **Interpretation:**

The Building Inspector or Plan Commission shall determine to what extent any proposed or existing home occupation is consistent with the requirements of this section.

## V2.2.16

### Telecommunication Facility Standards

This Telecommunication Facility Standards section applies to the Agricultural District. Wireless telecommunication facilities shall require approval as a Special Use from the Board of Zoning Appeals and shall meet all of the following requirements in addition to the general requirements and all other applicable provisions of this Code:

- A. The tower shall be a monopole design, and shall be setback from any property line a distance equal to at least 100% the height of the tower. Towers shall not be permitted in any required front yard.
- B. The maximum height of the tower shall be 125 feet. The maximum height of any accessory structure shall be 15 feet
- C. The fence enclosing the facility shall be opaque and of wood, brick, or stone construction. Opaque, wooden gates, matching any wooden fence, or painted to match a fence of another material shall be provided to access the facility. The fence and gates should be of sufficient height as to provide the intended screening of the facility. This fence shall be in addition to the Buffer Zone / Screening Standards (**Section V2.2.7**) of this Volume.

## V2.2.17

### Farm Animal Standards

This Farm Animal Standards section applies to the Agricultural District. The impact of farm animals varies by size and type of animal. The concept of Farm Animal Unit has been created to balance the impact of large and small animals.

A. **Exemptions:**

All lots shall be permitted up to and including 0.3 animal units in the Agricultural District regardless of lot size; given that the Setback Requirements of **Subsection D** are met.

B. **Farm Animals Defined:**

Nothing in this section shall be interpreted as regulating the keeping of household pets. For the purpose of this section, farm animals shall be defined as those which are raised and maintained for, or in support of, the production of food or other products.

C. **Animal Units Permitted:**

In the Ag District, there shall be two (2) animal units permitted per acre as determined based on the following table. The Town Council shall have the discretion to determine the minimum acreage for any farm animal not listed below.

Farm Animal Capacity Requirements	
Animal Type	Units
Large Animals: horses, cattle, buffalo, camels, donkeys	1.5
Medium Animals: llamas, emu, ostrich, alpacas, sheep, goats	1
Small Animals: pigs, turkeys, geese	0.5
Very Small Animals: chickens, rabbits, ducks	0.1

D. **Setback Requirements:**

All farm animal stalls, coops, stables, or other place of boarding shall have a minimum setback of 75 feet from all property lines. This shall be in addition to any Buffer Zone / Landscaping requirements in **Section V2.2.7**.

E. **Apiary / Bee Hive Standards:**

The keeping of bee hives for the purpose of harvesting honey is permitted in the Agricultural District given the following regulations are followed:

- i. The minimum lot size for keeping bee hives is two (2) acres.
- ii. There shall be a maximum of two (2) hives per every one (1) acre of land.
- iii. The hives shall be located a minimum of 150 feet from any street, park, house, or public use.
- iv. Hives that are less than 200 feet from any street, park, house, or public use must be protected by a six (6) foot hedgerow, partition, fence, or similar enclosure.
  1. The fence or other enclosure is subject to regulations of the Fence and Wall Standards (**Section V2.2.22**) and shall be in addition to any Buffer Zone / Landscaping requirements in **Section V2.2.7**.

F. **Confined Feeding Operations - Scope & Purpose:**

The Plan Commission recognizes that agriculture is a key component of the town and is essential to the continued economic well-being of Lapel. It is understood that with ever-improving technology and market trends, the agricultural industry has and continues to evolve. In order to minimize adverse effects and to protect public health, safety, and general welfare, consideration should be given to many branches of the agricultural industry and their effect on the environment. The Plan Commission recognizes that the town has many diverse areas where the geologic, typographic, climatic, biological, and social conditions are significantly different and specifications for Confined Feeding Operations (CFOs) may vary depending on these conditions.

Confined Feeding Operations regulations are hereby established in order to encourage flexibility in

in the development of land that may be necessary to permit adjustments to changing public and private needs; to foster the ability to provide development patterns which are more compatible with and effective in meeting such needs; to promote the more efficient use of land so as to preserve and enhance the natural characteristics and unique features of a property; to improve the design, character and quality of new development; to encourage integrated planning for economical provision of streets / roads / infrastructures and other utilities to reduce the burden by more efficient development; and to conserve the value of land. The regulations in this section are in addition to the promulgated rules from the Indiana Department of Environmental Management (IDEM), Environmental Protection Agency (EPA) or any other agency or board designated at the federal, state, or local level to monitor or regulate Confined Feeding Operations either directly or indirectly. Any revisions to the state or federal rules shall be accepted in these regulations, without amendment and while printed revisions are updated. In this case of conflicting requirements, the more restrictive requirement will prevail.

- G. **Confined Feeding Operations (CAFO/CFO) Standards:**
- i. A Special Use Permit from the Town of Lapel Board of Zoning Appeals is required.
  - ii. Pre-applicant Permit
    1. A pre-application permit for any CAFO / CFO may be obtained prior to the applicant's submission of any IDEM confined feeding permit application. This pre-application permit and site plan shall be filed with the Town of Lapel Plan Commission and shall prevent, for 12 months - unless extended by the Town of Lapel Board of Zoning Appeals, any land owner from obtaining a building permit for a residence to be built within the setbacks established herein

without the landowner submitting a written waiver acknowledging that a CAFO/CFO is being requested and consenting to the approval, as submitted. This written waiver shall be recorded with the Recorder of Madison County and include the legal description of the real estate.

2. Each property owner within 2500 feet of the proposed CAFO / CFO shall be notified by certified mail by the applicant of the proposed IDEM permit application and pre-application permit. This notification shall be in a form approved by the Town of Lapel Plan Commission and sent no later than the 3rd day after the filing of the pre-application permit. The owner of the CAFO/CFO shall, no later than the 10th day after the filing of the pre-application permit, file with the Town of Lapel Plan Commission a list of the property owners required to be notified, together with proof of such notification.
- iii. Confined feeding operation shall be exempt from the Farm Animal Capacity Requirements in **Subsection C** of this Ordinance.
- iv. Confined feeding operations shall meet any applicable requirements for the federal, state, or local government, and shall be consistent with the standards of this ordinance.
- v. The minimum lot size on which confined feeding operations shall be permitted is 50 acres.
- vi. Structures used for confined feeding operations, including waste disposal lagoons, shall be set back a minimum of 250 feet from all property lines.
  1. This setback requirement shall be in addition to the Buffer Zone / Screening Standards in **Section V2.2.7.**
- vii. The Indiana Department of Environmental

- Management application shall be submitted along with the other supporting material for the special use; including a copy of the manure management plan approved during the Indiana Confined Feeding Regulation program permitting process. All CAFO / CFOs must follow all manure application rules defined in their IDEM permit.
- viii. Confined Feeding Operations shall not be located closer than 1,000 feet from the nearest corner of a structure used in the CAFO / CFO to the nearest corner of any existing residential structure or residentially-zoned property unless written consent is obtained from the property owner.
  - ix. Confined Feeding Operations may not be expanded or enlarged on the subject real estate, unless first approved by the Board of Zoning Appeals.
  - x. All applicants who had or have ownership in or during the past five (5) years in any CAFO / CFO in the State of Indiana or any other state must not have any outstanding or unresolved violations with the Indiana Department of Environmental Management or any other corresponding or comparable federal, state, or local regulatory agency. All such outstanding violations must be resolved before a permit will be issued in the Town of Lapel. The applicant shall submit a signed affidavit stating that there are no outstanding violations. Falsification of any information presented shall be grounds for denial of the Special Use Permit and the applicant shall be prohibited from re-applying for a period of five (5) years for falsification of reports concerning environmental safety and management.
  - xi. Upon permanent termination of operation (voluntary or involuntary), petitioner or his successor shall remove all manure from the storage structure and properly land apply within 180 days. The structure must be closed, pursuant to 327 I.A.C 15-15-19, within three (3) years. Failure to do so shall authorize the Town of Lapel to close the structure at the expense of the landowner / operator.
- H. Confined Feeding Operations: Manure Application
    - xii. A Special Use Permit shall not be granted until written approval by IDEM is granted and received.
    - i. A manure application shall be filed and approved for any manure application within the Town of Lapel by / or obtained from a CAFO / CFO approved by IDEM outside of the Town of Lapel. The manure requirements as approved by IDEM will apply to all application in Lapel unless modified by the Town.
    - ii. The manure application requirements apply to all ground where the manure is being applied.
    - iii. Manure storage of at least 365 days is required. Locations for staging manure shall be designated in writing and subject to accepted agronomic standards and manure management summary presented.
    - iv. Manure application shall be by injection, unless an alternative method is approved by the Lapel Board of Zoning Appeals.
    - v. There shall be designated green space / filter strip of 50 feet in width on each side along any surface water, open ditch, or water source used for the collection of sediment and cleansing runoff on all land application areas owned or controlled by the operator.
      - 1. This strip shall be a naturally maintained area with native plants and prairie grasses to further assist with run-off cleansing and sediment control.
    - vi. Manure cannot be applied any closer than 1000 feet from any sensitive area (wetland, river, stream, etc.), surface water or public water supply intake structure.
    - vii. Manure cannot be applied within 50 feet from the

- viii. top of bank from any open drain or public roadway. A geotechnical soils engineer shall be hired by the Town of Lapel Plan Commission for the purposes of consulting the Commission and conducting and monitoring well tests as set out herein. A certified laboratory shall test all water supplies including perimeter tile testing. The CAFO / CFO operator / owner shall pay an annual assessment to cover the cost of such services as provided. Assessments shall be approved by the Plan Commission.
- ix. Two monitoring wells shall be installed at locations determined by the geotechnical soils engineer for each CAFO / CFO pit, lagoon, or building. Each well will be 2 inches in diameter and placed at a distance not to exceed 50 feet from the structure, pit, or lagoon that will have storage and/or hold manure. The completed depth of these wells (minimum 30 feet) will be determined preferably by the first unconsolidated sand and gravel aquifer encountered below the hydrostatic groundwater level. In the event bedrock is encountered prior to an unconsolidated sand and gravel aquifer, or the hydrostatic groundwater level, the final placement of the well would be on top of the bedrock. Upon completion of these two monitor wells, the wells will be tested for nitrates / nitrites prior to the start up of the CAFO/CFO in order to establish a baseline. Annual testing will be required and records of those tests will be maintained for review purposes. If two consecutive tests show elevated levels of nitrates / nitrites, the geotechnical soils engineer shall notify the Town of Lapel Plan Commission and Town Council and forward copies of those tests. The Plan Commission will notify IDEM and submit these tests for their review.
- x. During installation of the two monitoring wells, soil borings and logs shall be kept and reviewed by

a geotechnical soils engineer. A report will be submitted by that engineer to the Plan Commission by that engineer to the Plan Commission recommending whether or not a liner and the type of liner that should be required, if any. If the engineer recommends a liner, that recommendation and type, along with the basis for that recommendation, shall be forwarded to IDEM for their review.

**In the case of a building with a pit, two options are available. They are:**

- 1) Apply an integrated membrane system to the exterior wall of the pit areas. This would involve the use of bentonite-based products including Voltex, or equal, (underslab), Voclay Panels, or equal, (perimeter foundation walls), and the use of Waterstop RX, or equal, in all concrete joints. This system, properly installed, will prevent the movement of waste into the local soils and will also prevent the entry of groundwater into the manure pits.
- 2) Apply a membrane system to the interior walls (and columns) of the manure pit. Instead of using prefabricated membranes, a spray-applied system called Strataseal, or equal, shall be utilized. This system would protect the concrete and retard the degradation of the concrete due to exposure to salts in the manure. In each case the liner, panels, or membrane shall be placed to a level higher than the manure will be stored, a five percent (5%) overlap is required, and care shall be taken not to puncture either the membrane liner or panels. Geosynthetic clay liners are high performance environmental liners comprised of geosynthetic carrier components bonded to a layer of low permeability Volclay Sodium Bentonite Volclay panels are specifically designed for installation on



back-filled wall surfaces. The flutes of these special 4'x4' panels are filled with Volclay Sodium Bentonite, assuring a one-pound per square foot application of low permeability material. Stataseal is a polyme-modified asphalt system that adheres to concrete surfaces to form a permanent protective shell. Waterstop - RX is a sodium bentonite based waterstop designed to stop water in-filtration through cast in place concrete construction joints by expanding upon contact with water to form a positive seal against the concrete.

## V2.2.18

### Mobile / Manufactured Home Standards

This Mobile / Manufactured Home Standards section applies to the Ag District.

- A. Mobile and Manufactured homes shall be permitted as described by **Table 2.2.18.1**, below.

**Table 2.2.18.1 - Permitted Mobile / Manufactured Homes**

Permitted Mobile / Manufactured Homes				
Zoning District	Mobile Home	Manufactured Homes		
		Type I	Type II	Type III
A	S	P	P	S
R1		P	P	S
R2		S		
R3	S	S	S	S
P = Permitted Use   S = Special Use				

- B. Mobile Home Defined:  
A transportable dwelling unit which is a minimum of eight (8) feet in width and which is built on a permanent foundation when connected to the required utilities, and includes the plumbing, heating, air conditioning, and

electrical system contained therein, and which was manufactured either:

- Prior to June 15, 1976 and bears a seal attached under Indiana Public Law 135, 1971, certifying that it was built in compliance with the standards established by the Indiana Administrative Building Council: or,
- Subsequent to or on June 15, 1976 and bears a seal, certifying that it was built in compliance with the Federal Mobile Home Construction and Safety Standards.

- C. Manufactured Home Type I Defined:  
A dwelling unit built in a factory bearing a seal of compliance with Federal Manufactured Housing Construction and Safety Standards (42 U.S.C.A. 5401 et seq.) which is at least twenty-three (23) feet in width for its entire length, has at least nine-hundred fifty (950) square feet of occupied space, and is installed and anchored on a permanent foundation and perimeter wall, according to the Indiana One and Two Family Dwelling Code, as amended, and its pitched roof and siding are of materials customarily used for site constructed dwellings.

- D. Manufactured Home Type II Defined:  
A dwelling unit built in a factory bearing a seal of compliance with Federal Manufactured Housing Construction and Safety Standards which has at least three-hundred twenty (320) square feet of occupied space and is installed and anchored on a permanent foundation and perimeter wall, according to the Indiana One and Two Family Dwelling Code, as amended, and its pitched roof and siding are of materials customarily used for site constructed dwellings.

- E. Manufactured Home Type III Defined:  
A dwelling unit built in a factory bearing a seal of compliance with Federal Manufactured Housing Construction and Safety Standards which has at least three-hundred twenty (320) square feet of occupied space and is installed and anchored on a permanent foundation and perimeter wall, according to the Indiana One and Two Family Dwelling

Code, as amended.

## V2.2.19

### Recreational Vehicle (RV) Park Standards

This Recreational Vehicle Park Standards section applies to the Agricultural District:

- A. A Special Use Permit from the Town of Lapel Board of Zoning Appeals is required.
- B. Recreational vehicle parks shall have direct access to a public road and shall include sufficient entrances and exits to facilitate the safe movement of recreational vehicles in and out of the park.
- C. All recreational vehicle parks shall designate specific locations for recreational vehicles through signage for the provision of waste disposal and fresh water hook-ups.
  - i. The density of the park area shall not exceed more than ten (10) recreational vehicles per acre.
  - ii. The minimum area of a recreational vehicle park shall not be less than five (5) acres.
  - iii. Recreational vehicles shall be separated from each other and all other park buildings by a minimum of 15 feet.
  - iv. All recreational vehicles must be set back a minimum of 50 feet from the right-of-way of all adjacent public roads. This is in addition to the Buffer Zone / Screening Requirements in Subsection v of this Ordinance (below).
  - v. A level 2 Buffer Zone shall be applied on all sides of the property being used for a Recreational Vehicle Park in accordance with the requirements of the Buffer Zone / Landscaping Standards in **Section V2.2.7** of this Volume.
- D. Recreational vehicle parks shall permit only the seasonal placement and habitation of recreational vehicles. No recreational vehicle shall remain in a park for more than eight (8) months in any 12 month time period with the following exception:
  - i. Recreation vehicles may be stored in a RV park

for non-seasonal placement given they are not occupied and are only located in the RV park for the purpose of vehicle storage.

## V2.2.20

### Satellite Dish Standards

This Satellite Dish Standards section applies to the Ag District. It is the intent of these standards to provide for timely, reasonably priced, and quality access to satellite communication while ensuring the health, safety, and aesthetic quality of Lapel. These regulations are intended to prevent satellite dishes from interfering with the provisions of utilities, provide for the safety of residents traveling public roads, and prevent damage or injury resulting from antenna detached from their base by act of nature or man.

- A. Satellite dishes shall be described and regulated by their size and proposed location within the community with the requirements of Federal Law. A satellite dish shall be described as follows:
  - i. A satellite dish one (1) meter or less in diameter at any location, and two (2) meters or less in a C1, C2, Ig, or II zoned district.
  - ii. A satellite dish over two (2) meters in diameter located in a C1, C2, Ig, or II zoned district, and over one (1) meter in diameter located in a residential area.
- B. All satellite dishes shall be installed in a manner consistent with the requirements of this section, all applicable state and local electrical and building codes, and the manufacturer's specifications.
- C. Any satellite dish which is not attached to the primary structure on the property, but is instead mounted separately on the lot shall conform to the following requirements:
  - i. The antenna, together with any support structure, shall not exceed the maximum height requirements for accessory structures for the district in which it is located.
  - ii. All wiring shall be buried underground at a depth of no less than two (2) feet.

- iii. The antenna and any supporting structure shall be anchored in a concrete foundation which does not extend above grade level.
- D. Any satellite dish which ceases to be used for a period of time exceeding 12 months shall be removed. Any required bracing, support structures, and fencing shall also be removed at that time.
- E. Satellite dishes one (1) meter or less in diameter in any residentially used or zoned district, and dishes two (2) meters or less in any non-residentially used or zoned district shall be allowed without a permit subject to the following requirements:
  - i. The dish shall be an accessory use, subordinate to the primary use on the property.
  - ii. The dish shall conform with the required front yard setbacks for the district in which it is located.
  - iii. The dish shall not be placed in, or overhang any public right-of-way or utility easement.
  - iv. No part of the dish in combination with the structure upon which it is mounted shall exceed the maximum height requirements for the district in which it is located.
  - v. The dish shall be screened or located in such a manner so that it is not visible from the public right-of-way.
- F. Satellite dishes greater than one (1) meter in diameter in any residentially used or zoned district, and antenna greater than two (2) meters in diameter in any non-residentially used or zoned district shall require a permit, and placement of the antenna shall be subject to the following requirements.
  - i. The dish shall be an accessory use, subordinate to the principal use on the property.
  - ii. The dish shall be located to the rear of the principal structure on the property (if mounted on the ground or an accessory structure) and to the rear of the roof peak (if mounted on the primary structure), and shall conform with the required setbacks for the district in which it is located.

- iii. The dish shall not be placed in, or overhang, any public right-of-way, easement, or required buffer zone.
- iv. If mounted on the primary structure, the antenna shall not extend more than three (3) feet above the roof line.
- v. No part of the dish in combination with the structure upon which it is mounted shall exceed the maximum height requirements for the district in which it is located.
- vi. Where possible, the dish shall be screened or located in such a manner so that it is not visible from the public right-of-way.

## **V2.2.21**

### **Temporary Use / Structure Standards**

This Temporary Use / Structure Standards section applies to the Ag District.

- A. Temporary structures are permitted in any zoning district provided that the use is a permitted use in that zoning district.
- B. Temporary structures must meet all development standards for a permanent structure unless otherwise specified in this section.
- C. Temporary uses and/or structures which seek extensions of the initial time limits established for that use or structure in this section shall be subject to the approval of the Board of Zoning Appeals. An unlimited number of one (1) year extensions of time may be granted for a temporary use or structure by the Board of Zoning Appeals. The Board may impose reasonable conditions as part of its approval.
- D. All temporary structures or uses shall require a permit unless otherwise specified in this Section. No temporary use or structure, or the signage, lighting, landscaping, or parking areas for such facilities shall be constructed, placed upon a site, or altered prior to all necessary permits being obtained.
- E. All temporary uses or structures must be removed and the

original site reverted to its original condition within the duration of the permit.

- F. Any trailer used as a temporary structure must be equipped with skirting on all four sides which match the exterior material of the trailer.
- G. No extensions of the time limits described in this Section shall be considered for any temporary use or structure that violates any conditions listed in this Section or any other provision of this Ordinance.
- H. Temporary uses and structures which represent a public nuisance in the opinion of the Building Inspector shall be removed from the property. A nuisance temporary use/ structure shall include, but not be limited to, one which creates road congestion or prevents adequate access by fire trucks and other emergency vehicles, or disrupts the residential character of a neighborhood with excessive outdoor lighting or sound.
- I. The following temporary uses and structures are permitted in the Agricultural District as described below - no permit shall be required:
  - i. Garage / yard sales are permitted for a total of seven (7) days per calendar year, per lot.
  - ii. Children's roadside stands.
  - iii. Tents used for private parties or events are permitted for a total of seven (7) days per calendar year, per lot. Tents may also be subject to the review of the applicable fire district.
  - iv. Construction trailers are permitted as temporary structures for up to 12 months in any five (5) year period, per lot. Dumpsters shall not be located in any right-of-way

## V2.2.22

### Fence and Wall Standards

This Fence and Wall Standards section applies to the Ag District:

- A. Fences and walls shall be permitted in the Agricultural District subject to the conformance with the following

requirements:

- i. All fences and walls shall present the non-structural face outward.
  - ii. All fences and walls may be permitted up to any property line that is not also a right-of-way line or part of a required buffer zone (see Buffer Zone Matrix on page 23)
  - iii. No fence or wall may be placed in any right-of-way or any required sight visibility triangle.
  - iv. No fence or wall may be placed in any drainage, utility, sidewalk, access, or other easement without written permission from the easement holder.
  - v. No fence or wall may be placed in any required buffer zone that does not specifically provide for the inclusion of fences.
- B. Fences specifically required by this Ordinance for screening, swimming pools, telecommunication facilities, or other purposes may exceed the maximum heights established by this section in a manner consistent with the specific requirements of this Ordinance.
  - C. The height of a fence shall be determined by measuring from the highest grade to the highest point of the fence, including any posts or finials.
  - D. Fences and walls shall not exceed eight (8) feet in height in any side or rear yard. Any non-agricultural fencing located in the front yard shall be constructed with new, durable, weather resistant, and easily maintainable materials and may not exceed a height of three (3) feet. Barbed-wire fencing is not permitted in the front yard. If chain link fencing is used in the front yard, it must be constructed with a PVC coated material. For the purpose of this requirement, the front yard shall be defined as all areas located between any adjacent streets and the walls of the primary structure which face them.
    - i. Any fencing being used as part of a required buffer zone installation shall meet the minimum Screen Wall and Fence Standards in **Subsection R of Section V2.2.7.**

## V2.2.23

### Landscaping Standards

This Landscaping Standards section applies to the Ag District: Landscaping is integral in the design and development of a site. Such plantings are a benefit to the general welfare of the community through the reduction in storm water runoff, glare, heat buildup, and improved aesthetics of the community.

#### A. Planting Standards:

Under no circumstances shall any artificial plant be installed and / or counted as part of the required plantings. All plant materials shall be living plants and shall meet the following requirements:

- i. In no instance shall any landscaping required by this section, or by any other section of this Ordinance be used to meet the requirements of a different Ordinance section. In all cases, the landscaping required by any section of this Ordinance shall be considered as being in addition to any other requirements.
- ii. Any existing vegetation on site, which is retained, may be counted towards the minimum landscaping requirements.
- iii. All new trees required to be planted by this Ordinance shall be measured consistent with the American Nursery Standards Institute (ANSI).
  1. All deciduous trees shall be two and one-half (2 1/2) in diameter at the time of planting - measured six (6) inches above the root flair.
  2. All evergreen trees shall be six (6) feet in height at the time of planting - measured from the top of the root flair to the top of the canopy.
  3. All shrubs shall be 12 inches in height at the time of planting - measured from the ground (once planted) to the top of the canopy.
- iv. Earthen mounds (berms) shall be physical barriers

which block or screen the view similar to a hedge, fence, or wall. If installed, berms shall meet the following requirements:

1. Berms shall be constructed so as to maintain a side slope not to exceed a one (1) foot rise to a three (3) foot run ratio.
2. Berm areas not containing planting beds shall be covered with grass or living groundcover maintained in a healthy growing condition.
3. Berms shall be constructed in such a manner so as not to alter drainage patterns on site or on adjacent properties or obstruct vision for reasons of safety, ingress, or egress.
4. If a berm is constructed with a retaining wall or by terracing, the earthen slope shall face the exterior of the site.
- v. All plant materials required by this section shall be free of disease, insects, and / or damage, and shall be correctly labeled indicating genus, species and cultivar.
- vi. Trees listed in Table V2.2.23.1, below, shall be prohibited.

**Table V2.2.23.1**

Common Name	Horticultural Name
Boxelder	Acer Negundo
Ginkgo	Ginkgo Biloba (female only)
Honey Locust	Gleditsia Triacanthos var. Inermis (with thorns)
Mulberry	Morus Species
Poplars	Populus Species
Black Locust	Robinia Species
Willows	Salix Species
American Elm	Ulmus Americana
Siberian Elm	Ulmus Pumila

Slippery Elm; red Elm	Ulmus Rubra
Chinese Elm	Ulmus Parvifolia
Ash	All varieties susceptible to EAB
Sweet Gum	Liquidambar Styraciflua (seed varieties)
Tree of Heaven	Ailanthus Altissima
Birch, White Paper	Betula Papyrifera

- vii. Grass shall be planted in species normally grown as permanent lawns in Central Indiana, and may be sodded or seeded; except in swales or other areas subject to erosion, where solid sod, erosion-reducing netting, or suitable mulch shall be used. Other grasses may also be used as ornamentation and for golf course applications unless otherwise specifically prohibited by this Ordinance or deemed unacceptable by the Zoning Administrator.
- viii. All required "Foundation Plantings" must be within ten (10) feet of the structure's foundation and should consist of perineal shrubs, ornamental shrubs, ornamental plants, or flowering plants.
- ix. No landscaping materials, vegetation, plants, shrubs, trees, retaining walls, bedding, lighting, or mounds may extend into any proposed right-of-way or easement without written permission from the agency that established the right-of-way or easement.

**B. Design Standards:**

All proposed landscape materials shall compliment the form of any existing trees and plantings. Light, water, soil quantity and quality, and on-going maintenance requirements shall be considered in selecting plant materials.

**C. Maintenance Requirements:**

Trees, vegetation, irrigation systems, fences, walls, and other landscape elements are considered elements of a project in the same manner as parking and other site details.

The owner of the property shall be responsible for the continuous proper maintenance of all landscaping materials, and shall keep them in a proper, neat and orderly appearance, free from refuse and debris at all times.

- i. All unhealthy or dead plant material shall be replaced by the next planting period. Other defective landscape material shall be replaced or repaired within three (3) months.
- ii. Landscape materials are intended to grow, spread, and mature over time. Landscaping materials used to fulfill requirements of this section may not be pruned or otherwise treated so as to reduce overall height or level of opacity. Pruning, limbing-up, topping, and other inhibiting measures including removal may only be practiced to insure the public safety, to maintain a neat and attractive appearance, and to preserve the relative health of the material involved.

**D. Interior Planting Requirements:**

Landscaping shall be required on each lot based on the use of that lot as defined in **Table V2.2.23.2**. Where a lot is occupied by a combination of land uses listed below, only plantings consistent with the requirements for the land use that would result in the most landscaping is required.

**E. Off-Street Parking Areas; Landscaping Requirements: (This Ordinance is copied from Section V2.2.7, Subsection M)**

Off-street parking areas containing six (6) or more parking spaces shall be provided with landscaping in accordance with the following:

- i. 6 - 100 spaces: One (1) canopy tree and 100 sq.ft. of landscaped area for every six (6) spaces - round up. For example, a lot having 56 spaces would require 10 canopy trees and 1,000 sq.ft. of landscaped area.
- ii. 101 - 200 spaces: One (1) canopy tree and 100 sq.ft. of landscaped area for every eight (8) spaces - round up. For example, a lot having 135 spaces



- would require 17 canopy trees and 1,700 sq.ft. of landscaped area.
- iii. 201+ spaces: One (1) canopy tree and 100 sq.ft. of landscaped area for every ten (10) spaces - round up. For example, a lot having 340 spaces would require 34 canopy trees and 3,400 sq.ft. of landscaped area.
- In no case shall any required Buffer Zone be considered as part of the off-street parking landscaped area.

**Table V2.2.23.2**

Site Interior Planing Requirements			
Zoning District	This number of...	this planting type...	shall be required for every...
<b>Ag</b> <i>(with residential use)</i>	2	Deciduous or Evergreen Trees	1 dwelling unit
	1	Foundation Planting	20' of perimeter
<b>R1</b> <i>(including mobile and manufactured homes)</i>	2	Deciduous or Evergreen Trees	1 dwelling unit
	1	Foundation Planting	20' of perimeter
<b>R2</b>	2	Deciduous or Evergreen Trees	1 dwelling units
	1	Ornamental Tree	1 dwelling units
	1	Foundation Planting	15' of perimeter
<b>R3</b>	2	Deciduous or Evergreen Trees	2 dwelling units
	1	Ornamental Tree	4 dwelling units
	1	Foundation Planting	10' of perimeter
<b>C1, C2</b> <i>(where appropriate)</i>	2	Deciduous or Evergreen Trees	1000 sq.ft. of ground floor area
	1	Ornamental Tree	1000 sq.ft. of ground floor area
	1	Foundation Planting	20' of perimeter
<b>Is</b>	2	Deciduous or Evergreen Trees	1000 sq.ft. of ground floor area
	1	Ornamental Tree	1000 sq.ft. of ground floor area
	1	Foundation Planting	10' of perimeter
<b>II, Ig</b>	2	Deciduous or Evergreen Trees	3000 sq.ft. of ground floor area
	1	Ornamental Tree	3000 sq.ft. of ground floor area
	1	Foundation Planting	30' of perimeter

**F. Landscape Standards for Required Off-Street Parking Areas: (This Ordinance is copied from Section V2.2.7, Subsection N)**

Required parking lot landscape areas shall comply with the following standards:

- i. The minimum size of a landscaped area shall be 60 square feet and at least six (6) feet wide.
- ii. All landscaped areas shall be covered with grass, shredded bark, or a living ground cover.
- iii. All landscaped areas shall contain at least one (1) canopy tree. The tree shall be located so as not to be damaged by any surrounding vehicles.

**Required Buffer Zones shall be install for any off-street parking areas (see Section V2.2.7, Subsections N - P for off-street parking buffer zone requirements)**

- G.** The Zoning Administrator shall approve the location of off-street parking landscaping using the following criteria:
- i. Landscaping shall be installed such that, when mature, it does not obscure traffic signs, fire hydrants, lighting, drainage patterns on site or on adjacent properties, or obstruct vision for reason of safety, ingress, or egress.
  - ii. Trees shall be installed in such a manner that parked motor vehicles are shaded whenever possible.
  - iii. Landscaping shall be dispersed throughout the parking lot in order to break up large expanses of impervious surfaces.
  - iv. At least one-half of the required trees shall be installed in the interior of the parking area. The interior shall be considered as any point ten (10) feet from the outside boundary of the parking area. This requirement may be modified by the Zoning Administrator if the landscaped areas are being used for on-site storm water retention and filtration.
  - v. All landscaped areas shall be protected by a raised

standard or rolled concrete curb. This requirement may be exempt if the interior landscaped areas are being used for on-site storm water retention and filtration – although proper plant and drainage substitutions must be implemented.

**H. Installation and Maintenance Provisions:**

- i. The Zoning Administrator shall mandate a financial guarantee of a sufficient amount to insure the installation of all required landscaping.
- ii. All plant material shall be tended and maintained in a healthy growing condition, replaced when necessary, due to poor health, disease, or unsafe conditions, and kept free of refuse and debris.
- iii. Screen walls and fences shall be maintained in good repair.
- iv. Any landscaping required by this section that is removed or replaced without the written permission of the Plan Commission shall be replaced at the owner's expense with new landscaping of the appropriate species that is equal to or greater in caliper, height, or canopy proportions to the required landscaping that was removed.

## **V2.2.24**

### **Large-scale Agricultural Product Sales, Distribution, & Storage Facilities**

This Section applies to all large-scale agricultural product sales, distribution, and storage facilities in the Ag District which individually exceed 25,000 square feet in gross floor area. The purpose of these standards is to provide additional design criteria for large-scale facilities to ensure safe and efficient vehicle and pedestrian circulation, and to protect the general welfare of the community by ensuring that such facilities are consistent in design with, and complimentary to, adjacent land uses and the physical characteristics of the Town of Lapel.

**A. Architectural Design Standards:**

The architectural design of the structure shall meet the following requirements:

- i. Facades and exterior walls shall generally be articulated to visually reduce the scale of the building and provide visual interest.
  1. All buildings shall be designed with a minimum of eight (8) external corners.
  2. All front facades between external corners which equal or exceed 200 feet in length shall incorporate wall plane projections or recesses along at least 20% of their length. All wall plane projections or recesses should have a depth equal to at least 3% of the length of the facade.
  3. All facades which face a public right-of-way shall have arcades, display windows, entry areas, or awnings at the ground floor along a minimum of 60% of their horizontal length at the ground floor.
- ii. All rooftop equipment, such as HVAC units, shall be screened from public view on all sides by parapets, dormers, or other screens. The material of all structures used to screen rooftop equipment shall be consistent with the exterior materials used on the facade of the structure. Roofs shall also meet the following requirements:
  1. Flat roofs shall feature parapets concealing rooftop equipment. The parapets shall not exceed an average height equal to 30% of the supporting wall.
  2. Sloped roofs shall feature a roof plane change, gable, or dormer for every 100 feet of horizontal length.
    - a. Sloped roof exterior material shall either be standing seam metal or dimensional shingles.
- b. Sloped roofs shall include overhanging eaves which extend a minimum of three (3) feet beyond the supporting wall.
- c. Sloped roofs shall not be sloped less than 15 degrees nor greater than 45 degrees.
- iii. A minimum of three (3) different building materials shall be used for all building exteriors facing a public right-of-way. The primary building facade materials shall consist of stone, brick, glass, or ornamental metal.
- iv. All customer entrances located along the front facade shall be clearly defined and highly visible. The design of each entrance shall feature a combination of three (3) or more of the following features:
  1. Canopies and porticos;
  2. Overhangs;
  3. Recesses or projections;
  4. Arcades;
  5. Raised, corniced parapets;
  6. Peaked roof forms;
  7. Arches;
  8. Outdoor patios;
  9. Display windows;
  10. Architectural details, such as tile work and mouldings which are integrated into the building structure and design; or
  11. Fixed-in-place planters or wing walls that incorporate landscaped areas and places for sitting.
- v. The structure shall be required to face and have its main entrance located on the side of the building which faces a public street.
  1. In cases where structures face more than one (1) public street and the streets are of different classifications, the building

- shall face the street which of the highest use classification. Main entrances may also be located on the corner of a building which faces two (2) public streets.
2. No loading docks, overhead service doors, or trash collection bins may be placed on, or adjacent to any facade which faces a public right-of-way.

## V2.2.25

### Seasonal Housing Standards

This Seasonal Housing section applies to the Ag District:

All seasonal housing units in Lapel, specifically those used in support of farming operations shall be consistent with the following minimum standards and requirements:

#### A. Basic Equipment and Facilities:

No person shall allow a dwelling unit to be occupied which does not comply with the following minimum standards for basic equipment and facilities. Every dwelling unit shall include:

- i. Access to a kitchen sink in good working condition and properly connected to an approved water and sewer system;
- ii. Access to a room which affords privacy to a person within the room which is equipped with a fresh water closet, a lavatory basin, and a bathtub or shower in good working condition and properly connected to an approved water and sewer system;
- iii. Access to garbage disposal facilities or garbage storage containers; and
- iv. Safe unobstructed means of egress leading to safe and open space at ground level.

#### B. Light, Ventilation, and Heating:

No person shall allow a dwelling unit to be occupied which does not comply with the following minimum standards for light, ventilation, and heating. Every dwelling unit shall

include:

- i. Adequate ventilation for every habitable room;
- ii. Water heating facilities properly installed and maintained in good and safe working order;
- iii. Adequate lighting and electrical receptacles for every habitable room. Every outlet and fixture shall be properly installed, maintained in good and safe working condition, and connected to the source of electric power in a safe manner;
- iv. Heating facilities which are properly installed, maintained in a safe and good working condition, and capable of safely and adequately heating all habitable rooms to a minimum of 68 degrees Fahrenheit;
- v. Screens and closing devices for all doors and windows (and any other opening) opening directly from a dwelling unit to an outdoor space; and
- vi. Screens of other devices for every opening which might otherwise allow the entry of rodents into the dwelling unit.

#### C. Safe and Sanitary Maintenance:

No person shall allow a dwelling unit to be occupied which does not comply with the following minimum standards:

- i. Every foundation, floor, wall, ceiling, and roof shall be reasonably weather tight, water tight, and rodent-proof and shall be capable of affording privacy and shall be kept in good repair;
- ii. Every window, exterior door, and basement hatchway shall be reasonably weather tight, water tight, and rodent-proof and shall be kept in sound working condition and in good repair;
- iii. All structures, whether occupied or unoccupied, shall be maintained in a condition of reasonable repair to prevent the infestation of rodents and insects, and prevent the creation of a hazard to public safety and general welfare;
- iv. Every inside and outside stair and every porch or like structure shall be constructed so as to be safe

- v. to use and capable of supporting the load that will be placed upon it through normal use;
  - vi. Every plumbing fixture and water waste pipe shall be properly installed and maintained in good sanitary working condition, free from major leaks, defects, and obstructions; and
  - vi. Every bathroom floor surface shall be constructed and maintained to be reasonable impervious to water and to permit the floor to be easily kept in clean and sanitary condition.
- D. **Space Requirements:**  
 No person shall allow a dwelling unit to be occupied which does not comply with the following minimum standards:
  - i. Every dwelling unit shall contain a minimum of 100 square feet of habitable floor space for the first occupant and at least 75 square feet of habitable floor space for each additional occupant;
  - ii. In every dwelling unit of two or more rooms, every room occupied for sleeping purposes by one occupant shall contain at least 70 square feet of habitable floor space, and every room occupied for sleeping purposes by more than one occupant shall contain at least 50 additional square feet of habitable floor space for each additional occupant;
  - iii. No dwelling unit containing two or more sleeping rooms shall be arranged such that access to a bathroom intended for use by occupants of more than one sleeping room can only be obtained by passing through another sleeping room, nor shall the room arrangement require that access to any sleeping room may only be obtained by passing through another sleeping room or bathroom;
  - iv. The ceiling height of all habitable rooms shall in no case be less than seven (7) feet from the interior floor level.
- E. **License:**  
 All persons, corporations, or other entities which maintain

seasonal housing shall be required to obtain a license for such dwelling units annually from the Building Inspector in a manner consistent with the adopted licensing policies and procedures of the Building Inspector.

- i. The licensing procedure may include a fee, established on an adopted fee schedule, and an inspection of the housing units by the Building Inspector.
- ii. The occupancy of any dwelling unit which is subject to the provisions of this section without a license shall constitute a violation of this Ordinance and shall be subject to the penalties listed in **Volume One: Introduction, Section V1.9, Enforcement and Penalties.**
- iii. In no case may a license be granted for the occupancy of any dwelling unit which is not constructed and maintained in a manner consistent with the minimum standards provided in this section.
- iv. Any determination of the Building Inspector related to these standards or this section may be appealed to the Board of Zoning Appeals.

### V2.2.26 Sign Standards Intent

The intent of this section is to further the goals of the Comprehensive Plan; avoid the proliferation of signage; encourage signs to be compatible with the scale of buildings and the surrounding features; maintain and enhance the aesthetic environment of the community; eliminate potential hazards to motorists and pedestrians resulting from signs; and promote the health, safety, and welfare of the residents of the Town of Lapel.

This Sign Standards section applies to the Agricultural District: Except as otherwise provided in this section, it shall be unlawful

for any person to erect, construct, enlarge, move, or convert any sign within the jurisdiction of the Lapel Plan Commission, or cause the same to be done without first obtaining a sign permit from the Building Inspector. The following standards apply to all signs within the jurisdiction of the Town of Lapel Plan Commission:

- A. **Inspection:** Signs for which a permit is required may be inspected periodically by the Building Inspector for compliance with this section.
- B. **Removal of a Sign:** The Building Inspector may order the removal of any sign erected or maintained in violation of the requirements of this section consistent with the provisions of **Volume One: Introduction, V1.9, Enforcement and Penalties.**
- C. **Maintenance:** All signs and their components shall be kept in good repair and in safe, neat, clean, and attractive condition. If failure to maintain a sign is determined by the Building Inspector, a written notice will be given to the owner, business operator, or lessee of the property consistent with the provisions of **Volume One: Introduction, V1.9, Enforcement and Penalties.**
- D. **Abandoned Signs:** A sign shall be removed by the owner or lessee of the premises upon which the sign is located within 30 days from the date when the business which it advertises is no longer conducted on the premises. For the purpose of this requirement, the sign shall include all supports, poles, and other structural elements. In no instance shall the removal of only the sign face be considered compliance with this provision.
- E. **Illuminated Signs:** All illuminated signs must meet the standards specified in the State Electrical Code, as adopted and amended by the State of Indiana. In addition, all illuminated signs shall comply with the following standards:
  - i. All illuminating elements shall be kept in satisfactory working condition and immediately repaired or replaced if damaged or burned out. Signs that are only partially illuminated shall meet all electrical requirements for that portion directly illuminated.
  - ii. All electrical wiring for permanent signs shall be in

conduit. All electricity for signs shall have a disconnecting switch located in a readily accessible place.

- iii. The direct or reflected light from a primary light source shall not create a traffic hazard to operators of motor vehicles on public and/or private roadways.
- iv. The light from any illuminated sign shall be so shaded, shielded, or directed such that the light intensity or brightness will not be objectionable to the surrounding properties. All lighting shall have 90 degree cut-off luminaries (shielded downlighting). No light shall shine directly onto adjacent property.

F. **Exempt Signs:** The following signs are exempt from all provisions of this section.

- i. Flags of any country, state, unit of local government, institution of higher learning, or similar institutional flags.
- ii. Names of buildings, date of erection, monumental citations, commemorative tablets and the like when carved into stone, concrete, or similar material or made of bronze, aluminum, or other permanent type construction and made an integral part of the structure.
- iii. Public signs erected by or on the order of public officer(s) in the performance of public duty, such as signs to promote safety, no trespassing, or traffic signs, memorial plaques, signs of historical interest, and signs directing people to public and quasi-public facilities.
- iv. Utility signs are permitted to mark cables and lines for public and private utilities unless determined to be a hazard by the Building Inspector.
- v. Seasonal or holiday signs, including lighting erected in the connection with the observance of holidays, provided that such signs and lighting shall be removed no later than 60 days following the holiday.



- vi. Real estate signs provided they are not located in the right-of-way and do not exceed 32 square feet in the Ag District.
  - vii. Political signs and other signs of expression, provided that they are not posted more than two (2) months before the next election day and are removed ten calendar days after each election.
- G. **Prohibited Signs:** The following types of signs are expressly prohibited in all zoning districts:
- i. Signs that utilize any motion picture, laser, or visual projection of images in conjunction with any business or advertisement.
  - ii. Signs that emit audible sound, odor, or visible matter.
  - iii. Signs that purport to be or are in imitation of, or resemble an official traffic sign or signal or which bear the words “Stop”, “Slow”, “Caution”, “Danger”, “Warning”, or similar words.
  - iv. Signs that may be construed as a light of an emergency or road equipment vehicle.
  - v. Signs that hide any traffic or roadway sign, signal, or device from view.
  - vi. Signs that interfere with the Sight Visibility Traingle as defined in **Section V2.2.14**.
  - vii. Signs that are located in any right-of-way, non-sign easment, or septic field.
  - viii. Signs that obstruct any door, fire escape, stairway, or any opening intended to provide entrance or exit for any structure.
  - ix. Signs placed on vehicles parked on public or private property primarily for the purpose of displaying the sign. Prohibited signs do not include those displayed on vehicles parked for the purpose of lawfully making deliveries or random sales or services. Prohibited signs do not include vehicles parked at a driver’s place of residence during non-business hours or for incidental purposes.

H. **Off-premise Signs:** Off-premise signs shall be classified as either Class I, Class II, or Class III depending on the maximum square feet of sign area per side of sign. A Class I off-premise sign shall have a maximum of 1,000 square feet of area, a Class II off-premise sign shall have a maximum of 16 feet of sign area, and a Class III off-premise sign shall have a maximum of four (4) square feet of area. All classes of off-premise signs shall be prohibited in the Ag District with the exceptions described below:

- i. General Conditions for all classes of off-premise signs:
  - 1. Under no circumstances shall real estate signs placed on property for sale or lease, political signs, or agricultural seed signs identifying test plots be considered off-premise signs.
  - 2. A sign permit shall be obtained from the Zoning Administrator for all off-premise signs.
  - 3. Multiple faces mounted on the same structures shall be considered one sign. “Double stacked” signs shall be prohibited.
  - 4. Off-premise signs shall be mounted on structures permanently anchored in the ground. Mobile off-premise signs, inflatable off-premise signs, and off-premise signs placed on vehicles or trailers shall be prohibited.
  - 5. Double side signs are permitted, with each allowed the maximum square footage, provided that such signs are completely back-to-back or at an offset no greater than an angle of 45 degrees.
- ii. Class III off-premise signs shall be permitted in any Ag District within 200 feet of any United States Interstate Highway or County Road with approval from the Board of Zoning Appeals as a Special Use. Permitted off-premise signs shall meet the

following requirements:

1. Class III off-premise signs shall be set back a minimum of 20 feet from any public right-of-way and 100 feet from any other property line. Setbacks shall be measured from the property line or right-of-way to the nearest part of the sign, including the pole, sign face, or any attached ladder, catwalk, or other access structures.
2. No Class III off-premise sign shall be located closer than 500 feet to any other off-premise sign.
3. No Class III off-premise sign shall exceed four (4) square feet in area or four (4) feet in height. No sign face area shall exceed two (2) feet in length or two (2) feet in height.

**I. Temporary Signs:** Temporary Signs are permitted in all districts, without a permit, subject to the following requirements:

- i. Signs shall be constructed of non-rigid or semi-rigid materials and be designed so as not to be permanently mounted to the ground or structure.
- ii. Signs shall not exceed six (6) square feet in area.
  1. A permit shall be required for any temporary sign exceeding six (6) square feet in area.
- iii. Signs shall be permitted for a period not to exceed 60 days.
  1. A permit shall be required to exceed the 60 day limit.
    - a. The timeframe shall only be extended in 30 day increments.
- iv. Each lot shall be limited to two (2) temporary signs.
  1. A permit shall be required for the placement of additional temporary signs on any one (1) lot.

- v. Signs consisting of banners, streamers, pennants, and/or inflatable devices with, alone, or in combination with other signs shall follow the regulations of **Section V5.2.28, Section I,**
- vi. One temporary sign identifying a temporary home sales facility shall be permitted for such facilities meeting the requirements of the **Temporary Use / Structure Standards in Section V5.2.24.** A permit shall be required, and the sign shall be subject to the following requirements:
  1. The sign may be illuminated consistent with the overall illumination requirements for temporary home sales facilities established by **Section V5.2.24.**
  2. The sign shall not exceed 24 square feet in area or six (6) feet in height from ground level.
  3. The sign shall be placed a minimum of ten (10) feet from any public right-of-way and any other property line.

**J. Permanent Signs:** One (1) sign shall be permitted per property used for agricultural purposes. The sign shall be a maximum of 32 square feet in area and a maximum of six (6) feet in height. The sign shall be set back a minimum of ten (10) feet from the right-of-way of any public street or other property line. A permit shall be required.

## V2.2.27

### Adult Uses

Adult Uses shall not be permitted in the Ag District. "Adult Uses" shall be considered as any of the following:

**A. Adult Bookstore, Adult Novelty Store, Adult Video Store:**

Any commercial establishment which has 35% or more of its stock-in-trade, including inventory and/or displayed items, of any one or more of the following:

- i. Books, magazines, periodicals, or other printed

matter, or photographs, films, motion pictures, video cassettes, compact discs, DVDs, Blu-rays, or other visual representations which are characterized by their emphasis upon the exhibition of description of specified sexual activities or specified anatomical areas;

**B. Adult Caberat:**

A nightclub, bar, restaurant, theater, or other establishment, whether or not alcoholic beverages are served, which displays:

- i. Persons who appear nude or semi-nude,
- ii. Live performances which are characterized by the exposure of specified anatomical areas or by specified sexual activities, or
- iii. Films, motion pictures, video cassettes, slides, DVDs, Blu-rays, or other photographic reproductions which are characterized by their emphasis upon the exhibition or description of specified sexual activities or specified anatomical areas.

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# V2.3

## Appendix

### V2.3.1 Approved Tree Species

**Table V2.3.1** contains a list of tree species approved for planting in adherence to the requirements of this ordinance.

**Table V2.3.1**

Common Name	Height*	Crown Spread**
White Fur	> 30 ft	16 - 30 ft
Red Maple	> 30 ft	> 30 ft
Sugar Maple	> 30 ft	> 30 ft
Hackberry	> 30 ft	> 30 ft
Japanese Sawara	> 30 ft	16 - 30 ft
Hardy Rubber Tree	> 30 ft	> 30 ft
American Beech	> 30 ft	> 30 ft
European Beech	> 30 ft	> 30 ft
Ginkgo (male only)	> 30 ft	16 - 30 ft
Thornless Honey Locust	> 30 ft	> 30 ft
Sweet Gum (seedless varieties)	> 30 ft	> 30 ft
Tulip Poplar	> 30 ft	16 - 30 ft
Cucumber Magnolia	> 30 ft	> 30 ft
Dawn Redwood	> 30 ft	16 - 30 ft
Black Gum	> 30 ft	16 - 30 ft
Amur Corktree	> 30 ft	> 30 ft
Norway Spruce	> 30 ft	16 - 30 ft
White Spruce	> 30 ft	< 16 ft
Limber Pine	> 30 ft	16 - 30 ft
Austrian Pine	> 30 ft	16 - 30 ft

White Pine	> 30 ft	16 - 30 ft
Scotch Pine	> 30 ft	16 - 30 ft
London Plane Tree	> 30 ft	> 30 ft
Douglas Fir	> 30 ft	< 16 ft
Swamp White Oak	> 30 ft	> 30 ft
Shingle Oak	> 30 ft	> 30 ft
Chesnut Oak	> 30 ft	> 30 ft
English Oak	> 30 ft	> 30 ft
Red Oak	> 30 ft	> 30 ft
Shumard Oak	> 30 ft	> 30 ft
Bald Cypress	> 30 ft	16 - 30 ft
Eastern Arborvitae	> 30 ft	< 16 ft
American Linden	> 30 ft	> 30 ft
Silver Linden	> 30 ft	> 30 ft
Canadian Hemlock	> 30 ft	16 - 30 ft
Japanese Zelkova	> 30 ft	> 30 ft
Hedge Maple	16 - 30 ft	16 - 30 ft
Purpleblow Maple	16 - 30 ft	16 - 30 ft
River Birch	16 - 30 ft	> 30 ft
European Hornbeam	16 - 30 ft	> 30 ft
American Hornbeam	16 - 30 ft	> 30 ft
Katsura Tree	16 - 30 ft	16 - 30 ft
Redbud	16 - 30 ft	16 - 30 ft
Yellowwood	16 - 30 ft	> 30 ft
Goldenrain Tree	16 - 30 ft	16 - 30 ft
Ironwood	16 - 30 ft	16 - 30 ft
Swiss Stone Pine	16 - 30 ft	16 - 30 ft
Aristocrat / Capital Pear	16 - 30 ft	16 - 30 ft
Sawtooth Oak	16 - 30 ft	> 30 ft
Scholar - Tree	16 - 30 ft	> 30 ft
Littleleaf Linden	16 - 30 ft	> 30 ft

Trident Maple	< 16 ft	16 - 30 ft
Amur Maple	< 16 ft	16 - 30 ft
Paperbark Maple	< 16 ft	16 - 30 ft
Serviceberry	< 16 ft	16 - 30 ft
White Fringe Tree	< 16 ft	< 16 ft
Pagoda Dogwood	< 16 ft	16 - 30 ft
Flowering Dogwood	< 16 ft	16 - 30 ft
Kousa Dogwood	< 16 ft	16 - 30 ft
Cornelian Cherry	< 16 ft	16 - 30 ft
Thornless Hawthorn	< 16 ft	16 - 30 ft
Saucer Magnolia	< 16 ft	16 - 30 ft
Sweetbay Magnolia	< 16 ft	< 16 ft
Crabapples	< 16 ft	< 16 ft
Mugo Pine	< 16 ft	16 - 30 ft
Cherry Species	< 16 ft	16 - 30 ft
Staghorn Sumac	< 16 ft	16 - 30 ft
Blackhaw Viburnum	< 16 ft	< 16 ft
Yellowhorn	< 16 ft	< 16 ft