



The Carriage House is a classic vintage 1920's Central Eastside Portland industrial building. Renovated and upgraded with modern amenities to provide flexible size spaces for retail, office, creative and maker users.



**1015 SE WOODWARD STREET**  
*Small Suites of 500 SF, up to Entire Building of 20,000 SF Available*

This Vintage Central Eastside Industrial Building is being elegantly restored. This will provide a wide range of spaces for your business or organization to take your ideas and skills to the next level.

**DESIGN, CREATE, BUILD, MAKE, GROW AND PROSPER**

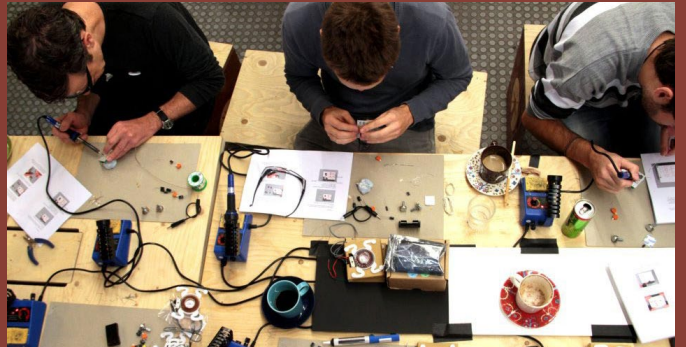
Portland is a home and an attraction for all sorts of skilled thinkers, creators, inventors, makers, builders, artists, entrepreneurs and doers who take old ideas and products and make them better and more applicable or come up with new ideas, creations and services that the world wants and needs. The Carriage House is a place where all of this can happen.

*Todd DeNeffe*

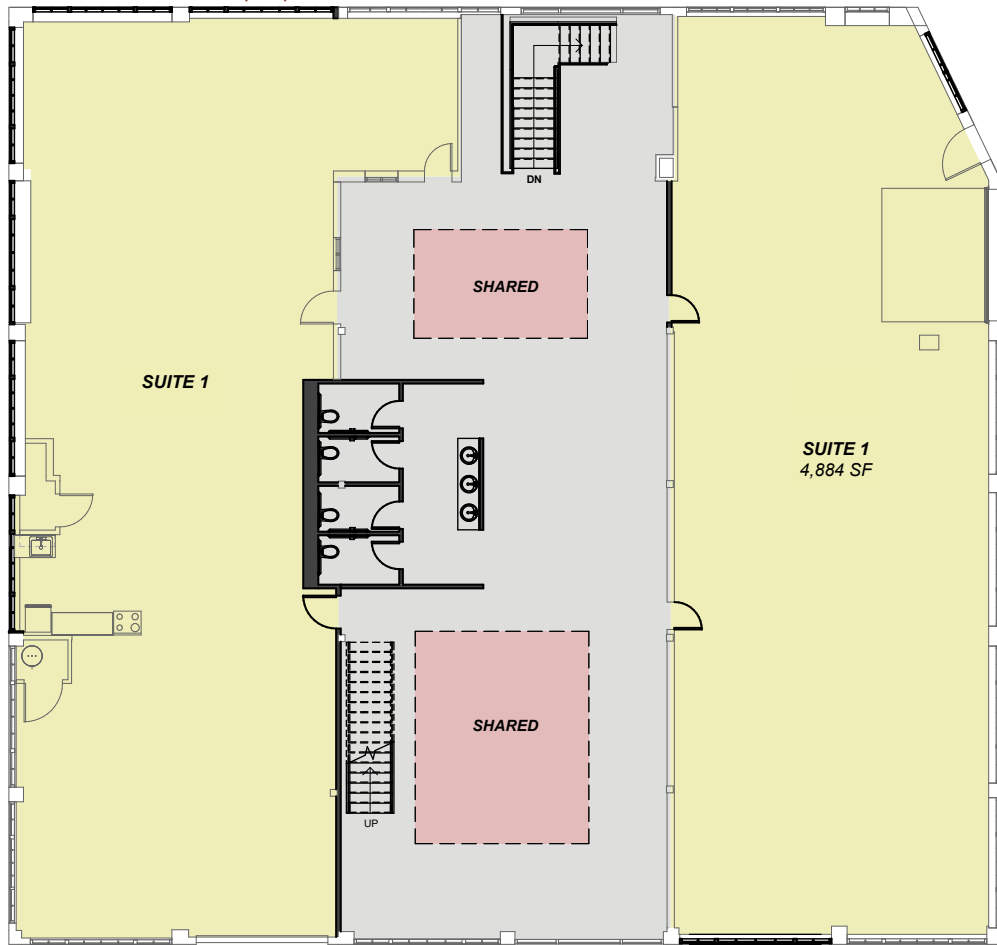
503-705-6380  
todd@cascadecre.com

  
Cascade Commercial  
REAL ESTATE, LLC.

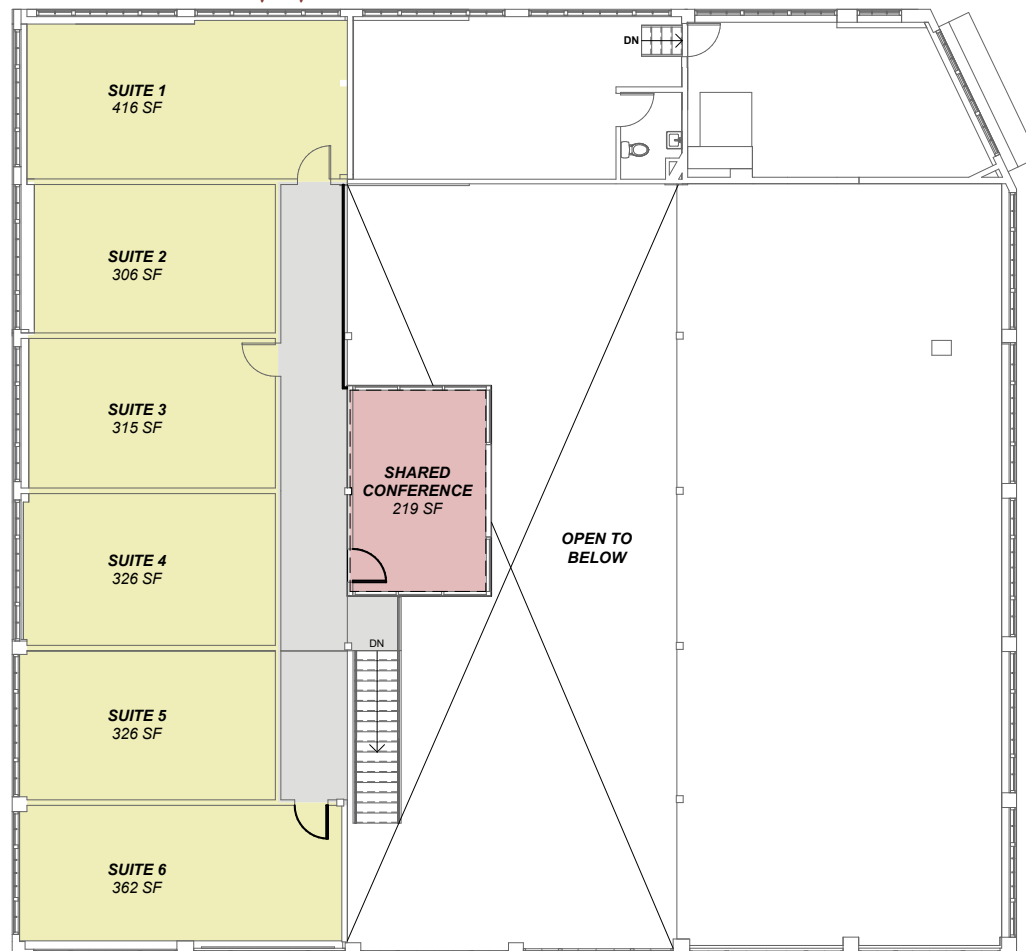
www.cascadecre.com  
2828 SE 14th Ave, Portland, Ore. 97202



## Level 1 (concept plan)



## Level 2 (concept plan)



### LEGEND

<span style="display: inline-block; width: 20px; height: 10px; background-color: yellow; border: 1px solid black;"></span>	LEASABLE SPACE
<span style="display: inline-block; width: 20px; height: 10px; background-color: lightgrey; border: 1px solid black;"></span>	COMMON AREA
<span style="display: inline-block; width: 20px; height: 10px; background-color: pink; border: 1px dashed black;"></span>	SHARED AMENITY

**Floor Plans are Conceptual.**  
Spaces of all sizes available; 500 SF to 6000 SF; on 3 Levels with Elevator.

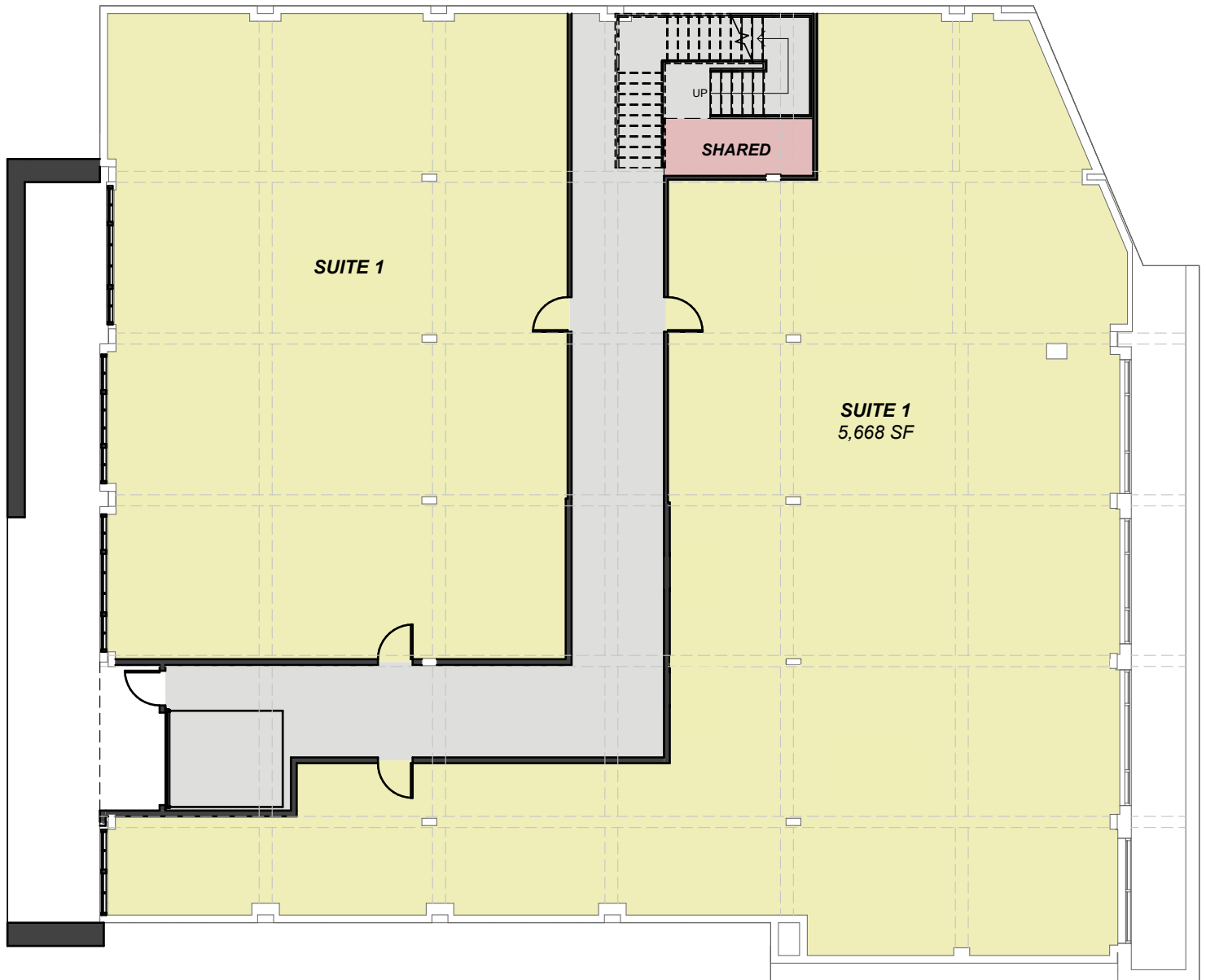
Rates: \$1.25 - \$1.75 PSF, Gross. Rate depends on size and location of space.

Located One Block off SE Powell and McLoughlin with excellent access to the Downtown Core and I-5.

All spaces have individual, separate mini-split heat and air conditioning units.

Extensive common areas with phone rooms/ common conference rooms.

## Basement (concept plan)



Tons of natural light with clearstory windows.

20' vaulted ceilings into common areas.




3-Phase Power available.

Extensive parking available adjacent to building.

Available Spring 2021.

Successful and proven management & ownership.

### **LEGEND**

	LEASABLE SPACE
	COMMON AREA
	SHARED AMENITY

# Central Eastside at a glance...

**THREE LARGE**  
TECHNOLOGY COMMITMENTS:  
*APPLE-30,000 SF*  
*SIMPLE-70,000 SF*  
*AUTODESK-100,000 SF*

**17,000 JOBS**  
**1,100 BUSINESSES**  
*"MOST ROBUST  
EMPLOYMENT HUB IN  
PORTLAND"  
PROSPER PORTLAND*

**2,000**  
*JOBS ADDED  
SINCE 2012*

**1,000,000 SF**  
*OF NEW OFFICES*

OVER  
**\$600 MILLION**  
*IN NEW DEVELOPMENT  
FROM  
2010-2018*

**LOWEST**  
VACANCY RATE  
*IN CITY FOR  
OFFICE/INDUSTRIAL*

**3,600**  
APARTMENTS  
**BUILT**  
SINCE 2012

# Central Eastside



The Central Eastside is undergoing a steady and sustained renaissance mixing the boundless energy of technology, design, engineering, food/beverage and makers and creators of all types to quickly become one of most dynamic and emergent commercial neighborhoods on the West Coast. Having added over 2000 jobs in the last 6 years to 15,000 who already live, work, create, build and innovate, the Central Eastside is full of potential and just hitting its stride. With 3000 new apartments and 500,000 SF office and creative space completed or under construction it is place of phenomenal opportunity.



*Portland's Central Eastside is the place to be. Paying homage to its industrial roots and smartly using its vintage warehouse building stock mixed with cutting edge and eclectic new development, the Central Eastside is attracting some of the best and brightest (and more fun) aspects of the creative class. It would be hard to find a more diverse mix of entrepreneurship, culture and energy in such a compact and accessible area of a major city.*

*—New York Times 2017.*

