

LASHLEY VILLAGE HOMEOWNER'S ASSOCIATION

Rules and Regulations Summary

The Lashley Village Homeowner's Association is a covenant controlled community. The community has rules and regulations documented by the Declarations of the Association for better community living for all the residents of Lashley Village. Please take the time to read through these rules and regulations to make sure you are within the guidelines and please feel free to call our property manager, PML, Inc. 715 Main St., Longmont, Co., 80501 phone #303 772-5891, extension 15, if you should have any questions regarding the rules and regulations.

Violations of the rules and regulations of Lashley Village can result in fines being imposed upon the owner of a home. The Association may adopt other rules and regulations that apply to the residents of Lashley Village. Owners are responsible for their tenant's actions and may be held liable for any costs incurred due to the violations of the rules and regulations.

COVENANT CONTROL PROCEDURE FOR LASHLEY VILLAGE

- | | | |
|-----------------------|----------------|--|
| <u>First Offense:</u> | Warning letter | -Resident has 15 days to correct the violation. After 15 days the violation is upgraded to a second offense. |
| <u>Second Offense</u> | \$25.00 fine | - Resident again has 15 days to correct the violation. If the violation is not corrected within this period, the fine is upgraded to the next offense. Upon receiving notification of a second offense a resident has 30 days to meet with the Board to contest the violation. However, every 15 days during this period the fine will still be doubled and upgraded to the next offense if not corrected. |
| <u>Third Offense</u> | \$100.00 fine | - Resident has 15 days to correct the violation. If the violation is not corrected the fine will be doubled and upgraded to a fourth offense. Upon this notice the resident will have 30 days to meet with the Board to contest the violation. |
| <u>Fourth Offense</u> | \$200.00 fine | - Resident has 15 days to correct the violation. If the violation is not corrected the fine will be doubled and upgraded to a fifth offense. Upon this notice, the resident will have 30 days to meet with the Board to contest the violation. |
| <u>Fifth Offense</u> | \$400.00 fine | - A lien will be filed against the property and the collection will be turned over to the Lashley Village Homeowner's Association Attorney. Upon receiving a fifth notice, the covenant control procedure will continue as it was outlined above. |

VEHICULAR
PARKING, STORAGE
& MAINTENANCE:

No house trailer, camping trailer, horse, trailer, camper, camper shells, boat trailer, hauling trailer, boat or boat accessories, truck (larger than one ton), recreational vehicle or equipment, mobile home, or commercial vehicle may be parked or stored anywhere within the Condominium Community so they are visible from neighboring units or from the street except in emergencies or as a temporary expedience. This applies to vehicles referred to above even if they are licensed by the state of Colorado or any other jurisdiction as "passenger vehicles". No emergency or temporary parking or storage shall continue for more than seventy-two hours. No abandoned, unlicensed, wrecked or inoperable vehicles of any kind shall be stored or parked within the Condominium Community except in emergencies. No vehicle maintenance shall be allowed within the Condominium Community.

NO UNSIGHTLINESS:

No activity shall be conducted which is or might be unsafe, unsightly, unhealthy or hazardous to any person. Nothing shall be kept or stored on or in the Common Elements, and nothing shall be placed on or in windows or doors of Condominium Apartments, which would or might create an unsightly appearance. No owner shall modify, alter, repair, decorate or improve the exterior of any Condominium Apartment or any of the Common Elements without the express written approval of the Board of Directors.

ANTENNAS:

No exterior television or radio antennas and/or masts or satellite dishes of any sort shall be placed, allowed or maintained upon the Condominium Community without the prior written approval of the Board of Directors. Placement of an external satellite antenna will be allowed by the Board of Directors with placement needing prior approval. No antennas shall be placed on the roof surfaces in the project.

RESTRICTIONS ON
SIGNS:

No signs or Advertising of any nature shall be erected or maintained on any part of the Condominium Community without prior written consent of the Board of Directors.

LEASE OF A UNIT:

Any lease or rental agreement must be to a family of blood relatives or no more than (3) three unrelated people.

WINDOW
COVERINGS:

Window coverings shall be blinds or verticals in colors of white or almond made of vinyl, aluminum, fabric or painted wood. A white or almond drapery or drapery liner that does not permit color to show through can also be installed. All other exterior window coverings must have the prior written approval of the Board of Directors.

ADDITIONS,
ALTERATIONS OR
IMPROVEMENTS BY
THE UNIT OWNERS:

No owner shall make any structural addition, alterations or improvements in or to his or her unit without the prior written consent of the Board of Directors. No owner shall paint or alter the exterior of his or her unit, including doors, windows and light fixtures, nor shall any owner paint or alter the exterior of any building, without the prior written consent of the Board of Directors.

LASHLEY VILLAGE

Rules & Regulations

GARAGE SPACES:

Each owner/Resident shall maintain the interior of his or her garage space in a clean, safe and attractive condition and shall keep the same from litter and debris. No gasoline, gasohol, distillate, diesel, kerosene, naphtha, or similar volatile combustible or explosive materials shall be stored in any garage space except in the fuel tanks of vehicles or equipment parked therein or one container of outdoor grill fuel starter of no more than a two liter capacity. Any use of a garage space that does not allow a vehicle to be parked within such space is expressly prohibited. Residents are encouraged to keep the garage doors closed except when in use.

PARKING SPACES:

The parking spaces are to be used in such a manner so that vehicles could be parked on a temporary basis within such spaces. Therefore, any use of a parking space that does not allow a vehicle to be parked on a temporary basis within such space is expressly prohibited, i.e., parking spaces are not to be used for the storage of vehicles, boats, etc. No parking behind the garages due to Fire Lane Emergency Access.

LATE FEE:

Dues are to be received no later than the 15th of each month. If the dues are not paid by that date, a \$15.00 late fee will be applied to the unit.

PETS:

No animals, livestock, birds, poultry, reptiles or insects of any kind, shall be raised, bred or boarded in or on any portion of the Condominium Community; except that dogs, cats or other household animals may be allowed only by units occupied by owners (not renters) so long as they are not raised, bred or maintained for any commercial purpose, and are not kept in such number or in such manner as to create a nuisance or inconvenience to any of the residents of the Condominium Community. Household pets shall not be allowed to run at large, but shall at all times be under control of such pet's owner and such pets shall not be allowed to litter the Common Elements. Pets shall be on a leash while on the Common Elements. All owners are responsible for any cleanup or damage caused by the pet.

NUISANCES:

No noxious or offensive activity shall be carried on within the Condominium Community, nor shall anything be done or maintained thereon which may be or become an annoyance or nuisance to the neighborhood or detract from it's value. Habitually barking, howling or yelping dogs shall be deemed a nuisance. No activity shall be conducted on any part of the Condominium Community which is or might be unsafe or hazardous to any person. All rubbish, trash or garbage shall be regularly removed and shall not be allowed to accumulate thereon.

**LASHLEY VILLAGE
HOMEOWNER'S ASSOCIATION**

C/O PML, Inc.
715 Main St.
Longmont, Co., 80501
(303) 772-5891

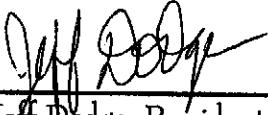
RESOLUTION

WHEREAS the Condominium Declaration of the Lashley Village Condominiums in Article 6.8 Antennas. *No exterior television or radio antennas and/or masts or satellite dishes of any sort shall be placed, allowed or maintained upon the Condominium Community without prior written approval of the Board of Directors.* gives the Association's Board of Directors the authority to adopt Rules and Regulations governing the use of Common Elements, and

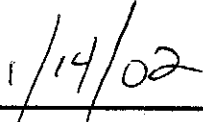
WHEREAS placement of an external satellite antenna will be allowed by the Board of Directors with placement needing prior approval. No antennas shall be placed on the roof surfaces in the project.

THEREFORE BE IT RESOLVED that the Board of Directors of the Lashley Village Homeowner's Association adopts the following language into the Declarations and Covenants *placement of an external satellite antenna will be allowed by the Board of Directors with placement needing prior approval. No antennas shall be placed on the roof surfaces in the project.*

This Resolution is passed this 14th. Day of January 2002, at the meeting of the Board of Directors held on this date.



Jeff Dodge, President



Date

**LASHLEY VILLAGE
HOMEOWNERS ASSOCIATION
c/o Pennant Investment Company
1840 Folsom Ave, Suite 110
Boulder, CO 80302
303-447-8988**

RESOLUTION

WHEREAS the Condominium Declaration of the Lashley Village Condominiums in Article 2.6 Parking Spaces, gives the Association's Board of Directors the authority to adopt Rules and Regulations governing the use of Common Elements, and

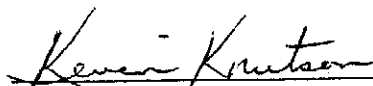
WHEREAS the Lashley Village has experienced problems with parking availability for guests; and

WHEREAS overcrowding in the common parking areas prompts visitors to park behind garages and along drives, creating a safety hazard, an undesirable appearance and difficulties with snow removal; and

WHEREAS it is the Board of Directors responsibility to enforce the Declaration and Covenants, which state that garages should be used for parking, and that common parking spaces are to be used on a temporary basis only;

THEREFOR BE IT RESOLVED that the Board of Directors of the Lashley Village Homeowners Association adopts the following language into the Declarations and Covenants: Parking spaces marked "visitor", as determined by the Board shall not be used by owners and residents, but only guests. Owners and residents who already have two cars in their garage may use unmarked common parking spaces, first come, first serve. Those found in violation may be issued warnings or fines, and repeat offenders may be towed. Vehicles without valid tags or vehicles being stored in any parking space will be towed at the owner's expense.

This Resolution is passed this 27th day of June, 2001, at the meeting of the Board of Directors held on this date.



Kevin Knutson, President

6/26/01

Date