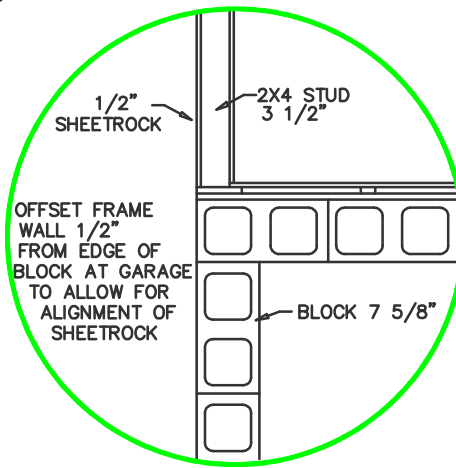
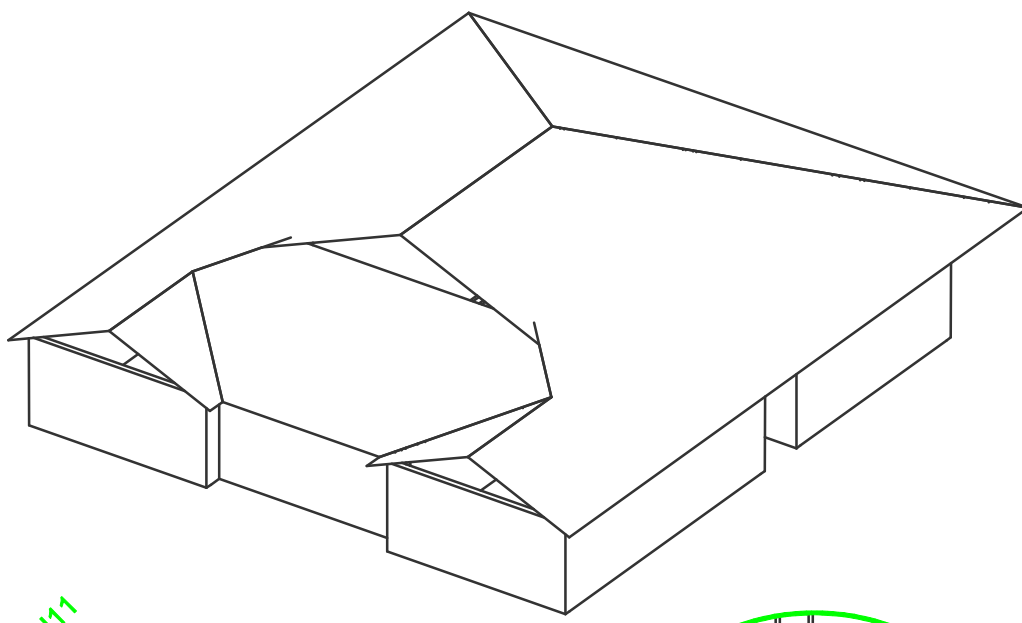
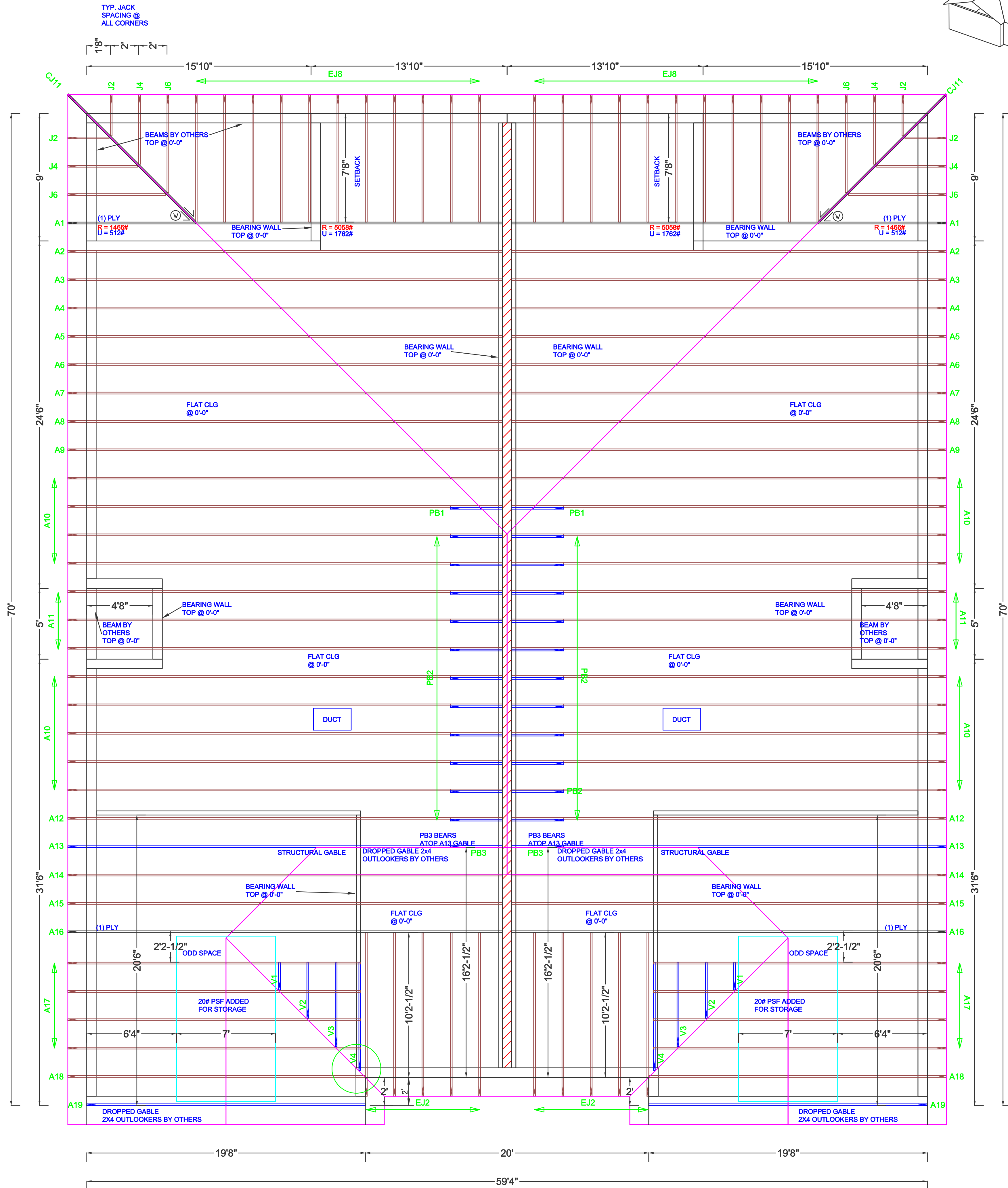
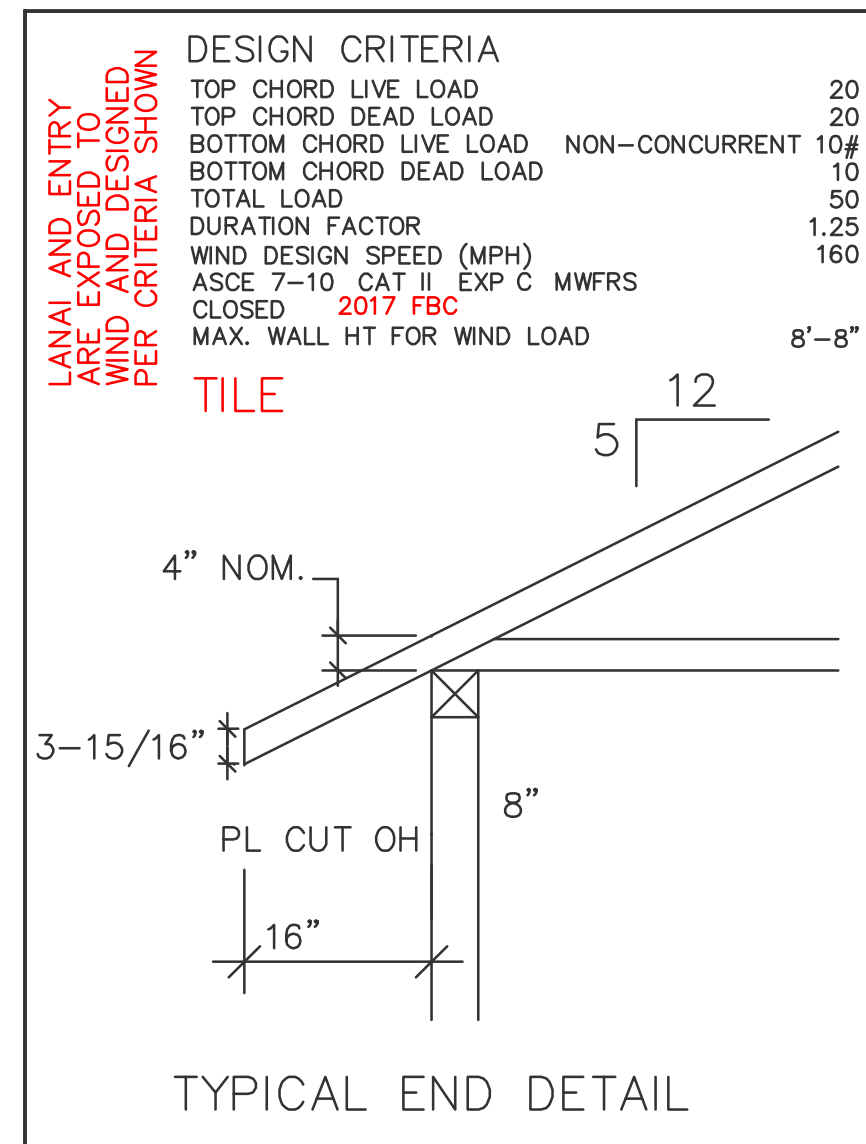
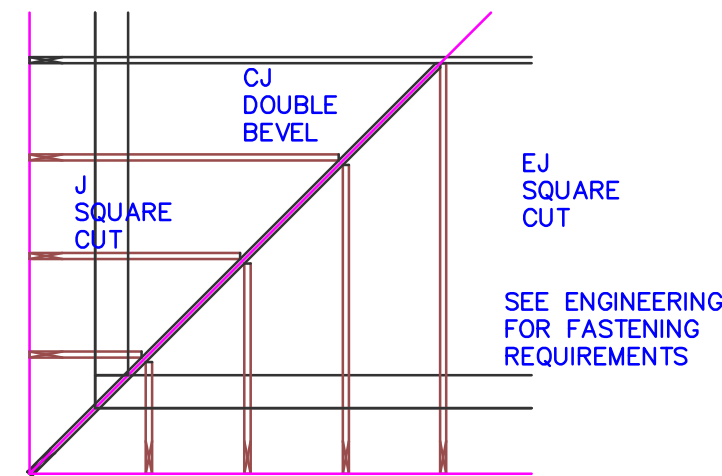


SEE SUPPORTING TRUSS & PIGGY-BACK ENGINEERING FOR ADDITIONAL INFORMATION

SCAB PIGGY-BACK DETAIL

TYPICAL JACK CUTS



****UNLESS NOTED****
REACTION VALUES ARE UNDER 5000#
UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24"o.c. UNLESS NOTED OTHERWISE

*****CAUTION*****

DO NOT ATTEMPT TO ERECT TRUSSES WITH-
OUT REFERRING TO THE ENGINEERING DWGS.

IT IS NECESSARY TO REFER TO THE ENGINEERING
DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION,
ORIENTATION AND WEB BRACING

REFER TO WTCA/TPI BSCI-B1 SUMMARY
SHEET FOR HANDLING METHODS & TEMPORARY
BRACING, WHICH IS ALWAYS REQUIRED

BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA
CORP. "+/-" BEARING DIFFERENCES SHOWN ARE CRITICAL.
IF ANY HEIGHTS DEViate - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS

8'-8" A.F.F.	0'-0"	ELEV.
RAKED BEAM		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

DR HORTON HANGER SCHEDULE

(C) USP HUS 26	(M) USP THDH 28-3
(F) USP HUS 28	(N) USP THD 48
(H) USP THDH 28	(P) USP JUS 24
(I) USP THDH 28-2	(B) USP MSH 422
(W) USP HJC 26	(X)

HANGER VALUES HAVE BEEN BASED ON 16D
COMMON NAILS EXCEPT THE FOLLOWING
LUS24 - 10D COMMON THJA26 - 10D x 1-1/2

*****ATTENTION*****

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY
BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS,
PITCHES, OVERHANGS, ELEVATIONS, CEILING &
BEARING CONDITIONS. SCOSTA CORPORATION IS
RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH
PLANS AND/OR INFORMATION PROVIDED BY
CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN.
CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF
INFORMATION AND PLANS PROVIDED TO SCOSTA
CORPORATION, AND TO VERIFY CONFORMANCE TO
FIELD CONDITIONS, AND/OR OWNER CHANGES.
TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE
APPROVED LAYOUT.

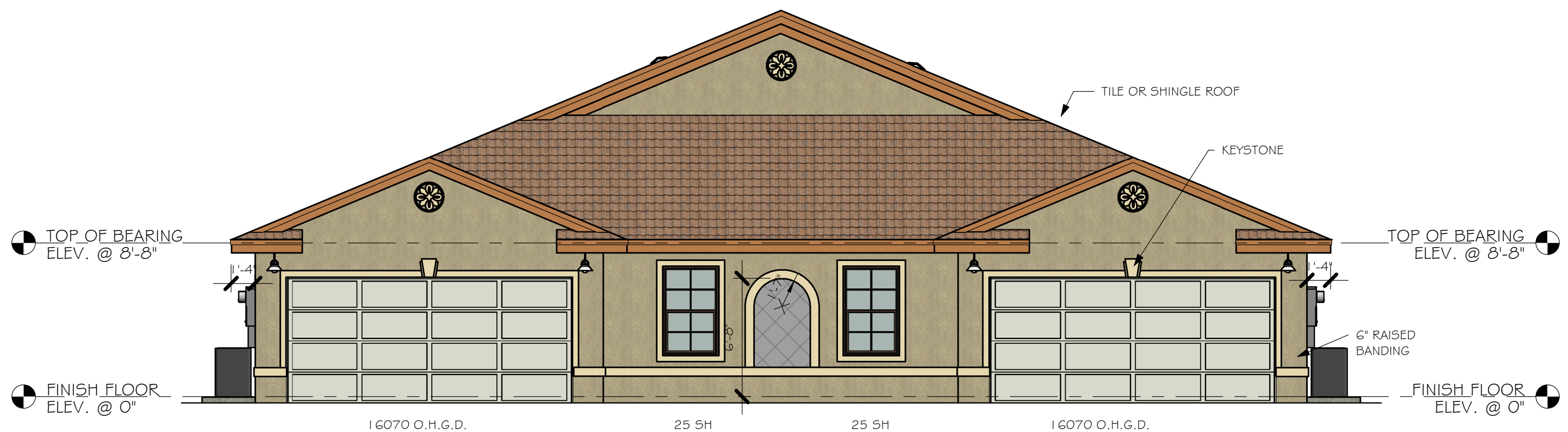
APPROVED BY: _____
DATE: _____ REQUESTED DELIVERY DATE: _____
JOBSITE CONTACT NAME: _____
PHONE #: _____
E-MAIL: _____

SCOSTA CORP.

WOOD, STEEL OR TIMBER
ROOF & FLOOR TRUSSES

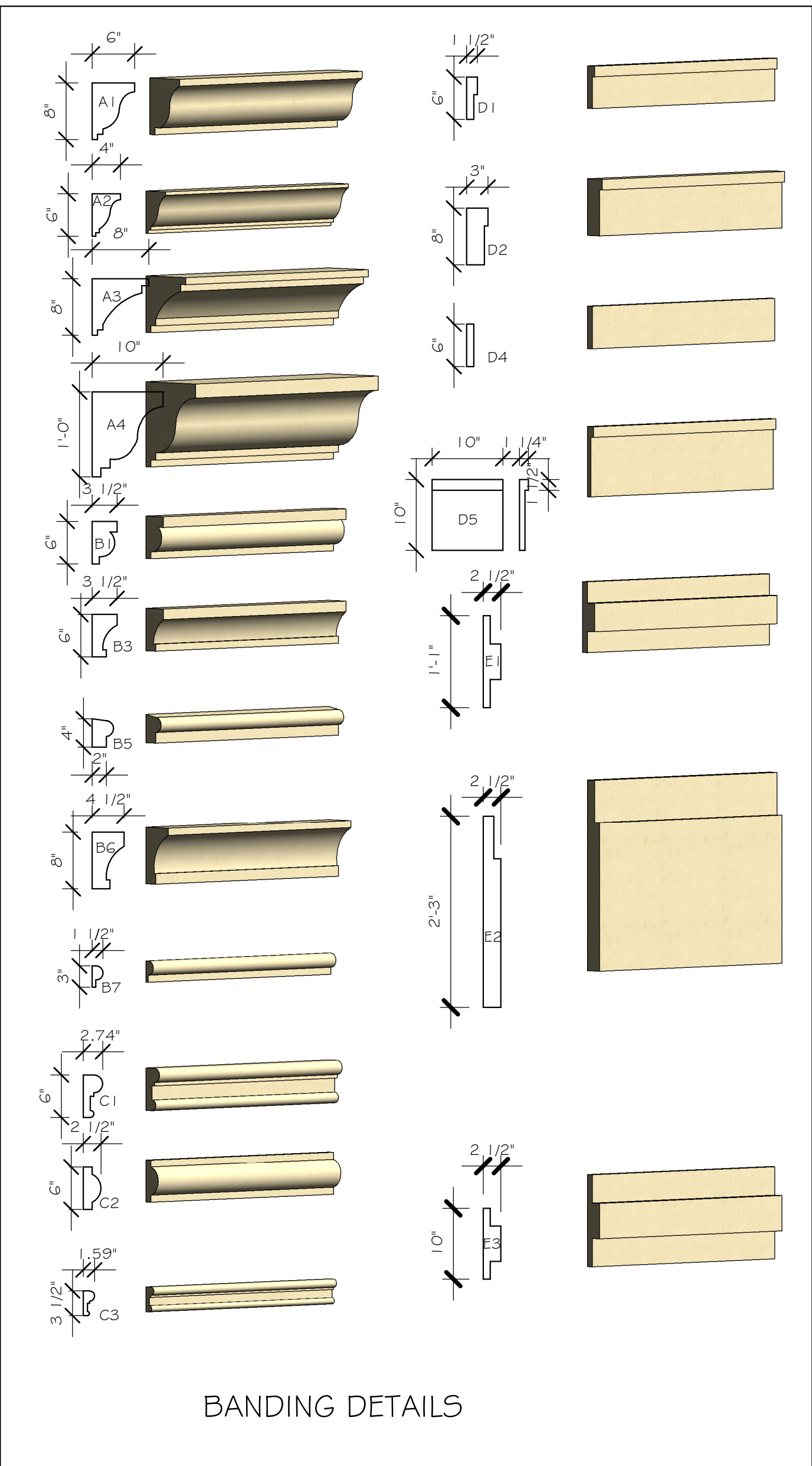
3670 COMMERCE CENTER DRIVE
SEBRING, FL 33870
(863) 385-8242

SCALE: 1/4"=1'-0"	DATE: 08/22/17	REVISED BY: KD 02/08/18	DRAWN BY: CD
JOB ADDRESS: 1498 TWIN VILLA			1 OF 1
CUSTOMER: EMERALD HOMES			JOB # 44060



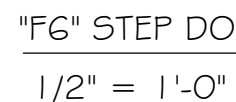
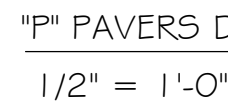
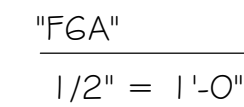
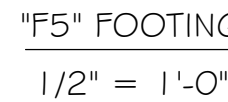
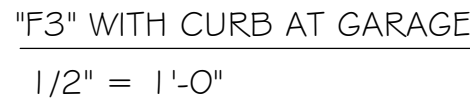
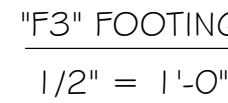
FRONT ELEVATION

3' 6" = 1'-0"



BANDING DETAILS

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



PAD FOOTING SCHEDULE

WALL FOOTING SCHEDULE

ADD CURB TO
GARAGE, SEE
DETAIL.

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

PLAN NOTES:

1. TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
2. "FF" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
3. "DES" IS PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
4. PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
5. ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
6. FOR DISPOSITION OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
7. PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/5-1.


$$\overline{3/16'' = 1'-0''}$$

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\WATERFORD II TV\5\10135
LOT 228-229 1498 EREV\10135 1498 E.rvt

DOOR SCHEDULE							
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	ZONE 4	ZONE 5	QTY

1	16070 OHGD	GARAGE DOOR	7'-0"	16'-0"	+28.2/-31.5	+28.2/-31.5	2
2	2-4080 SL. GL. DR.	DISTINCTION	8'-0"	8'-0"	+29.4/-33.3	+29.4/-33.3	2
3	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	+33.5/-36.3	+33.5/-44.8	2

WIND PRESSURES PER ASCE7-10 160 MPH, EXPOSURE C AND CONVERTED TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR. Vasd= 124 MPH
GARAGE DOOR ASSUMES 2' IN ZONE 5.

WINDOW SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	ZONE 4	ZONE 5	QTY

A	25 SH	M.I.	5'-3"	3'-2"	+33.5/-36.3	+33.5/-44.8	4
B	2-25 SH	M.I.	5'-3"	6'-4"	+33.5/-36.3	+33.5/-44.8	4
C	36" X 12" TRANSOM	MI	1'-0"	3'-0"	+33.5/-36.3	+33.5/-44.8	2

WIND PRESSURES PER ASCE7-10 160 MPH, EXPOSURE C AND CONVERTED TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR. Vasd= 124 MPH

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

- PLAN NOTES
- 1) VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS

2) PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.

3) PROVIDE SAFETY GLAZING AT BATH SHOWER PER FLORIDA BUILDING CODE R 308.4.5.

4) NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)

5) PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE

6) KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.

7) INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS

8) WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5

9) THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD OR EQUIVALENT

10) INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5.

11) ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R6 I 2.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PRVENTION DEVICE

12) ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.

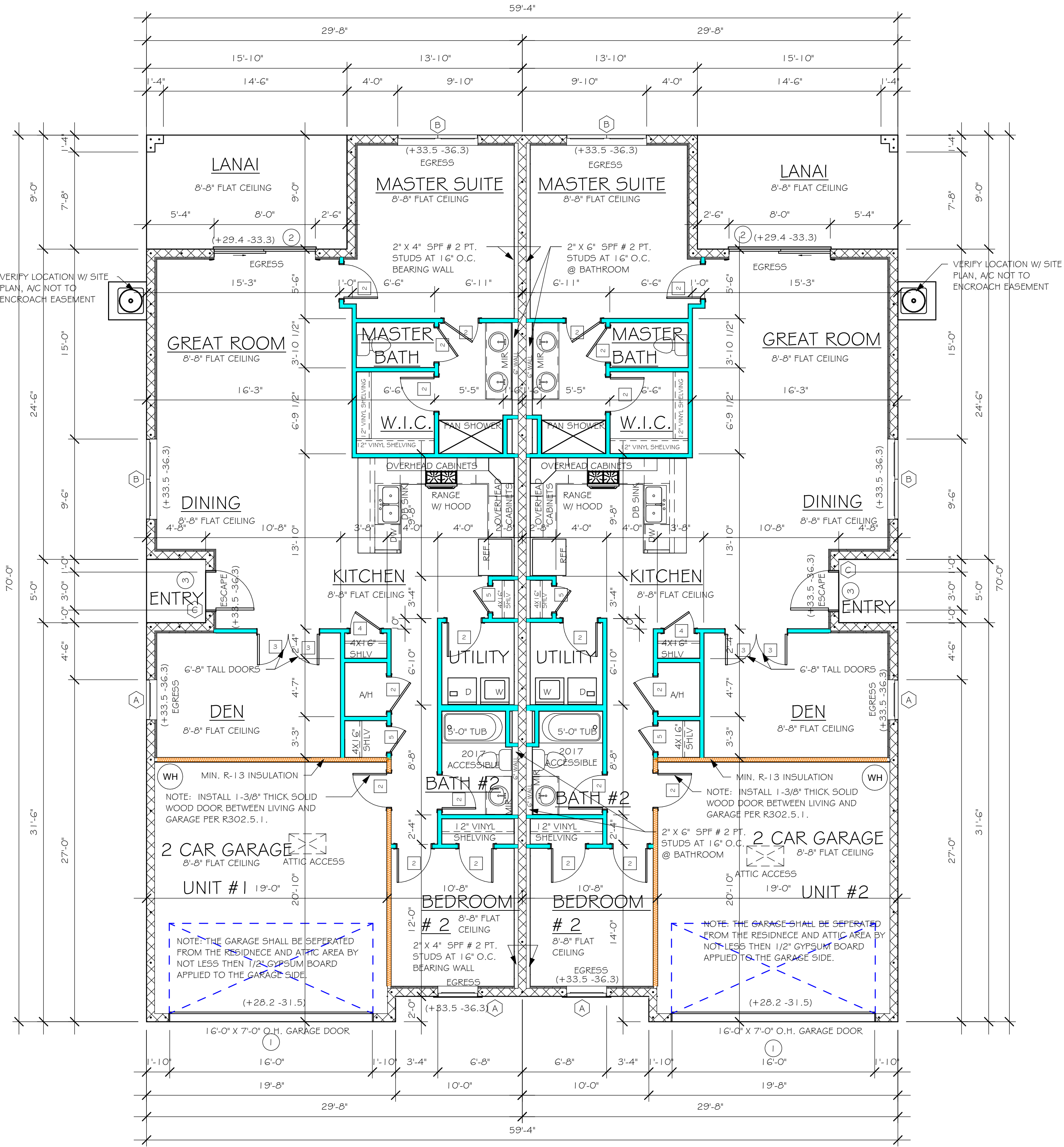
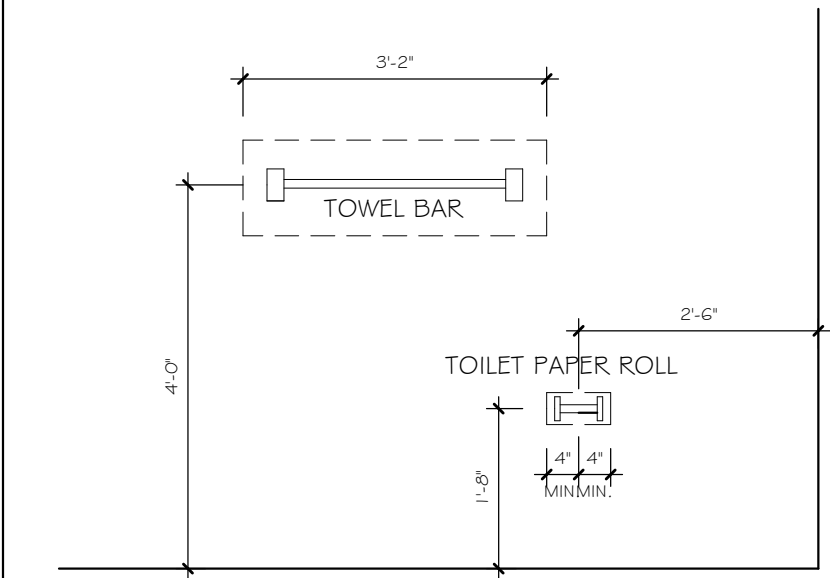
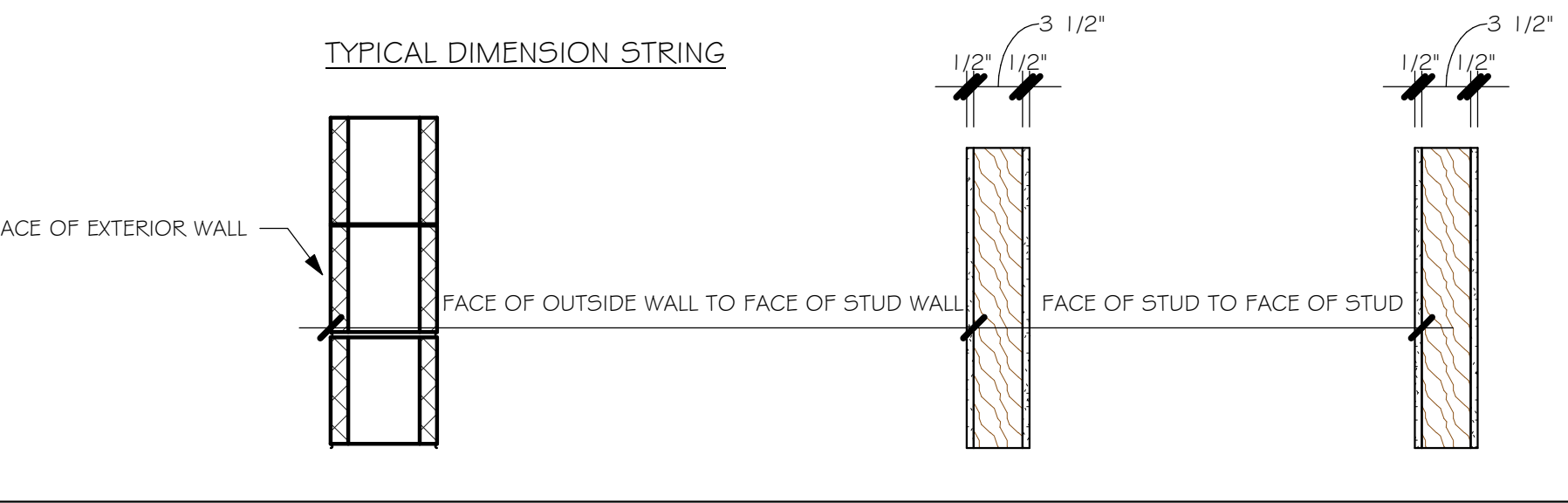
INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	
4	2'-4"	B.P. = BI-PASS DOOR
5	2'-0"	L.V. = LOUVERED DOOR
6	1'-8"	
7	1'-6"	
8	2'-1 1/4"	

SQUARE FOOTAGE UNIT #1	
LIVING AREA	1,500
GARAGE AREA	391
LANAI AREA	143
FRONT PORCH/ ENTRY AREA	23
TOTAL SQUARE FOOTAGE	2,057

SQUARE FOOTAGE UNIT #2	
LIVING AREA	1,500
GARAGE AREA	391
LANAI AREA	143
FRONT PORCH/ ENTRY AREA	23
TOTAL SQUARE FOOTAGE	2,057

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

BATHROOM NOTES	
TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS



FLOOR PLAN
3/16" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

REV2

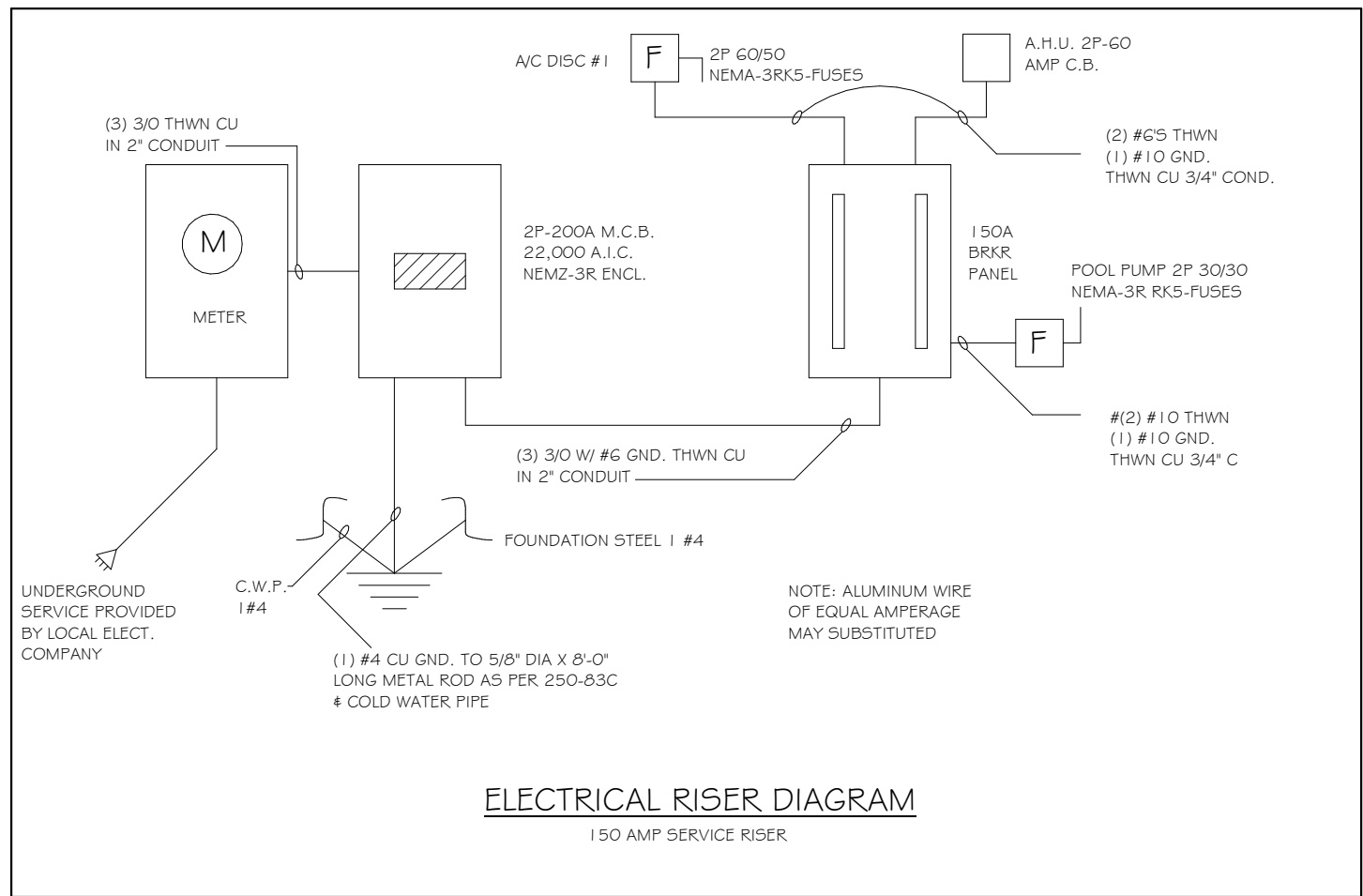
BEVELLED BLOCKING
1/2" = 1'-0"

REV2

$$3/16'' = 1'-0''$$

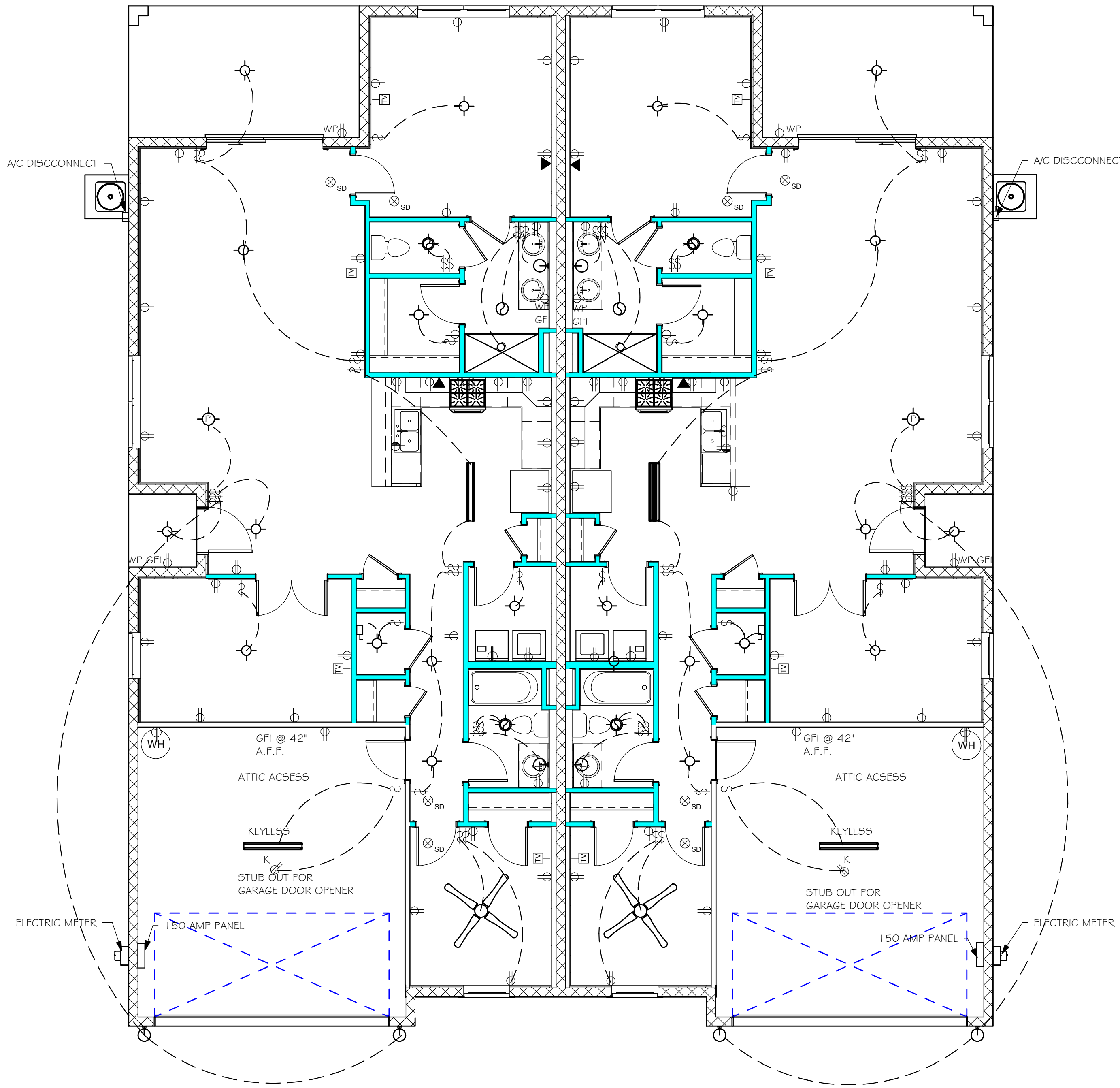
Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\WATERFORD II TV'S\10135
LOT 228-229 1498 E REV\10135 1498 E.rvt

ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE AT ELEV. A.F.F.
	DUPLEX RECEPTACLE - ABOVE COUNTER
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES, PER RULE 9B-3.04.72 SD (SMOKE DETECTOR) SCD (CARBON MONOXIDE/ SMOKE DETECTOR)
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	RECESSED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON (PB) / DOOR BELL (DB)
	INTERCOM
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT
NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.	
ELECTRICAL NOTES: ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.11	
ALL ELECTRICAL EQUIPMENT TO BE SET AT OR ABOVE BASE FLOOD ELEVATION.	
ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S.	
INSTALL PHONE AND T.V. PER CONTRACT.	
INSTALL ALL ELECTRICAL PER NEC 2014	



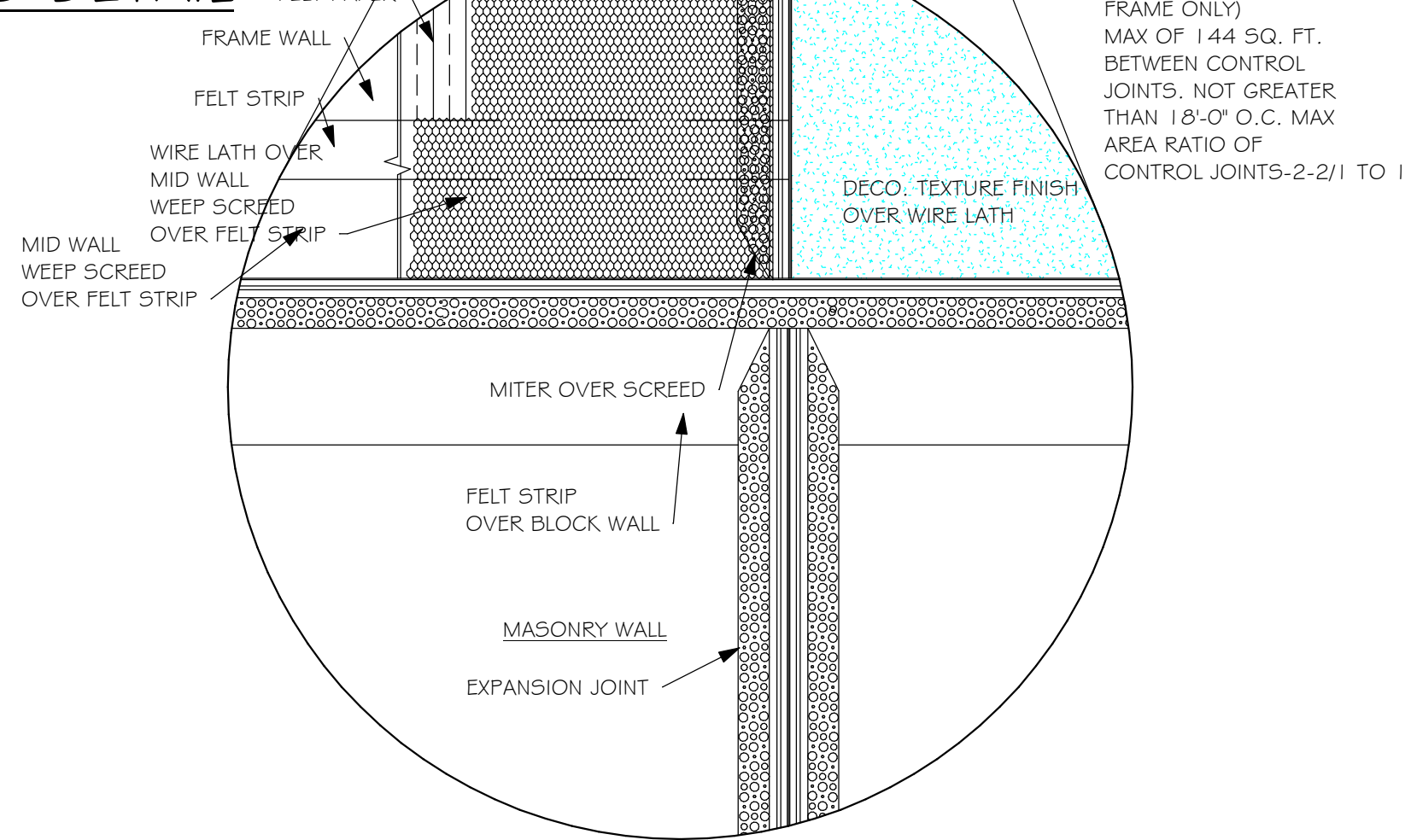
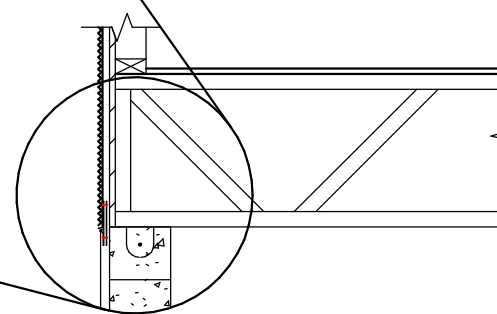
AIR CONDITIONING COORDINATION REQUIRED.
PRIOR TO ORDERING ROOF TRUSSES, THE CONTRACTOR SHALL WORK WITH THE AIR CONDITIONING SUB CONTRACTOR TO DESIGN/PLAN AND LAYOUT THE LOCATION OF AIR HANDLING EQUIPMENT, AIR DUCT SIZE AND LOCATION AND COORDINATE THAT DESIGN WITH THE TRUSSES FOR SPACE, CONNECTIVITY, AND POSITION REQUIREMENTS. THE CONTRACTOR MUST ADVISE THE TRUSS COMPANY PRIOR TO ANY CONSTRUCTION OF TRUSSES OF THE AIR CONDITIONING/HANDLING EQUIPMENT'S SIZE AND WEIGHT AND DUCT LAYOUT CONCERNS OR REQUIREMENTS THAT MAY HAVE THE POTENTIAL TO CHANGE OR MODIFY THE TRUSSES TO ACCOMMODATE THE SAME. THE CONTRACTOR SHALL COORDINATE CONDENSATION DISCHARGE LINE LOCATION, AND ELECTRICAL SERVICE TO AIR EQUIPMENT, AND PROVIDE ANY LOCAL DISCONNECTS, LIGHTS AND SERVICE PLATFORMS THAT MAY BE REQUIRED.

ELECTRICAL NOTES FOR FIRE RATED WALLS
ELECTRICAL OUTLETS PLACED IN FIRE RATED WALLS SHALL BE IN CONFORMANCE WITH THE UNDERWRITERS LABORATORIES, INC., FIRE RESISTANCE DIRECTORY, CURRENT EDITION, THESE REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SPECIFIC ITEMS:
A) INDIVIDUAL OUTLET/SWITCH BOXES SHALL NOT EXCEED (16) SQUARE INCHES IN AREA.
B) AGGREGATE AREA OF OUTLET/SWITCH BOXES SHALL NOT EXCEED (100) SQUARE INCHES WITHIN (100) SQUARE FEET OF WALL AREA.
C) OUTLET/SWITCH BOXES LOCATED ON OPPOSITE SIDE OF THE SAME WALL SHALL BE SEPERATED BY A MINIMUM OF (24) INCHES.
D) ALL OUTLET/SWITCH BOXES SHALL BE SECURELY ATTACHED TO THE STUDS AND THE OPENING IN THE WALL BOARD FACING SHALL BE CUT SO THAT THE CLEARANCE BETWEEN THE BOX AND THE WALLBOARD DOES NOT EXCEED 1/8 INCH.



ELECTRICAL PLAN
3/16" = 1'-0"

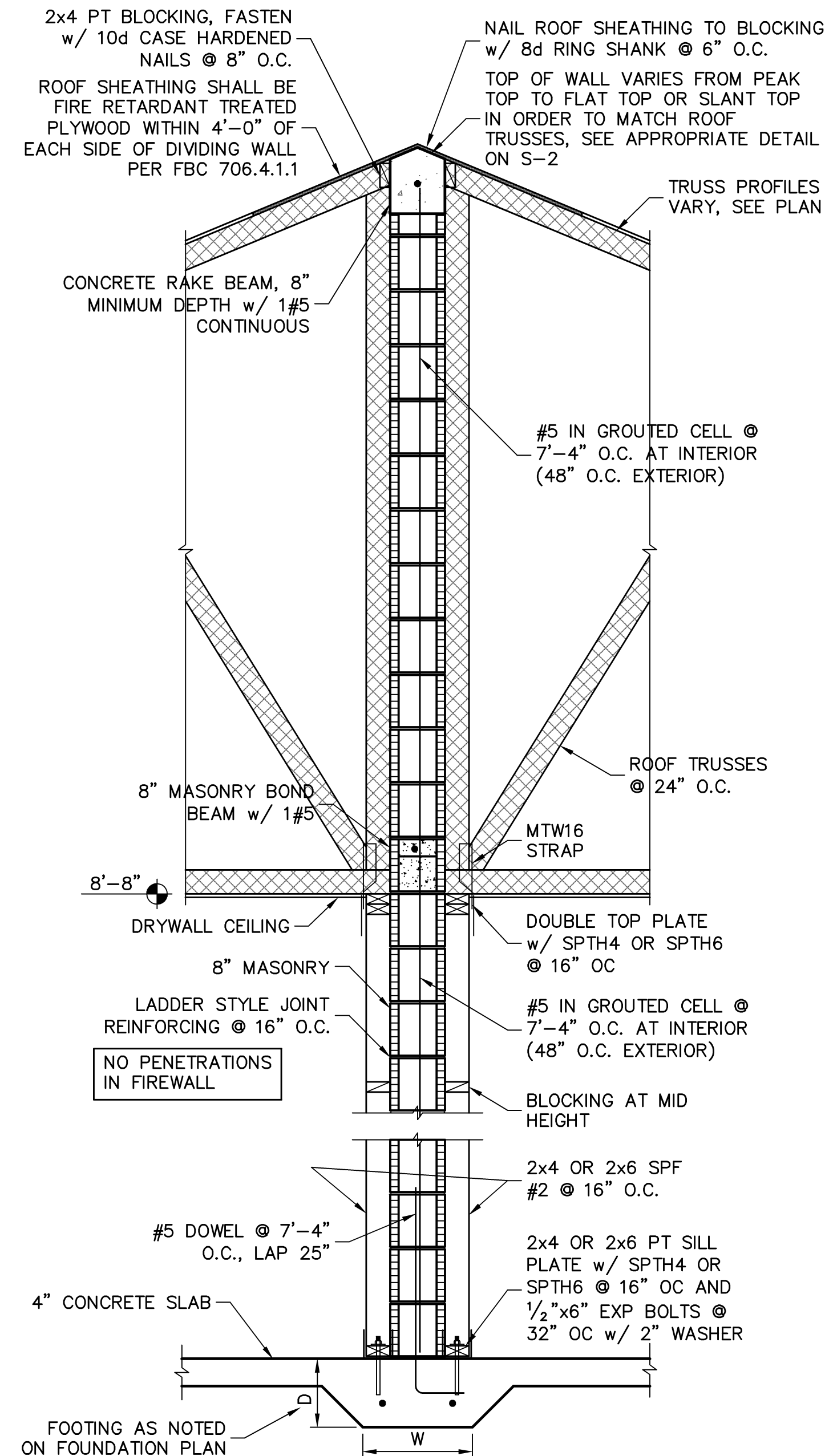
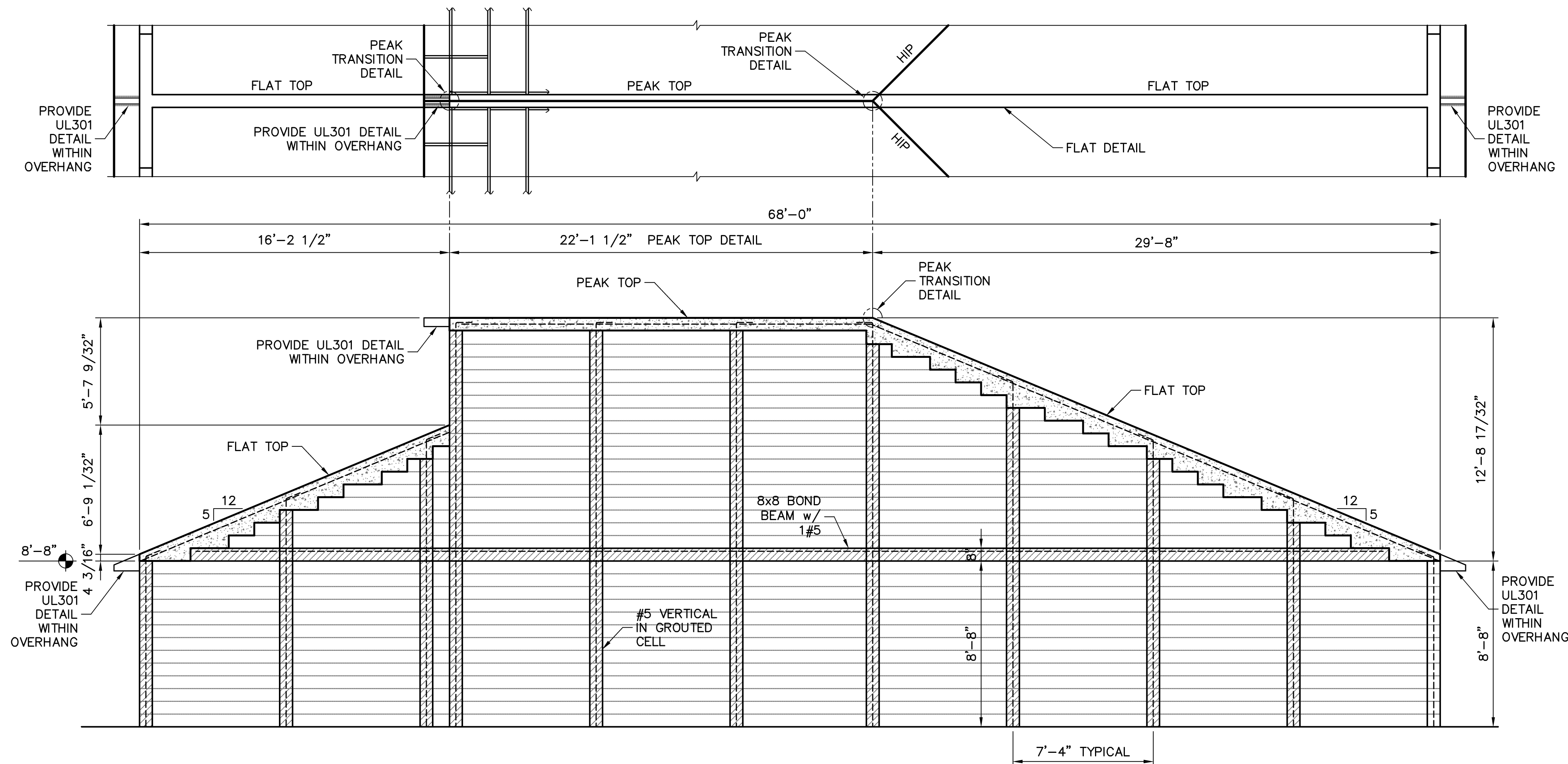
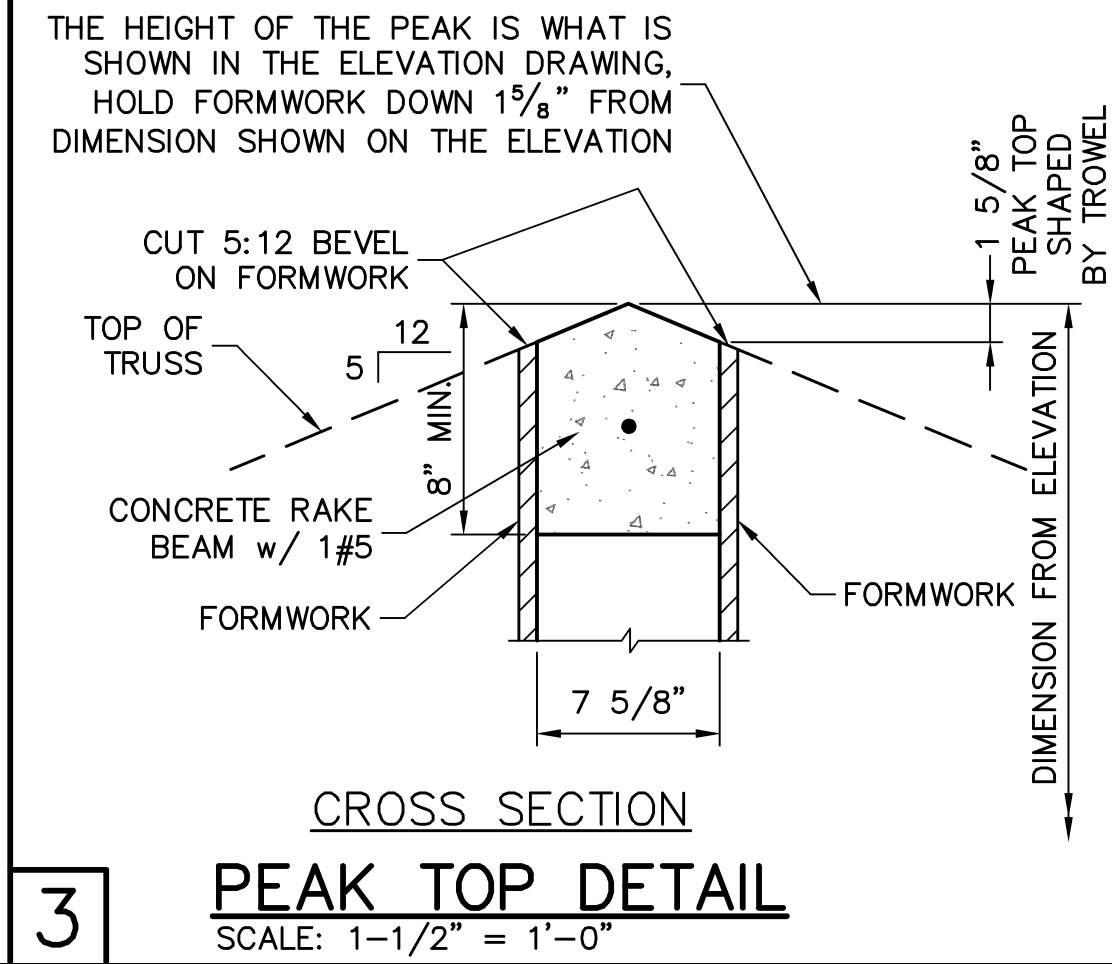
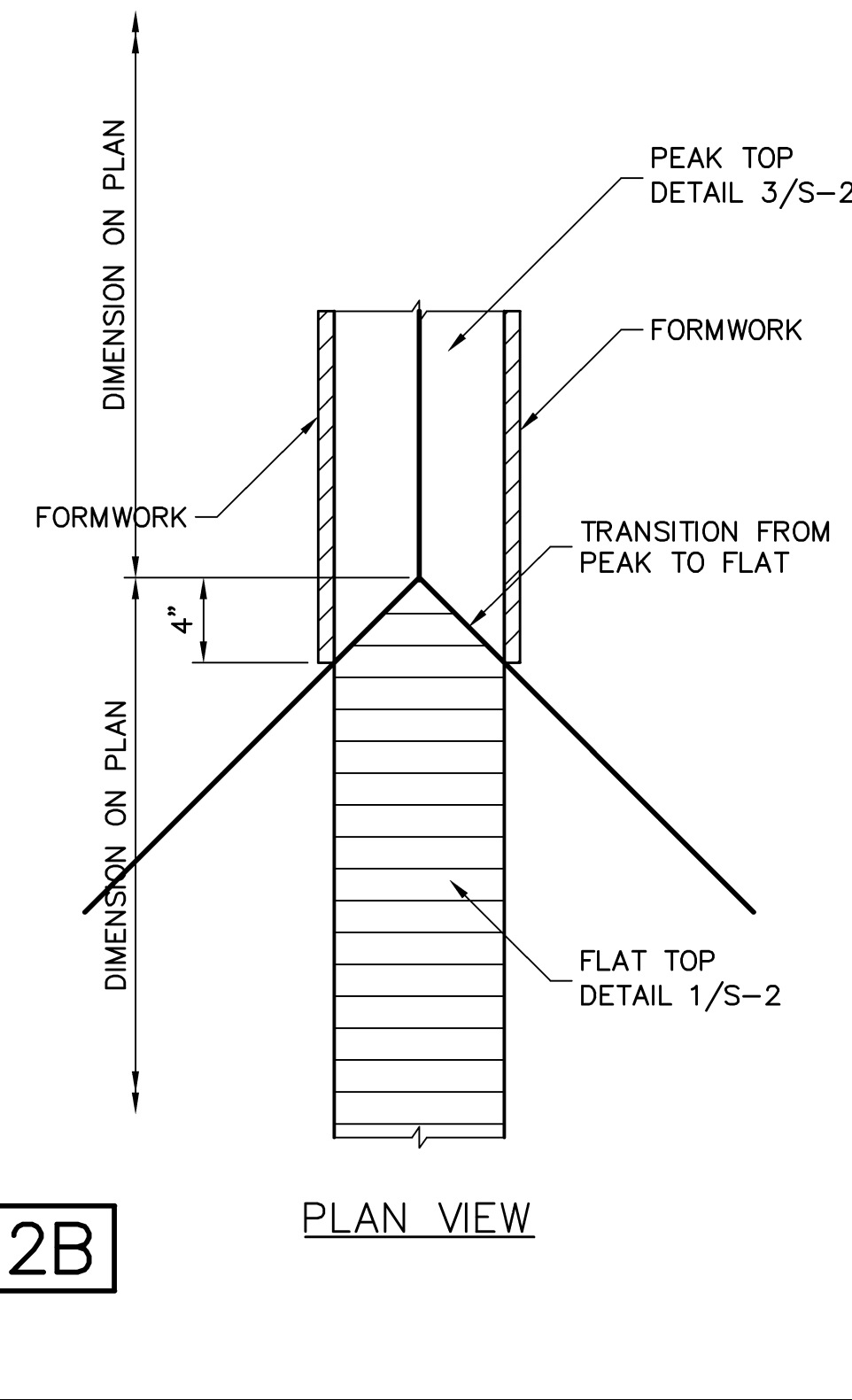
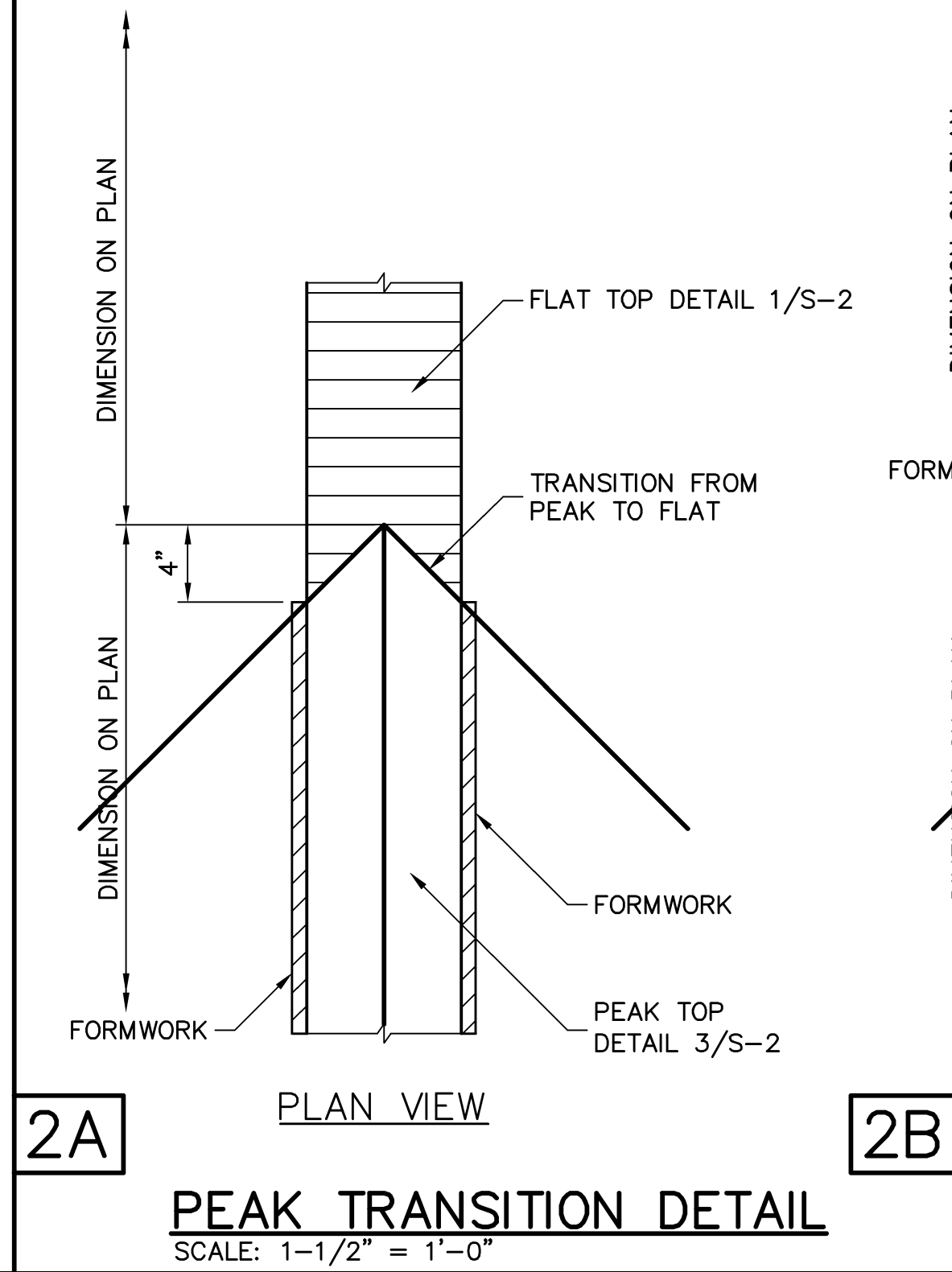
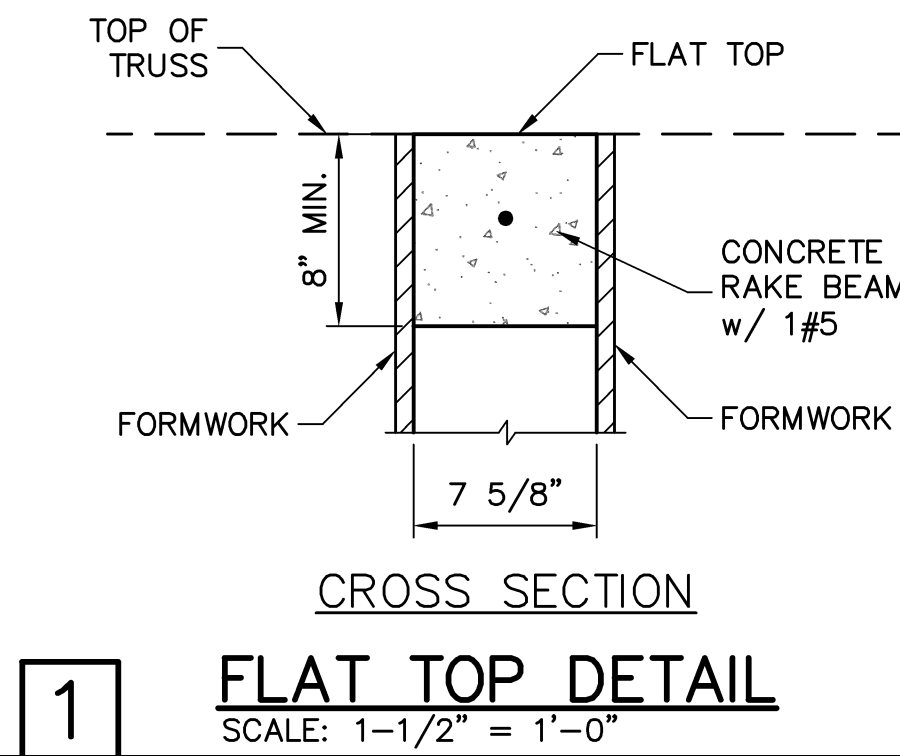
DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



WEEP SCREED DETAIL

INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE
WOOD STUD FRAMING IS ABOVE MASONRY WALLS





REVISIONS	BY

STRUCTURAL ENGINEERING:
STRUCTURAL SYSTEMS OF NORTH FLORIDA
1634 S.E. 47th STREET, SUITE #3
CAPE CORAL, FL 33904
(239) 549-4554
CA# 8829

DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL
BUILDER:

D.R. HOHON
America's Builder

**STRUCTURAL DETAILS FOR
1498 SIGNATURE VILLA**
7610, 7618 WEST LENOX CIRCLE
PORT CHARLOTTE, FLORIDA
LOTS: 228-229 SUBDIVISION: WATERFORD

DESIGN/DRAWN
DWB/DWB
CHECKED
DWB
DATE
03/01/18
SCALE
AS NOTED
JOB NO.
DR10135
SHEET

S-2
SHEET 2 OF 2

FOR SCOSTA TRUSSES, JOB # 44060, DATED 08/22/17, REVISED: 02/08/18