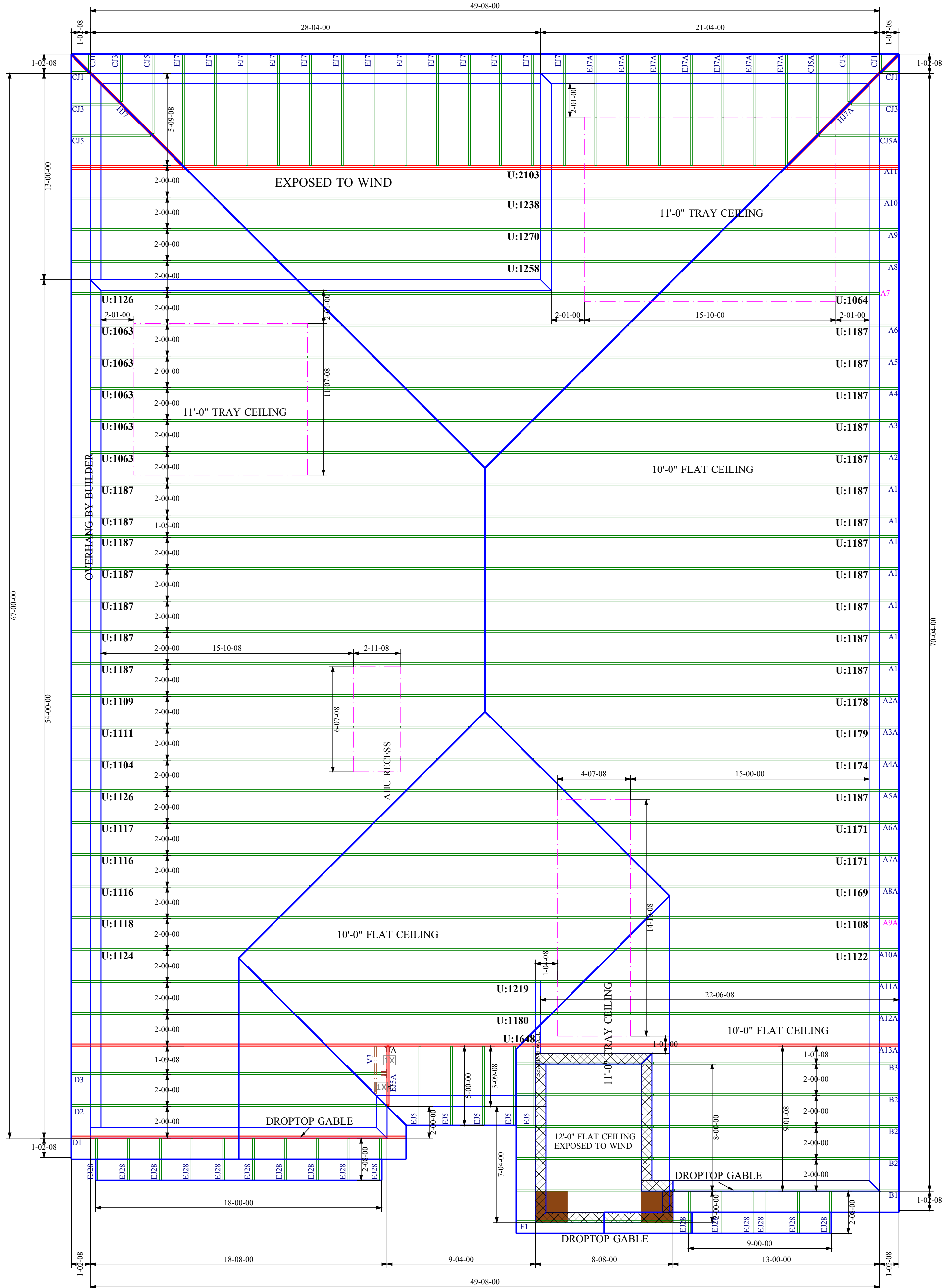


JOB No.	MASTER
DATE DRAWN	1/10/2018
DATE PRINTED	1/10/2018

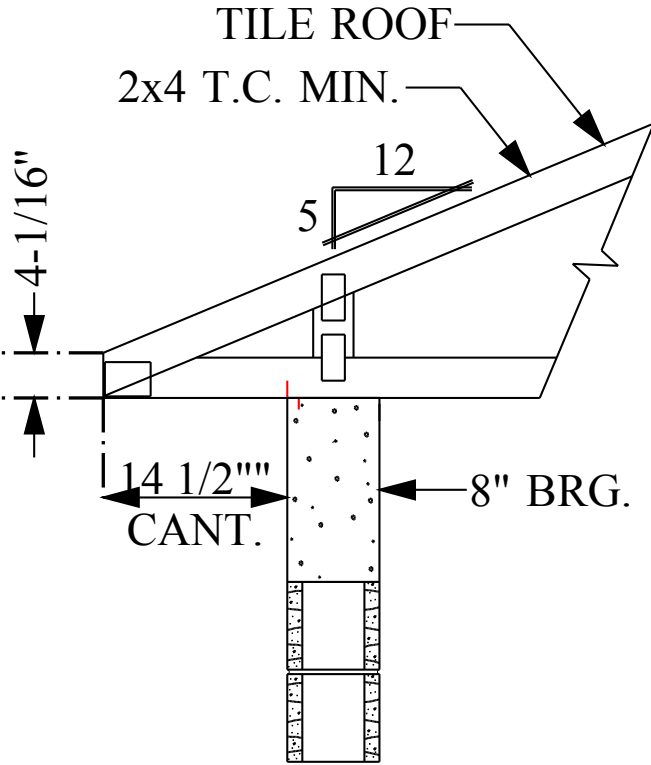


GENERAL TRUSS ENGINEERING CRITERIA & DESIGN LOADS	
DESIGN CODE	FBC2017/TP12014
WIND CODE	MWFRS (Directional)/C-C HYBRID WIND ASCE 7-10
WIND LOAD	160 MPH
EXPOSURE CATEGORY	C
OCCUPANCY CATEGORY	II
IMPORTANCE FACTOR	1.0
WIND DURATION FACTOR	1.60
OPENING CONDITIONS	ENCLOSED
TRUSSES HAVE BEEN DESIGNED FOR A 10.0 PSF BOTTOM CHORD LIVE LOAD NONCONCURRENT WITH ANY OTHER LIVE LOADS	
TRUSS LOADING	ROOF
TCLL	20 PSF
TCDL	20 PSF
BCLL	0 PSF
BCDL	10 PSF
TOTAL	50 PSF
DURATION	1.25
TCDL / TO RESIST UPLIFT	5 PSF
BCDL / TO RESIST UPLIFT	5 PSF

CAUTION!!!	
DO NOT ATTEMPT TO ERECT TRUSSES WITHOUT REFERRING TO THE ENGINEERING DRAWINGS AND BSCI-B1 SUMMARY SHEETS.	
ALL PERMANENT BRACING MUST BE IN PLACE PRIOR TO LOADING TRUSSES. (ie. SHEATHING, SHINGLES, ETC.)	
ALL INTERIOR BEARING WALLS MUST BE IN PLACE PRIOR TO INSTALLING TRUSSES.	
REFER TO FINAL ENGINEERING SHEETS FOR THE FOLLOWING.	
1) NUMBER OF GIRDER PLIES AND NAILING SCHEDULE.	
2) BEARING BLOCK REQUIREMENTS.	
3) SCAB DETAILS (IF REQUIRED)	
4) UPLIFT AND GRAVITY REACTIONS.	
WARNING BACK CHARGES WILL NOT BE ACCEPTED REGARDLESS OF FAULT WITHOUT PRIOR NOTIFICATION BY CUSTOMER WITHIN 48 HOURS AND INVESTIGATION BY PROBUILD. NO EXECPTIONS.	
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS OTHER THAN TRUSS TO TRUSS, GABLE SHEAR WALL, AND CONNECTIONS. TEMPORAY AND PERMANENT BRACING, AND CEILING AND ROOF DIAPHRAM CONNECTIONS.	

BEARING HEIGHT SCHEDULE

	12'-0" BEARING HEIGHT
	10'-0" BEARING HEIGHT



TYP. ROOF TRUSS END DETAIL
N.T.S.

USP ROOF AND FLOOR TRUSS HANGER SCHEDULE						
ID	QTY/RF	QTY/FL	MODEL	FLOOR	ROOF	UPLIFT
A*	0	0	JUS24	725	895	490
A	2	0	THD26	2940	3200 / 3600	1250 / 1555
B	0	0	THD28	3820	3895 / 4680	1235 / 2140
C	0	0	THD26-2	2940	3600	1515 / 2175
D	0	0	THD28-2	3820	4310 / 4680	1530 / 3485
E	0	0	THDH26-2	4355	5320	2155
F	0	0	THDH28-2	7460	7460	3235
G	0	0	THDH26-3	4355	5230	2155
H	0	0	THDH28-3	7460	7460	3235
I	0	0	THDH6710	9100	9100	4095
J	0	0		865	1055	765
K	0	0		865	1055	765
L	0	0		1440	1760	1250
M	0	0		1440	1760	1250
N	0	0		2680	3265	960
O	0	0	HJC26	2385	2980	1840
P	N/A	0	THD46	2790	3410	1550
Q	N/A	0	MSH422	2245	2245	1855
R	N/A	0	MSH422IF	2245	2245	1855
S	N/A	0	MSH426	2435	2435	1855
NOTE: UPLIFT VALUE FOR TH422, TH422, TH426 HANGERS APPLY ONLY TO FACE MOUNT INSTALATION						
(1) PLY	(1) PLY	(2) PLY	(3) PLY	CORNER HIP	CORNER HIP	(1) PLY PER TRUSS

- NOTES:
- 1) ALL DIMENSIONS ARE FEET-INCHES-SIXTEENTHS.
 - 2) DO NOT CUT OR ALTER TRUSSES IN ANY WAY.
 - 3) ALL REACTIONS ARE UNDER 5000 LBS. UNLESS NOTE OTHERWISE.
 - 4) ALL UPLIFTS ARE UNDER 1000 LBS. UNLESS NOTED OTHERWISE.
 - 5) FRAMING REQUIRED BELOW TRUSSES TO GET DESIRED CEILING CONDITIONS.
 - 6) ONLY TRUSS TO TRUSS CONNECTIONS SUPPLIED W/ TRUSS PACKAGE.

ROOF PITCH	5/12
CEILING PITCH	FLAT
TOP CHORD SIZE	2 x 4 MIN.
BOTTOM CHORD SIZE	2 x 4 MIN.
OVERHANG LENGTH	N/A
CANTILEVER	14 1/2"
END CUT	PLUMB
FLOOR TRUSS SPACING	N/A
ROOF TRUSS SPACING	24"

BUILDER	DR Horton
PROJECT	2344 M 160 EXP C LH
MODEL	2344
ADDRESS	--
CITY, STATE	--, FL.
LOT	--
COUNTY	--
DRAWN BY	D.W.
ENG. BY	D.W.

REVISIONS			
No.	DATE	NOTES	BY

IMPORTANT

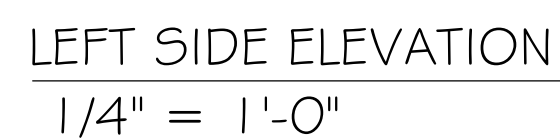
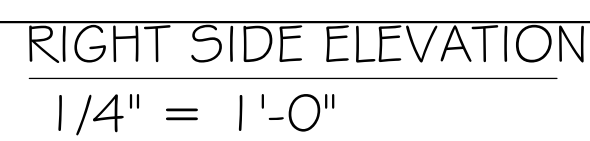
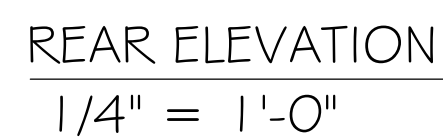
This Drawing Must Be Approved And Returned Before Fabrication Will Begin. For Your Protection Check All Dimensions And Conditions Prior To Approval Of Plan.

SIGNATURE BELOW INDICATES ALL NOTES AND DIMENSIONS HAVE BEEN ACCEPTED.

By _____ Date _____

6850 Taylor Road Punta Gorda, FL 33950
Phone: 941-575-2250 / Fax: 941-575-0319

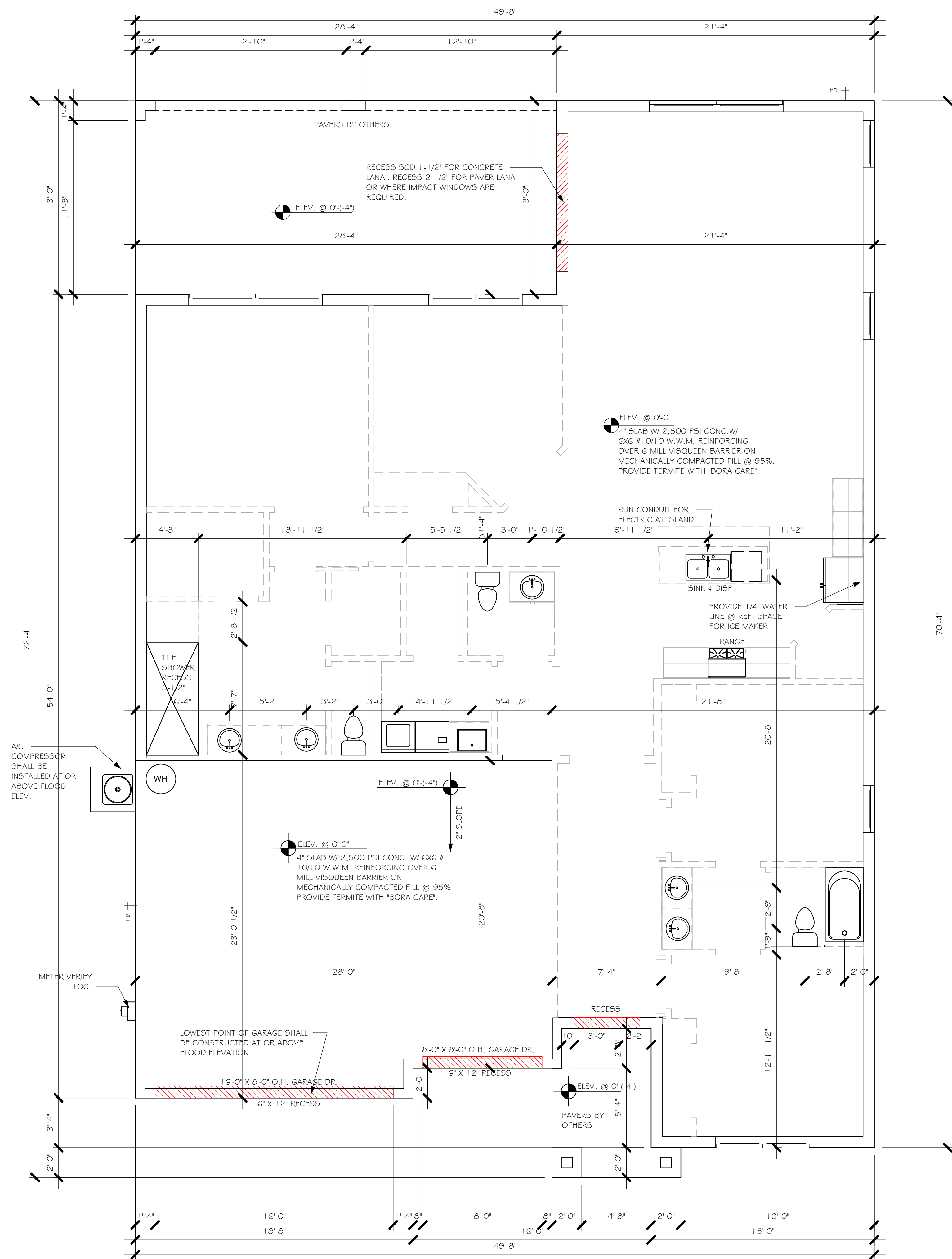
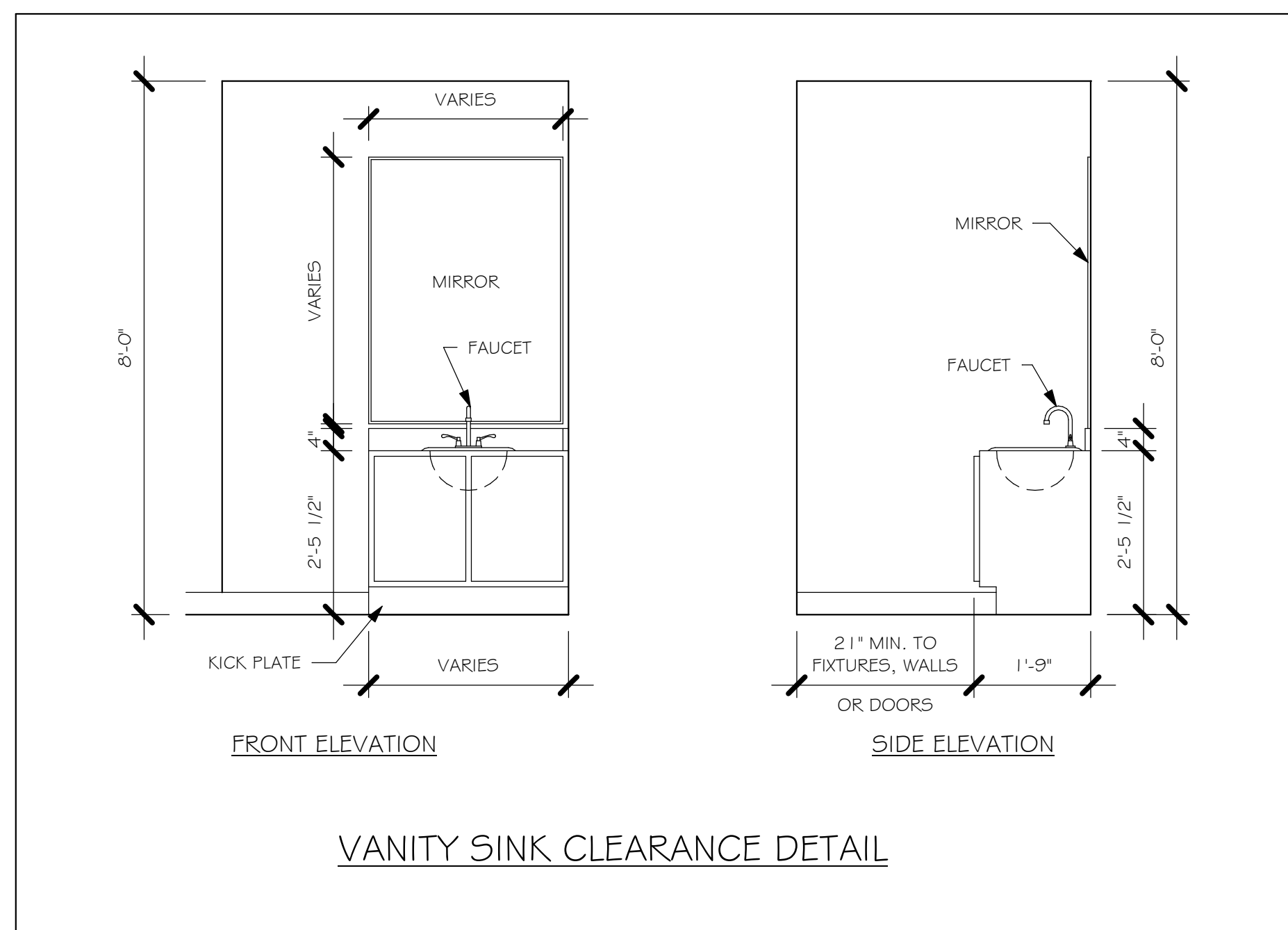
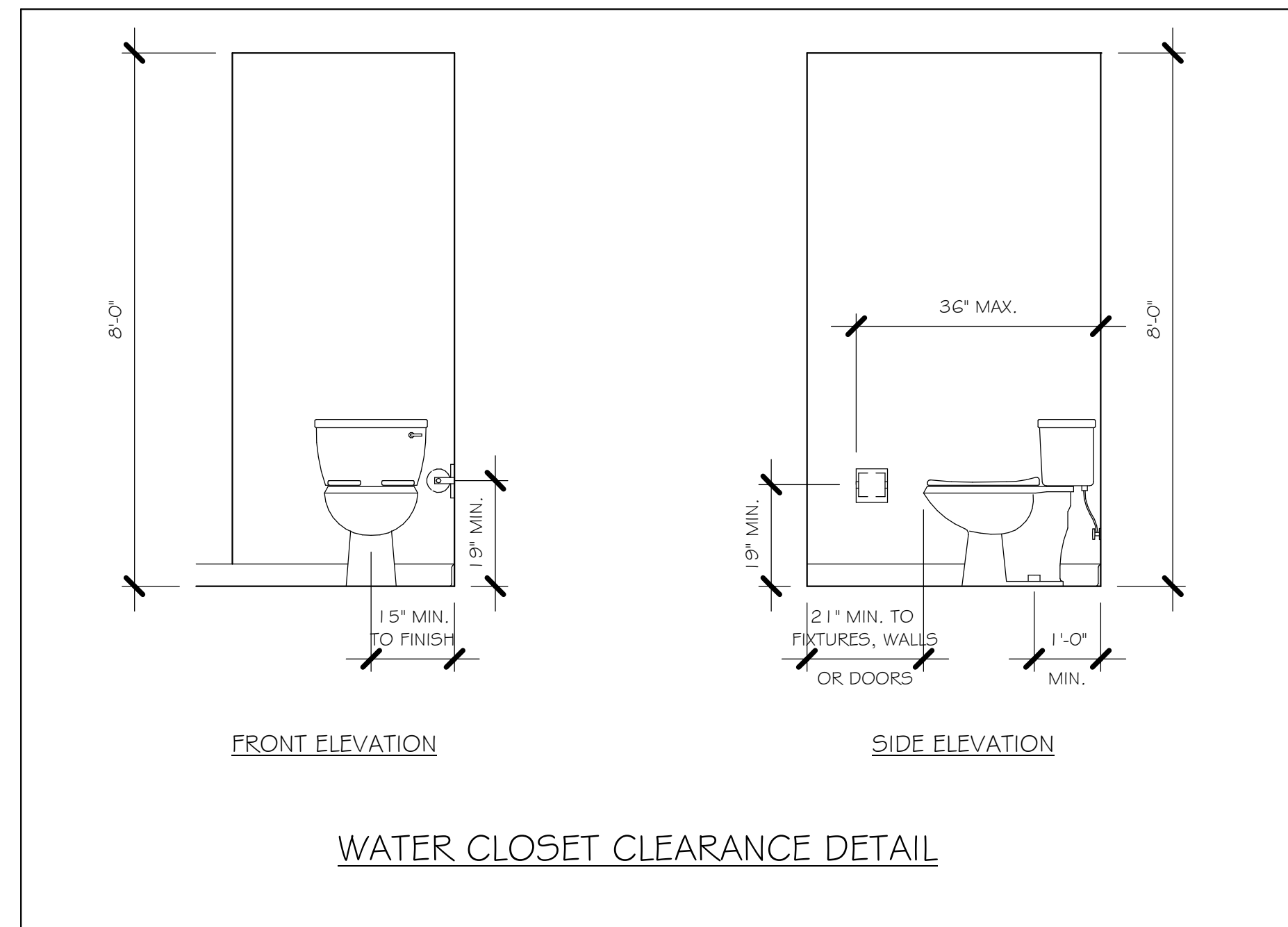




LOT: 2
SUBDIVISION: MAGNOLIA II 60's
ADDRS: 3570 AVENIDA DEL VERA
D.R.H. #: 579190002

G.C.D. 10225

A-1



SLAB & PLUMBING PLAN
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

PLAN NOTES

- 1) VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
- 2) PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
- 3) PROVIDE SAFETY GLAZING AT BATH/SHOWER PER FLORIDA BUILDING CODE R 308.4.2.
- 4) NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
- 5) PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
- 6) 2X6 KITCHEN KNEE WALL 34" TO TOP
- 7) WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" 5/8" RESISTANT PER SEC. 702.3.5
- 8) THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE 4' ATTIC BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
- 9) INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.5.1.
- 10) ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R312.2.1 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PREVENTION DEVICE
- 11) STUB OUT FOR GAS @ OUTDOOR KITCHEN, RANGE, WATER HEATER, AND DRYER. VERIFY WITH CONTRACTOR AND SUBDIV. SPECS. A SEPERATE PERMIT IS REQUIRED FOR GAS PIPING.

VINYL SHELF NOTES:

- 12) ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.

CABINET BACKING

KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

DOOR SCHEDULE

TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COMMENTS	COUNT
1	16080 OHGD	GARAGE DOOR	8'-0"	16'-0"		1
2	8080 OHGD	GARAGE DOOR	8'-0"	8'-0"		1
3	(3)-3080 SL. GL. DR.	DISTINCTION	8'-0"	9'-0"		1
4	3080 FRONT ENTRY 6 PANEL	DISTINCTION	8'-0"	3'-0"		1
5	14" SIDE LITE	DISTINCTION	8'-0"	1'-2"		1

WINDOW SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COMMENTS	COUNT
A	25 5H		5'-3"	3'-2"		3
B	2-25 5H		5'-3"	6'-4"		1
C	2-26 5H		6'-3"	6'-4"		1
D	2-35 5H		5'-3"	9'-0"		2
E	54"X18" FIXED GLASS		1'-6"	4'-6"		1



INTERIOR DOOR SCHEDULE

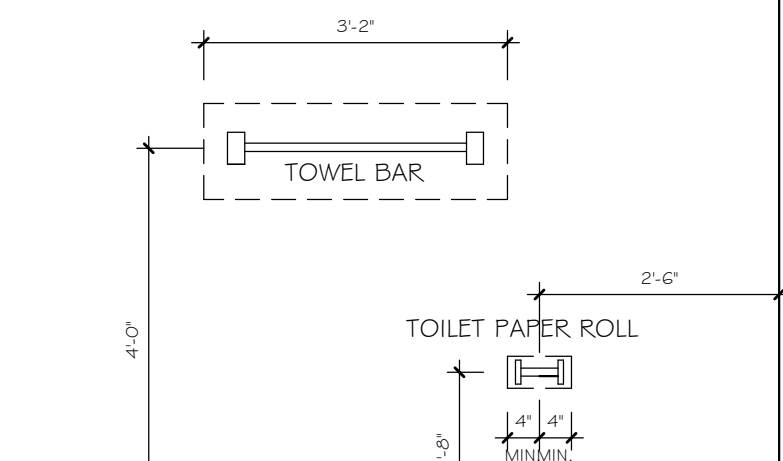
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	B.P. = BI-PASS DOOR
4	2'-4"	
5	2'-0"	L.V. = LOUVERED DOOR
6	1'-8"	
7	1'-6"	
8	2'-10"	

SQUARE FOOTAGE

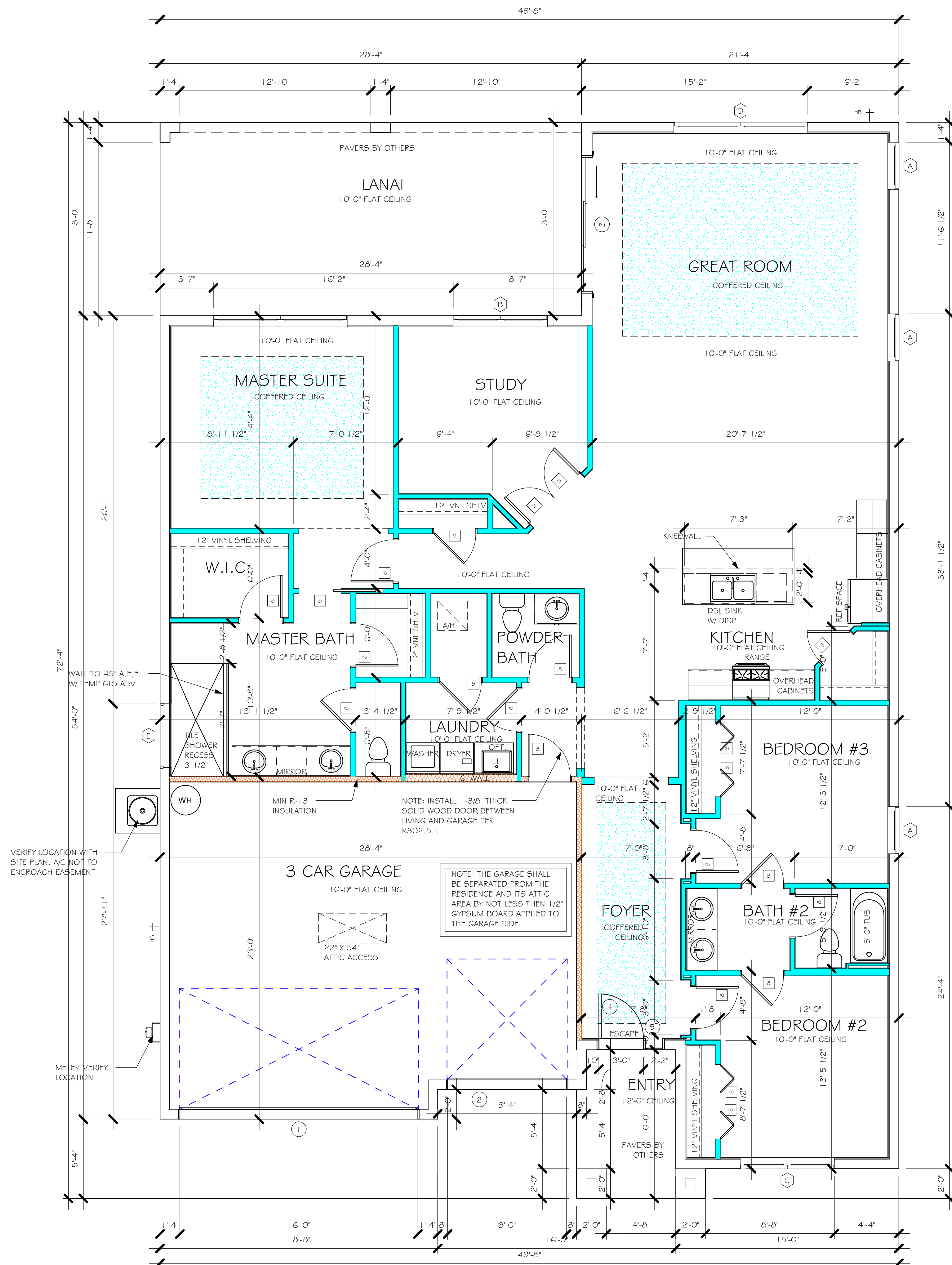
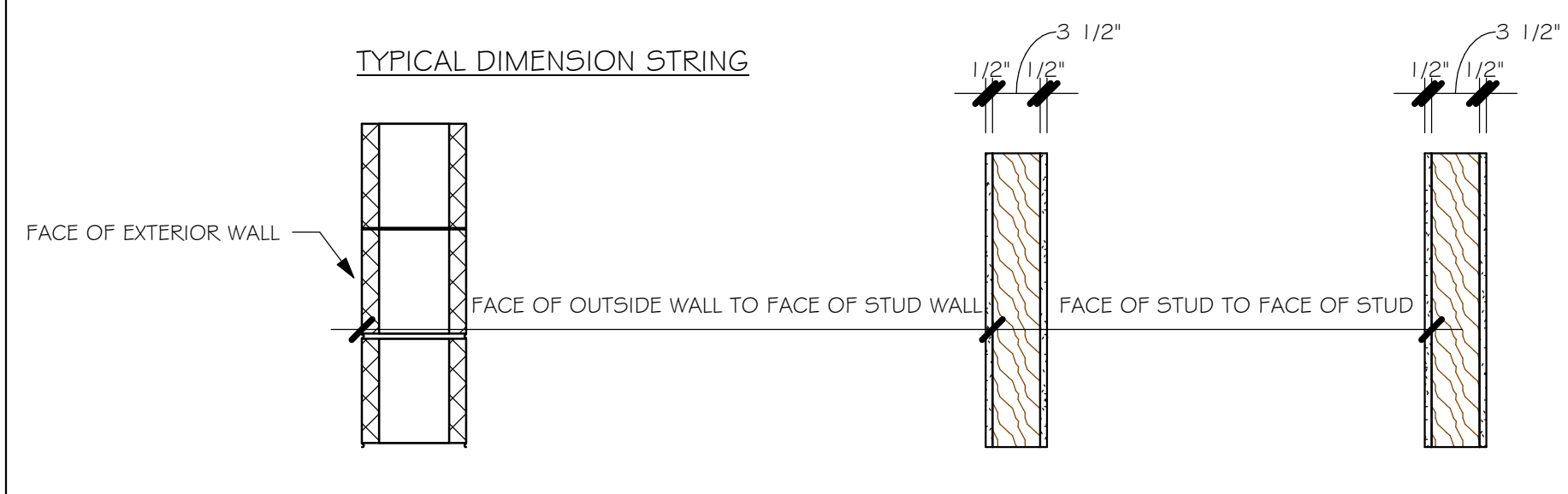
LIVING AREA	2,344
GARAGE AREA	618
LANAI AREA	368
FRONT PORCH/ ENTRY AREA	65
TOTAL SQUARE FOOTAGE	3,395

BATHROOM NOTES

 TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
 TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS



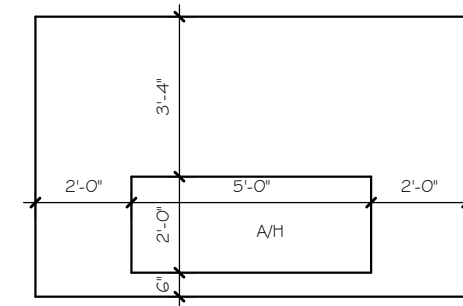
TYPICAL DIMENSION STRING




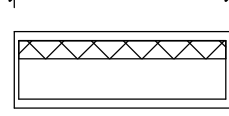
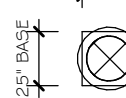

FLOOR PLAN
1/4" = 1'-0"

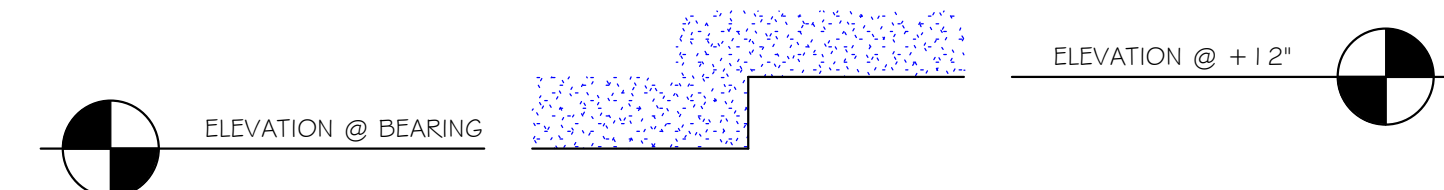
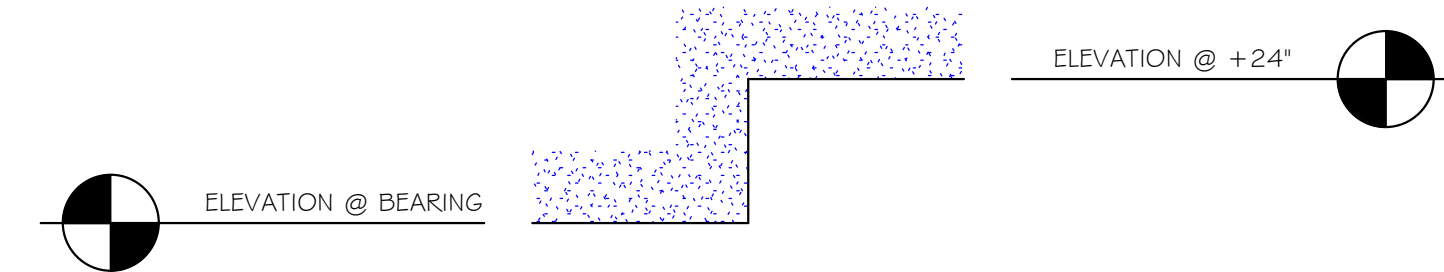
DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

AIR HANDLER DETAIL






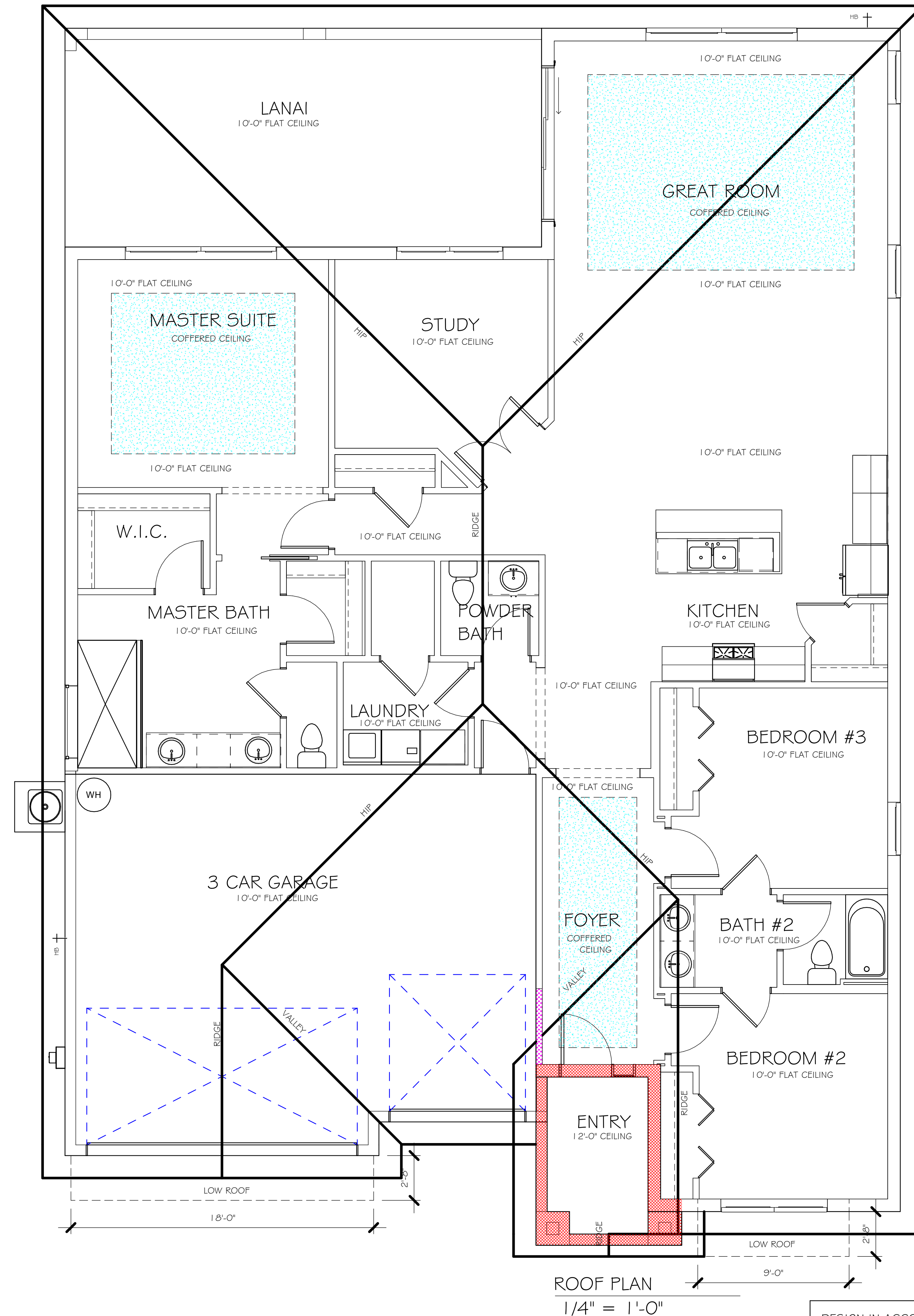
ATTIC VENTILATION

VERIFY VENTING REQUIREMENTS WITH ENERGY CALCULATIONS		WITHOUT OFF RIDGE VENTS		WITH OFF RIDGE VENTS (O.R.V.)	
ATTIC AREA (FBC R50G)		VENTILATION REQUIRED (ATTIC AREA 1/150)		VENTILATION REQUIRED (ATTIC AREA 1/300 INSTALL PER FBC R202 2 MINIMUM AREA REQUIREMENTS)	
MARK 	SQUARE FOOTAGE 2344 SQ. FT.	SOFFIT VENTS 20.90 SQ. FT.	MIN AIR FLOW OF SOFFIT 6.62 %	TOTAL VENTILATION O.R.V. NOT USED	MIN AIR FLOW OF SOFFIT
ATTIC VENTILATION CALCULATION ATTIC SQ. FT. / 150 = VENTED SQ. FT.				ATTIC VENTILATION CALCULATION ATTIC SQ. FT. / 300 = VENTED SQ. FT.	
					
OFF RIDGE EXHAUST VENT SIZES (AREA NET FREE SQUARE FEET)					



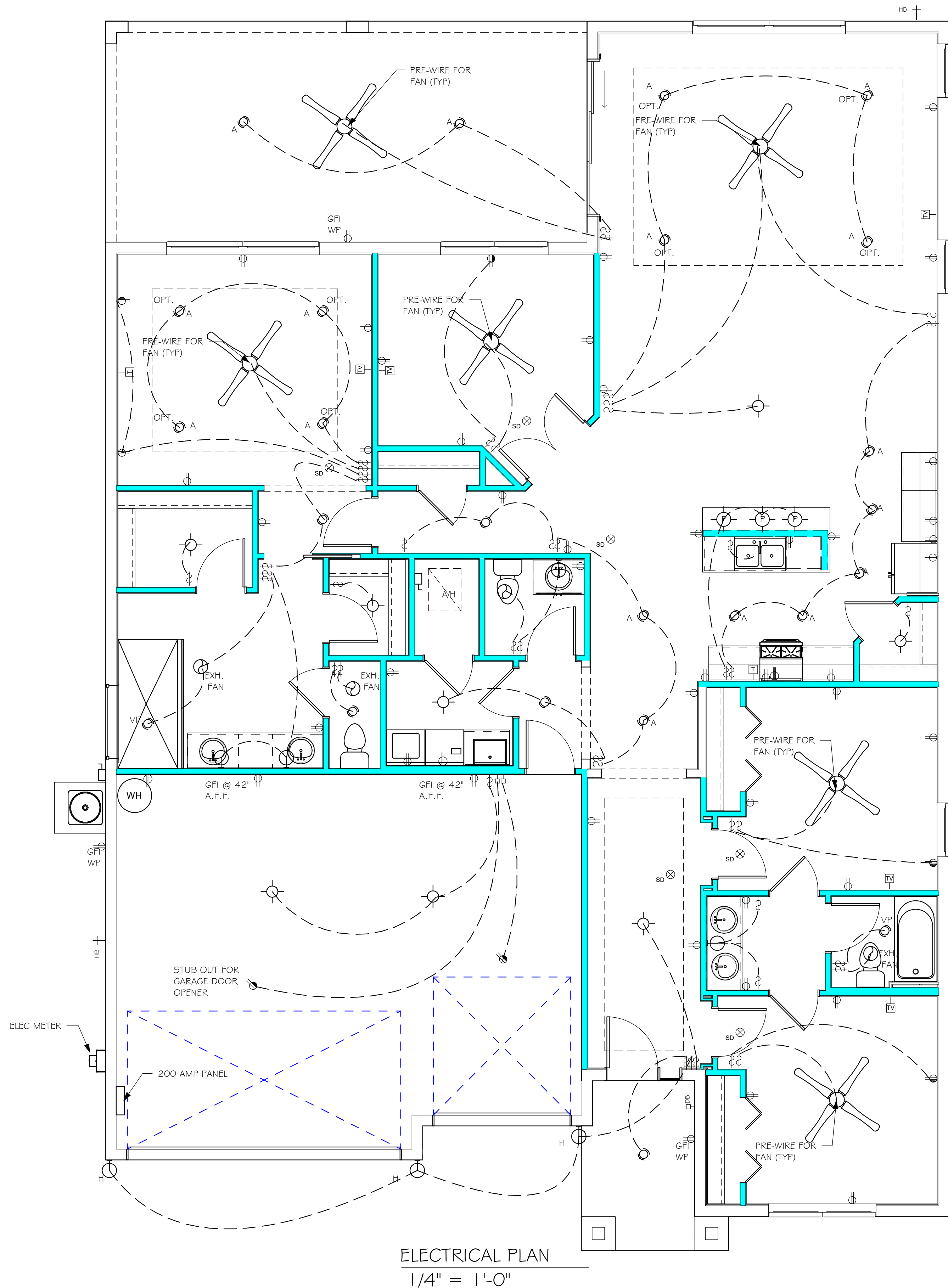
BEARING HEIGHT

	= BEARING @ 10'-0"
	= INTERIOR BEARING @ 10'-0"
	= BEARING @ 12'-0"

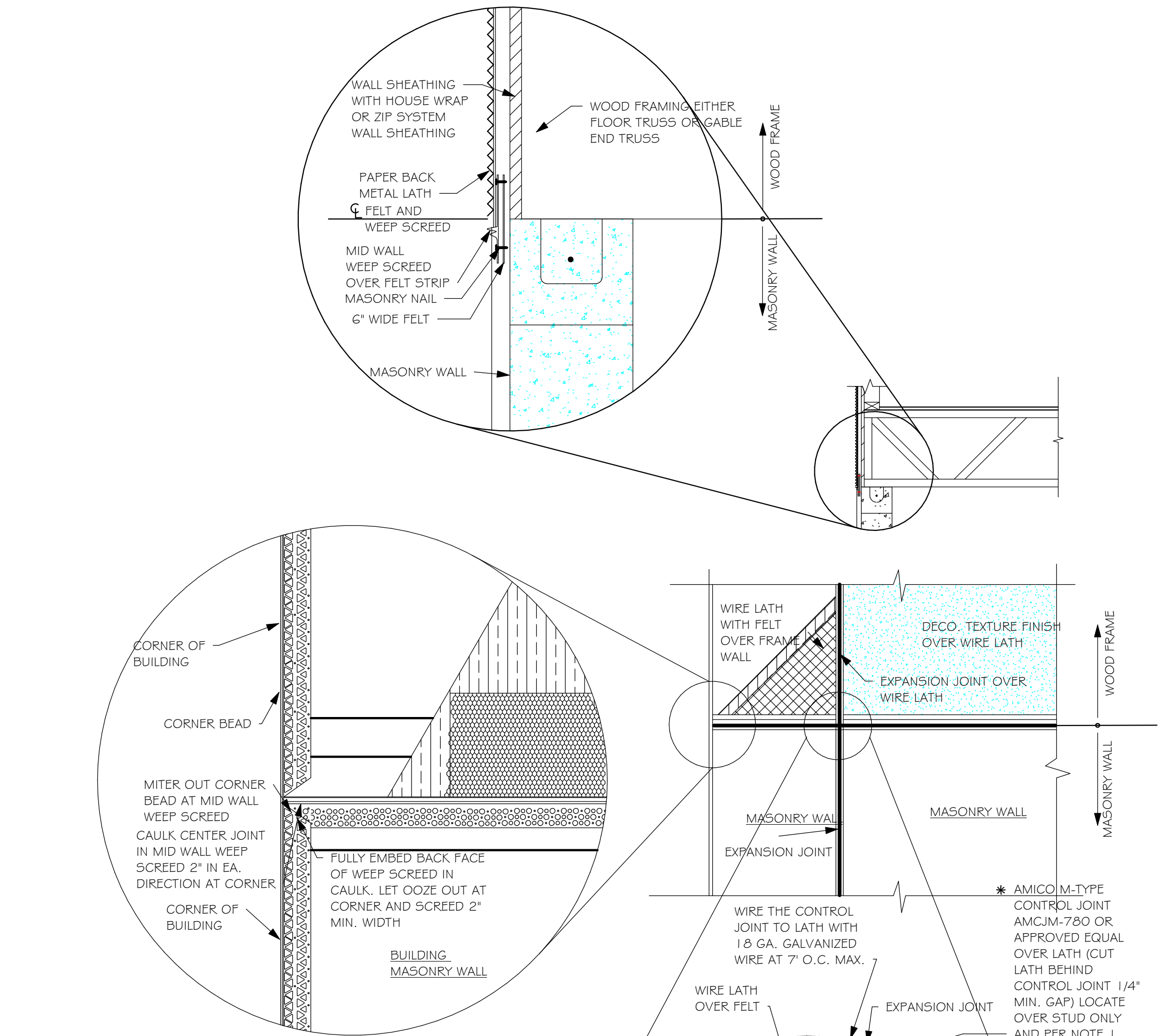


DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

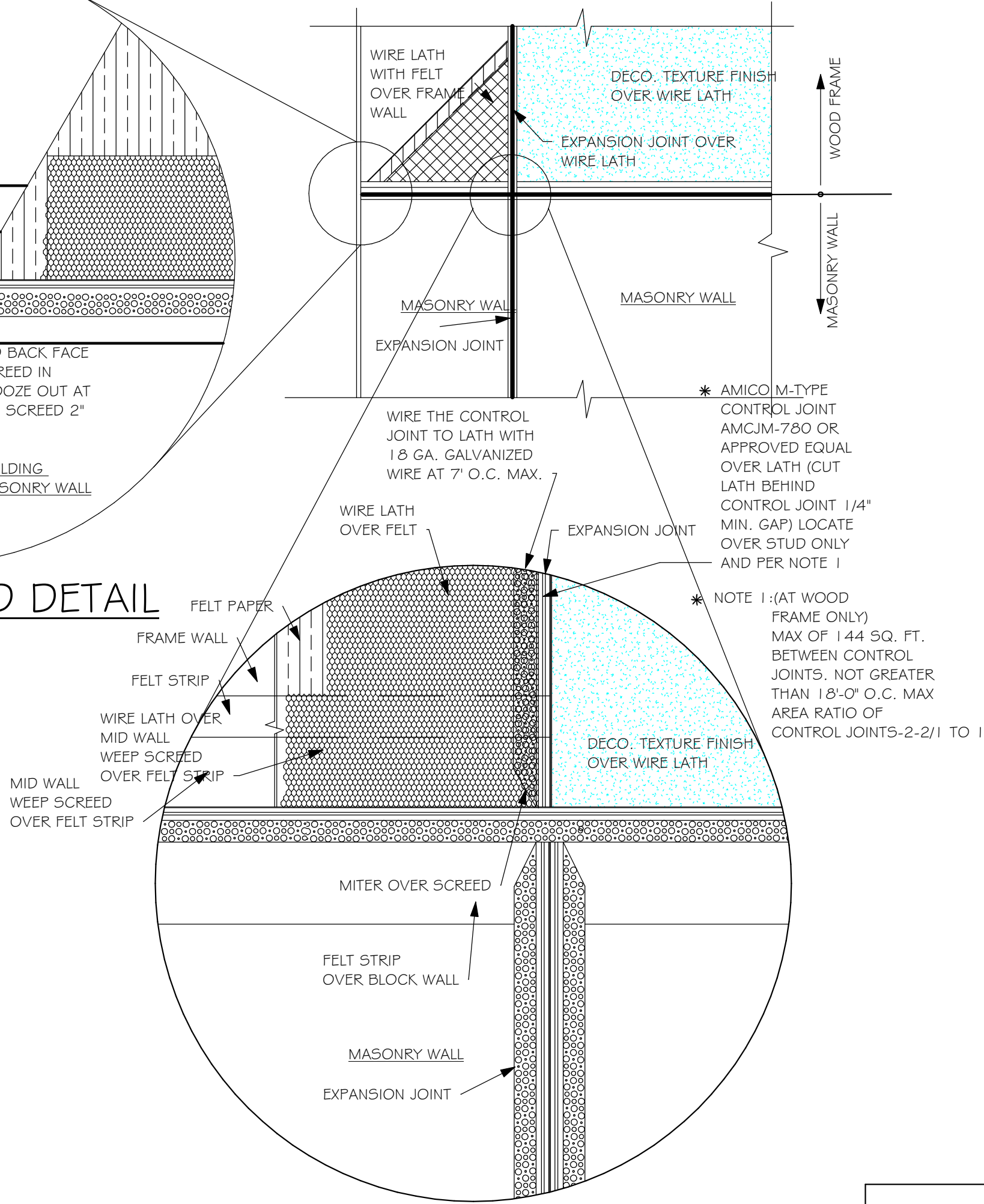
ELECTRICAL PLAN 2344 M		
200 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(37)	(RECESSED CANS)
B	(3)	(VAPORS)
C	(5)	(PENDANT LIGHT
D	(X)	(1 0" MUSHROOMS)
E	(5)	(24" 3 LT)
F	(X)	(36" 4 LT)
G	(X)	(NOT USED)
H	(3)	(COACH LIGHTS)
I	(X)	(COACH LIGHTS)
J	(1)	(J BOX)
K	(4)	(4' FLORESCENT)
L	(3)	(2' FLORESCENT)
M	(X)	(5LT GRANDELIER)
N	(X)	(3 LT.)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)



Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\MAGNOLIA 505\10225 LOT 2
2344 MLREV\10225 2344 ML.rvt

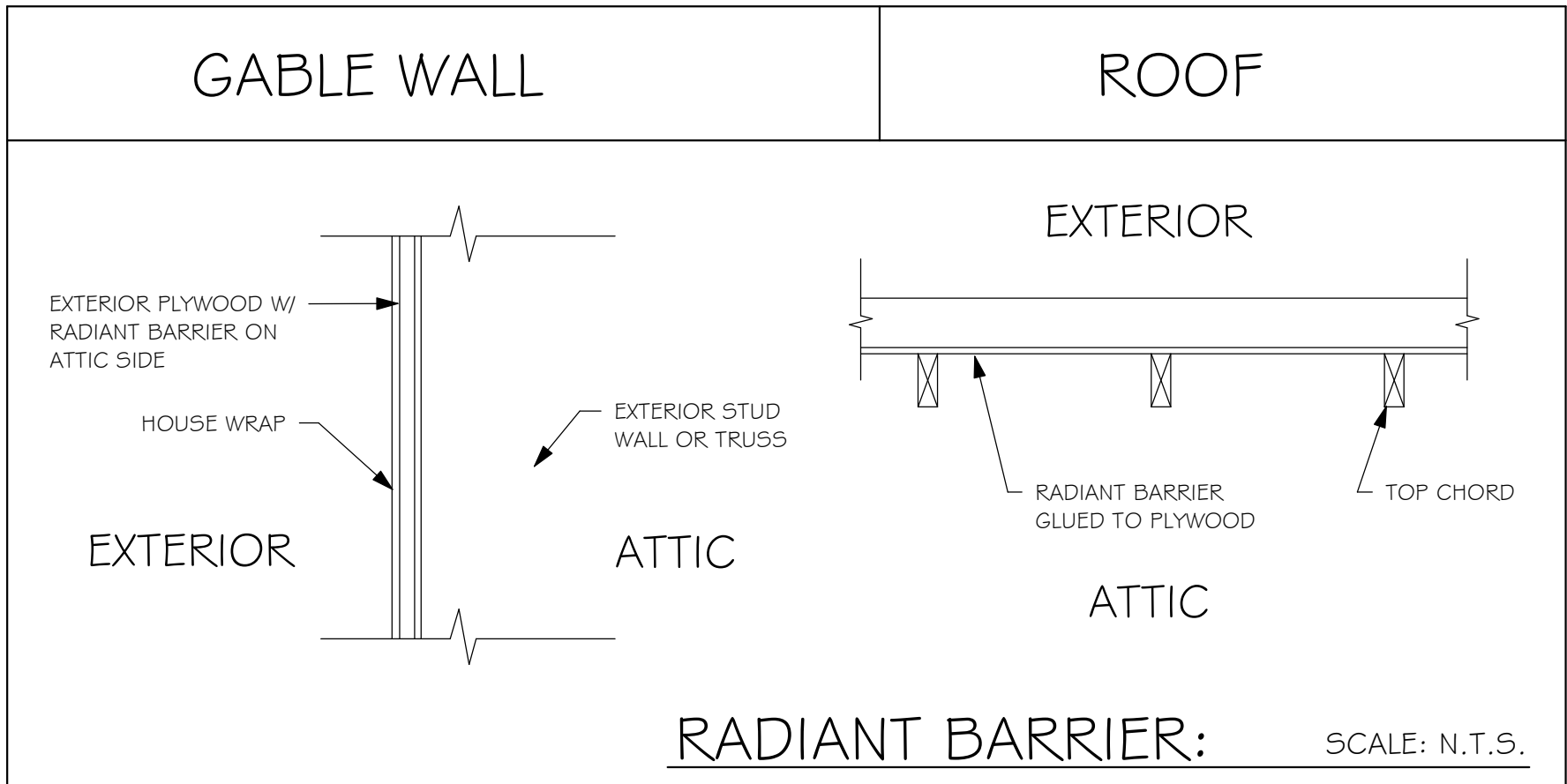


MID WALL WEEP SCREED DETAIL

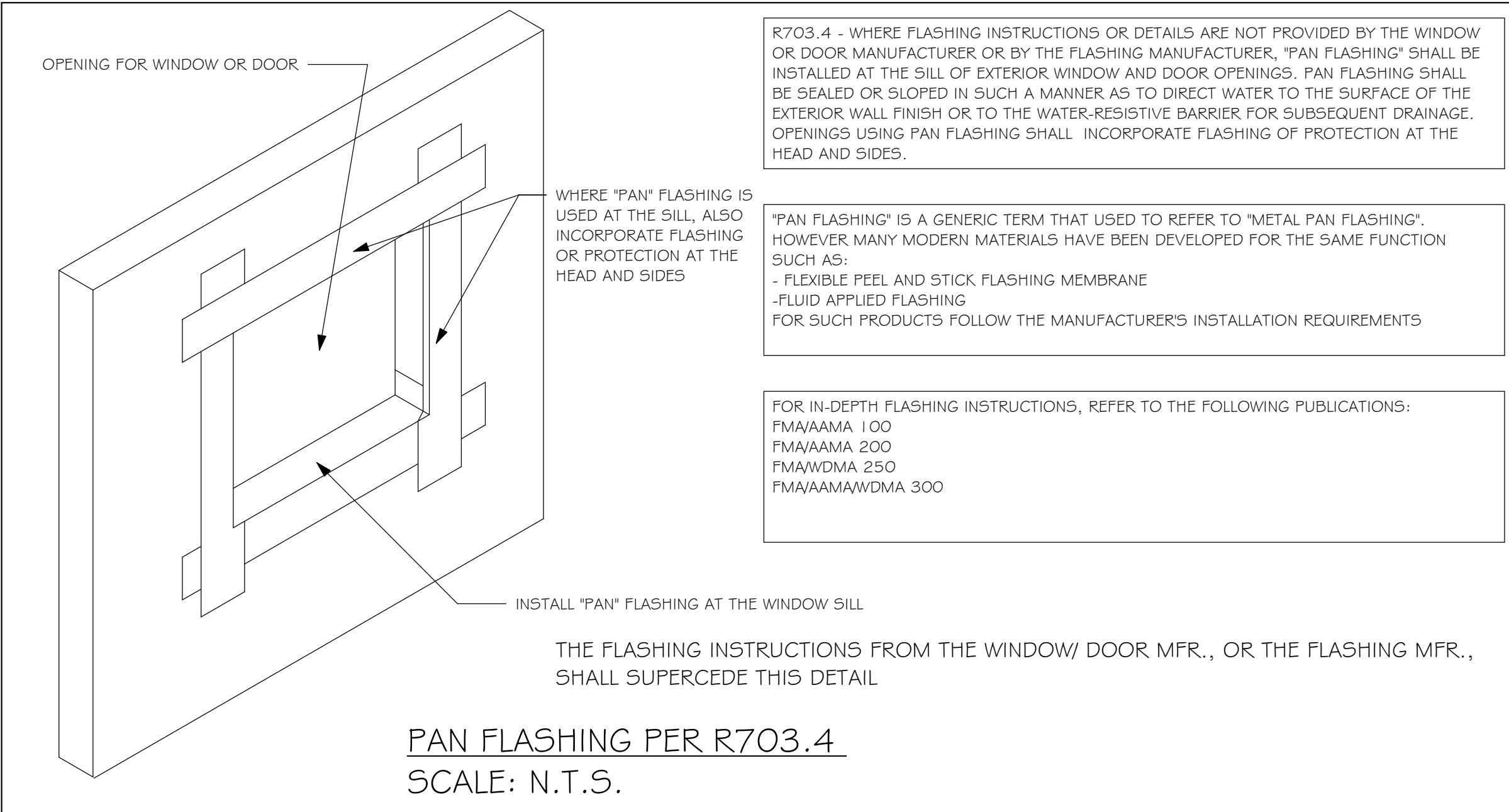


WEEP SCREED DETAIL

INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE WOOD STUD FRAMING IS ABOVE MASONRY WALLS.



NOTE: EXTERIOR WALLS ADJACENT TO ATTIC SPACE, INCLUDING KNEEWALLS AND GABLE END WALLS, MUST HAVE RADIANT BARRIER AND HOUSE WRAP.



RESIDENTIAL SPECIFICATIONS

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
4. SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
5. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
6. ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING, THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT. ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
7. TREATED WOOD REQUIREMENTS:- ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
8. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
9. CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
10. LANAI CEILINGS & COVERED ENTRY CEILINGS 1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS. 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

2

GENERAL ROOF ASSEMBLY

ROOF SHEATHING
SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL "H" CLIPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 4" O.C. EDGE AND 6" O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK NAILS PER R803.2.3.1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.

FLASHING
FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE AZ50 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURERS PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).

DRIP EDGE
DRIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS. LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". DRIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.

3

ASPHALT SHINGLE ROOF SPECS

SHINGLES

15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF 2 FASTENERS PER SHINGLE TAB, AND SHALL IN NO CASE BE FASTENED WITH LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. INSTALLATION SHALL COMPLY WITH MANUFACTURES REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.

FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 12 GAUGE (0.105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL BE A LENGTH TO PENETRATE THE SHEATHING

THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND SHALL BE CORROSION RESISTANT BY ELECTRO GALVANIZATION, MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL

4

CLAY AND CONCRETE ROOF TILE SPECS

INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE LAYER APPLICATION UNDER TILE ROOF.

THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF R905.3 F.B.C. MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURER'S IDENTIFICATION MARK.

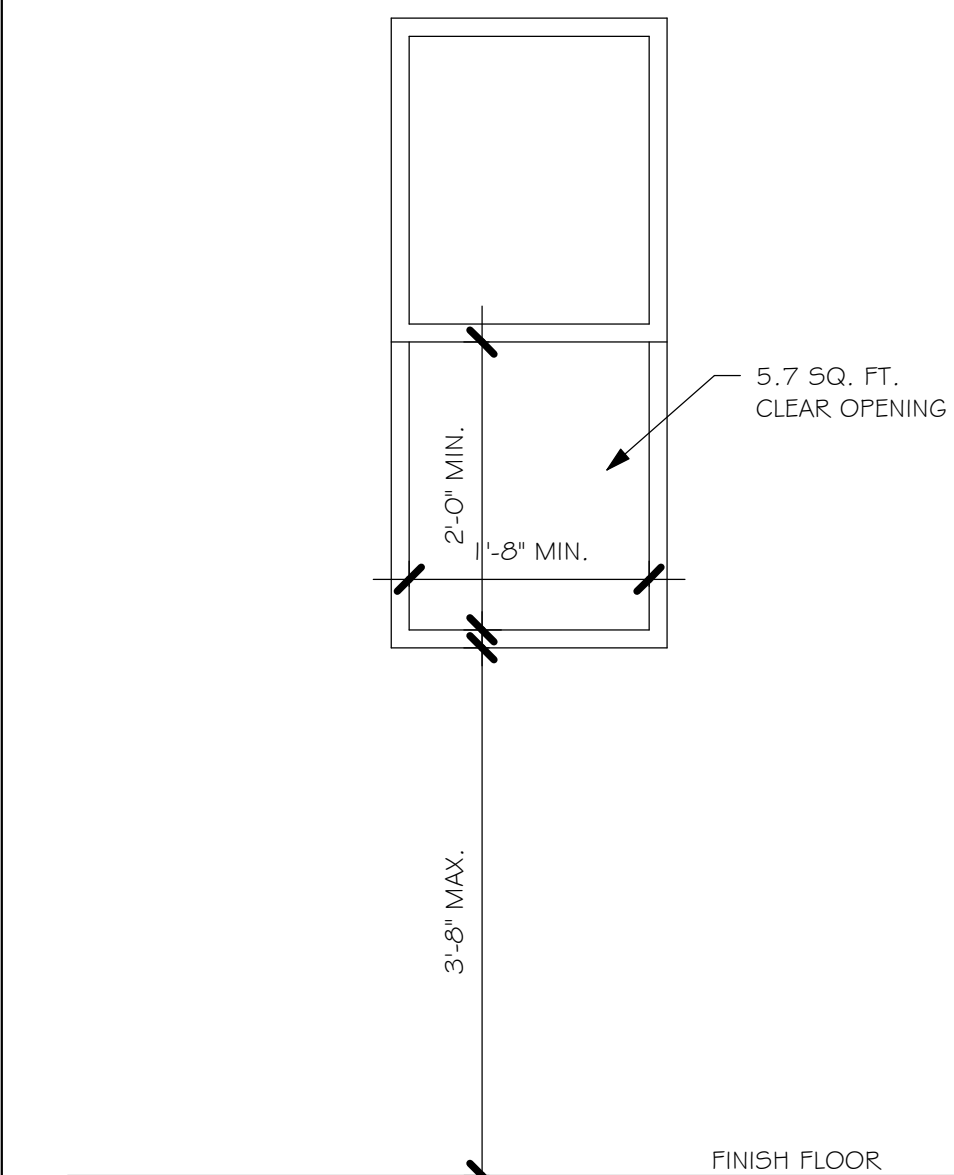
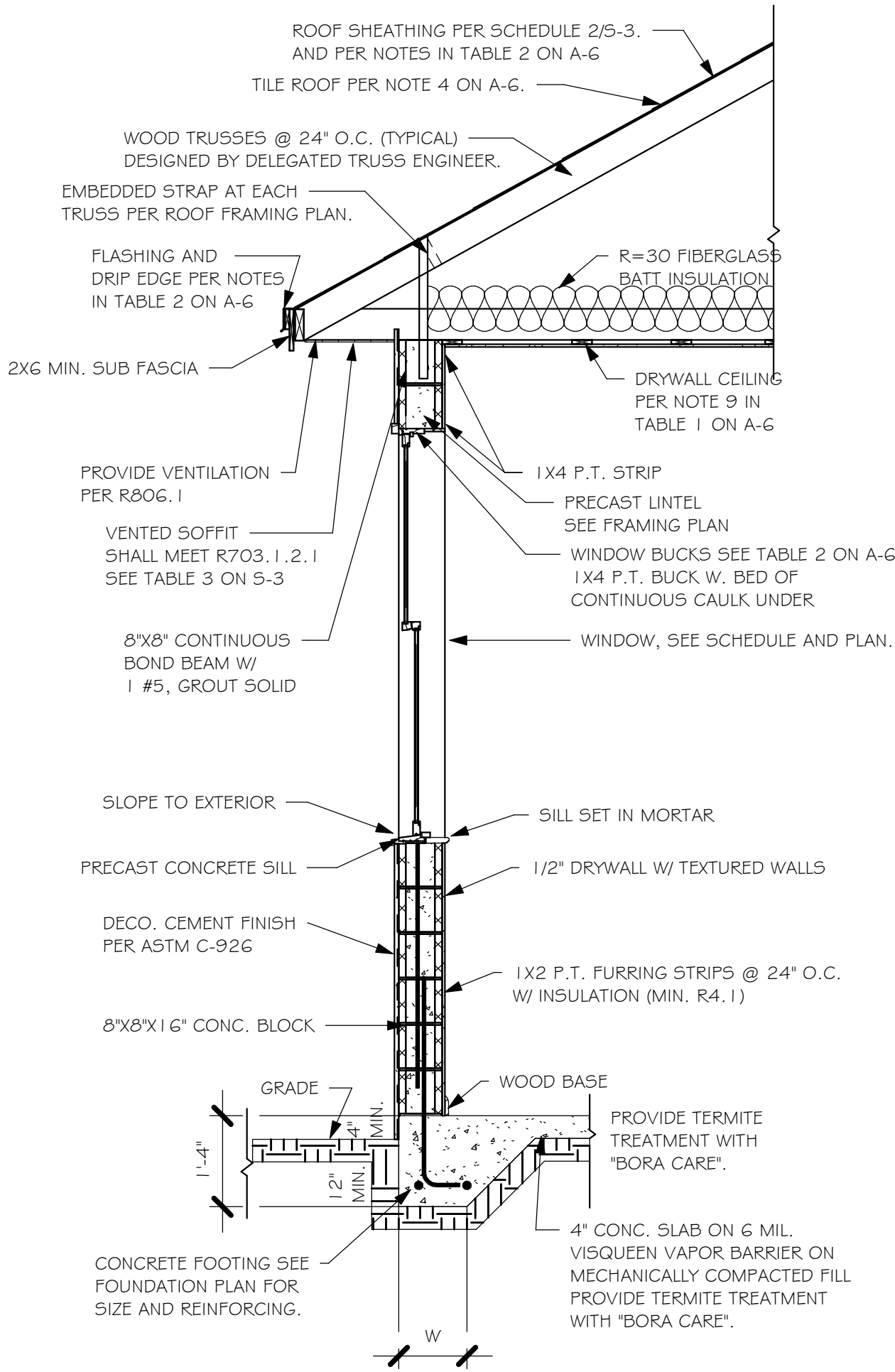
APPLICATION SPECIFICATIONS: THE TILE MANUFACTURER'S WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING:

1. TILE PLACEMENT AND SPACING,
2. ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CURRENT WIND CODE.
- A. AMOUNT AND PLACEMENT OF MORTAR
- B. AMOUNT AND PLACEMENT OF ADHESIVE
- C. TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS.
3. UNDERLAYMENT
4. SLOPE REQUIREMENT.

5

FLOOR SHEATHING AT 2ND FLOOR

A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATING 48/24 OR BETTER, GLUED AND NAILED



R310.2.1 MINIMUM OPENING AREA: ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²).

EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.5 SQUARE FEET (0.465 m²).

R310.2.1 MINIMUM OPENING HEIGHT: THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm).

R310.2.1 MINIMUM OPENING WIDTH: THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508mm).

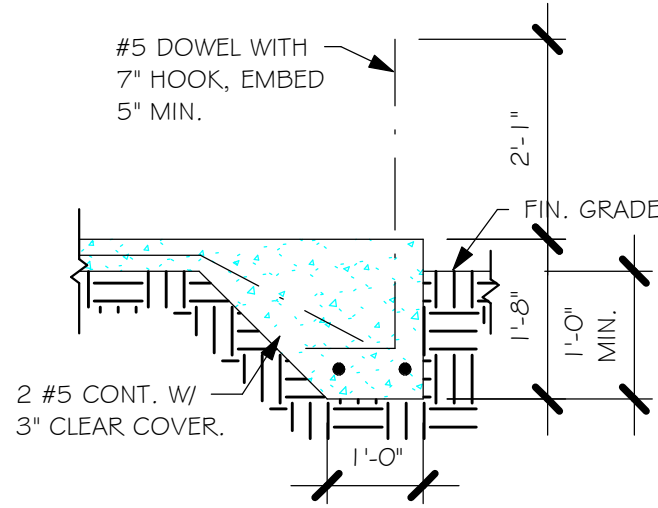
R310.1.1 OPERATIONAL CONSTRAINTS: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

R310.2.3 WINDOW WELLS: THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (0.84 m²), WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (914mm). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

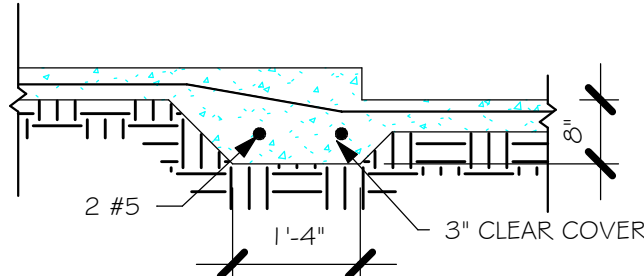
MINIMUM EGRESS WINDOW DETAIL

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

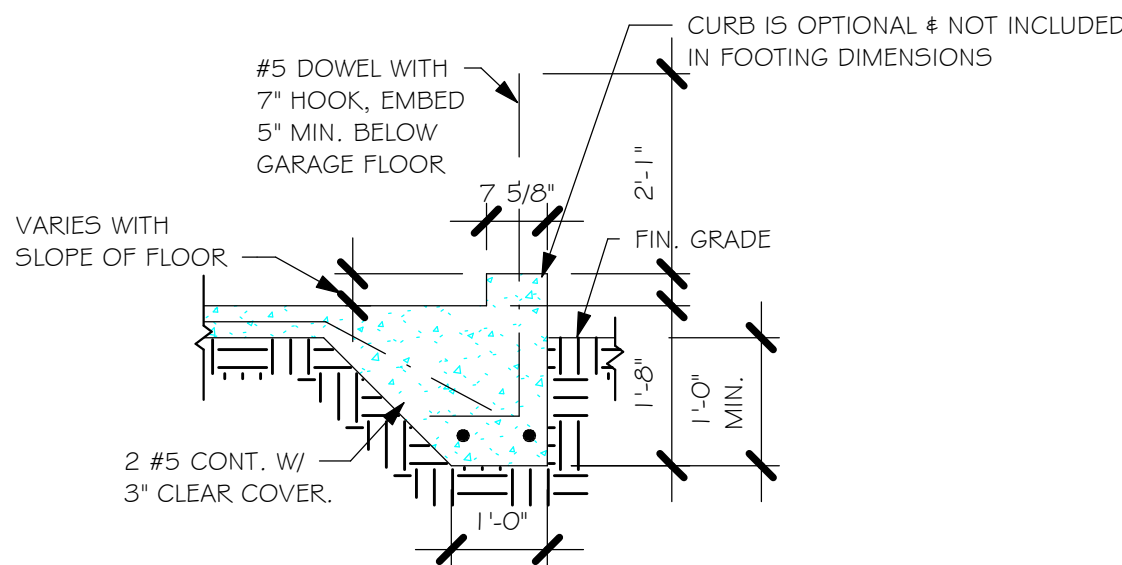
Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\MAGNOLIA 505\10225 LOT 2
2344 MLREV\10225 2344 ML.rvt



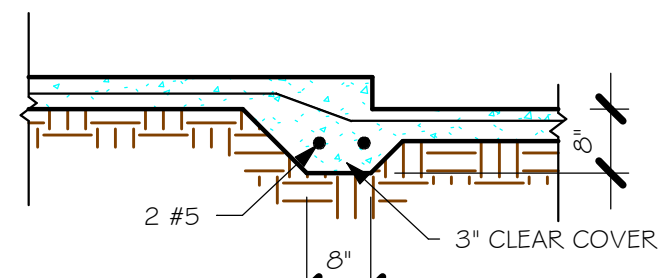
"F3" FOOTING
1/2" = 1'-0"



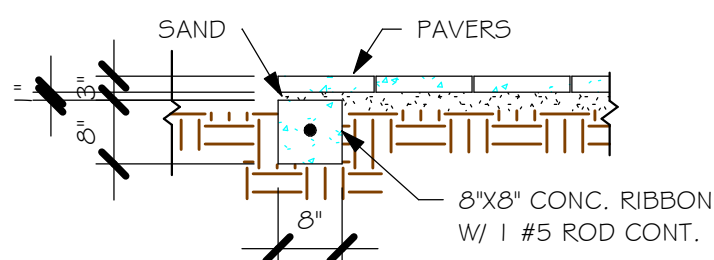
"F6" STEP DOWN
1/2" = 1'-0"



"F3" WITH CURB AT GARAGE
1/2" = 1'-0"



"F6A" STEP DOWN
1/2" = 1'-0"



"P" PAVERS DETAIL ENTRY/ LANAI
1/2" = 1'-0"

PAD FOOTING SCHEDULE						
USED	TYPE	LENGT	WIDT	DEPTH	BOTTOM REINF.	
					LONG WAY	SHORT WAY
X	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5
X	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5
X	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5
X	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5
X	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5

WALL FOOTING SCHEDULE					
USED	TYPE	LENGT	WIDT	DEPTH	BOTTOM REINFORCING
X	F1	CONT.	1'-4"	0'-8"	2-#5
X	F2	CONT.	1'-8"	0'-10"	2-#5
X	F3	CONT.	1'-0"	1'-8"	2-#5
X	F4	CONT.	1'-4"	1'-8"	2-#5
X	F5	CONT.	1'-4"	1'-0"	2-#5
X	F6	CONT.	1'-4"	1'-0"	2-#5
X	F6A	CONT.	0'-8"	0'-8"	1-#5
X	T	CONT.	0'-8"	0'-8"	1-#5

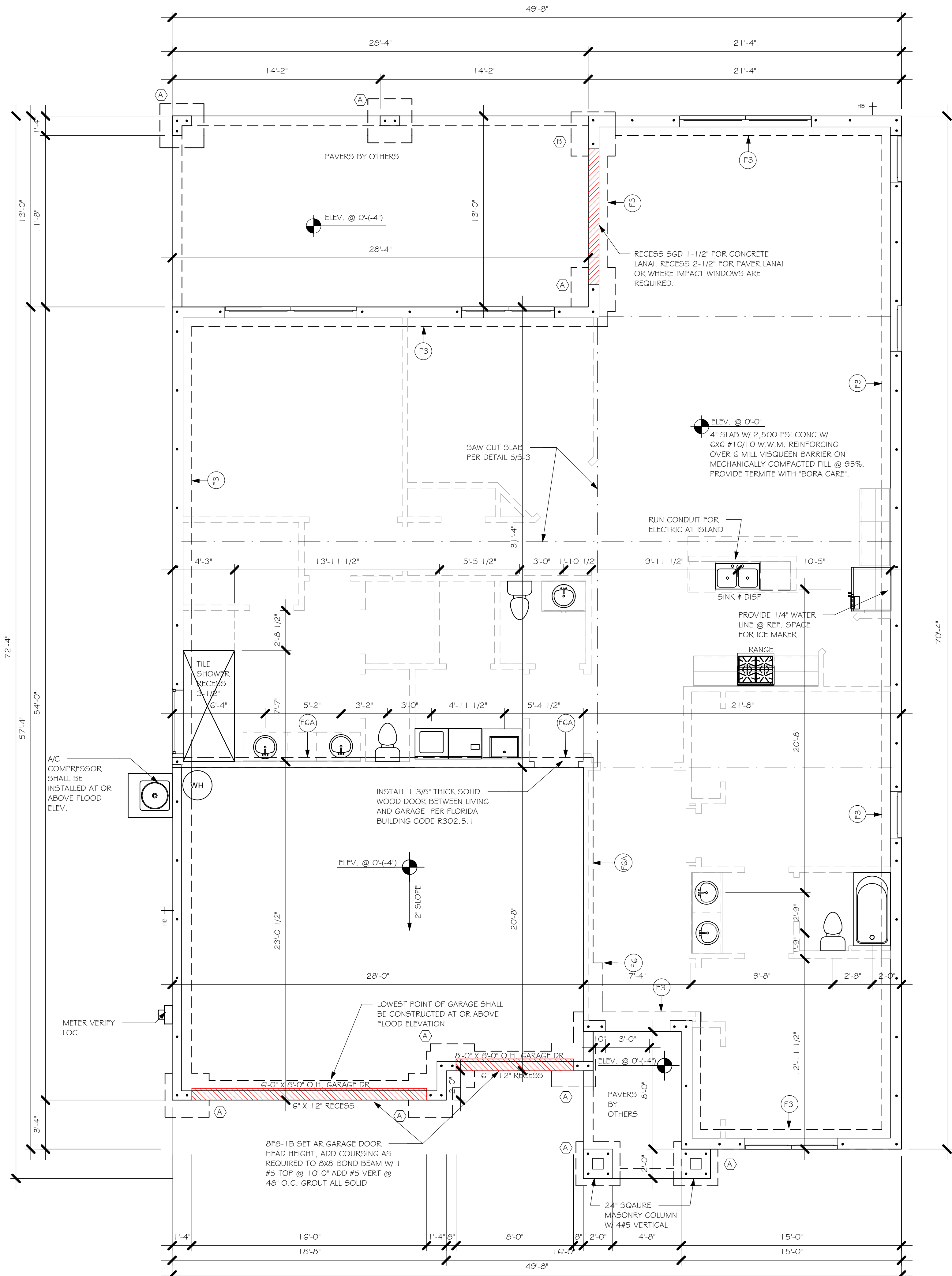
ADD CURB TO
GARAGE, SEE
DETAIL.

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

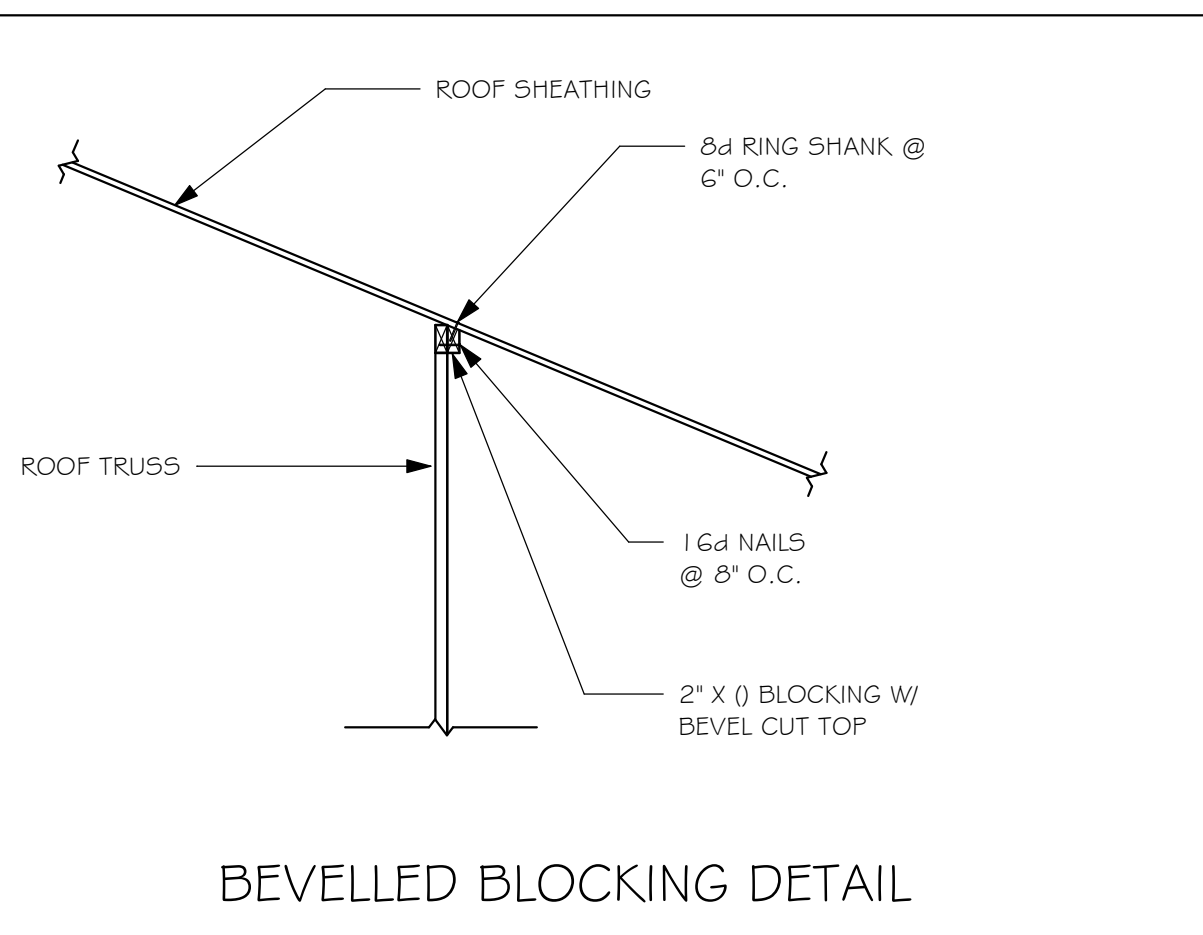
PLAN NOTES:

- TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
- "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
- "# " DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
- PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
- FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/ DOOR SUPPLIER.
- PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.






FOUNDATION PLAN
1/4" = 1'-0"

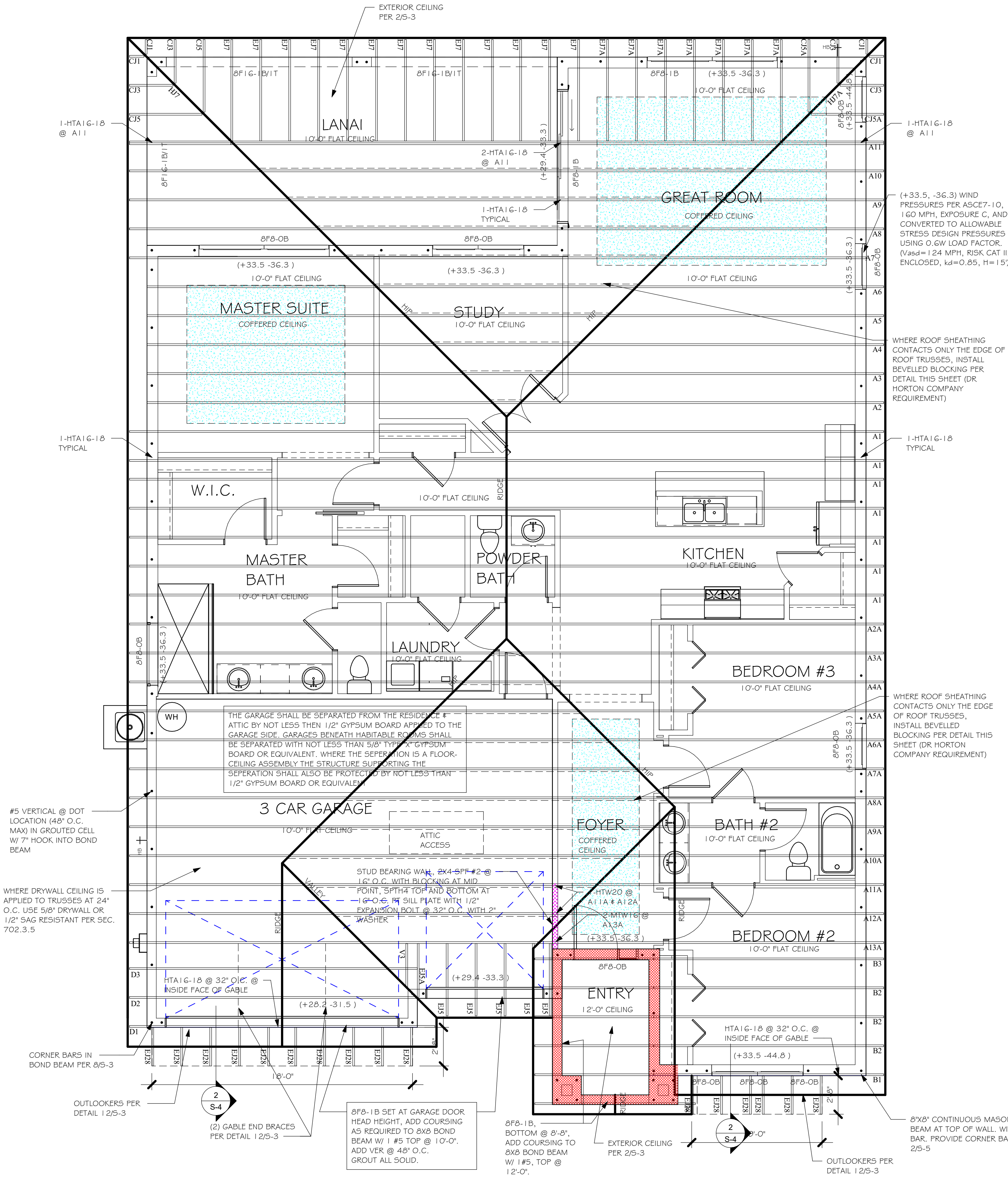
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FLORIDA BUILDING CODE 2017 - 6TH EDITION



BEARING HEIGHT

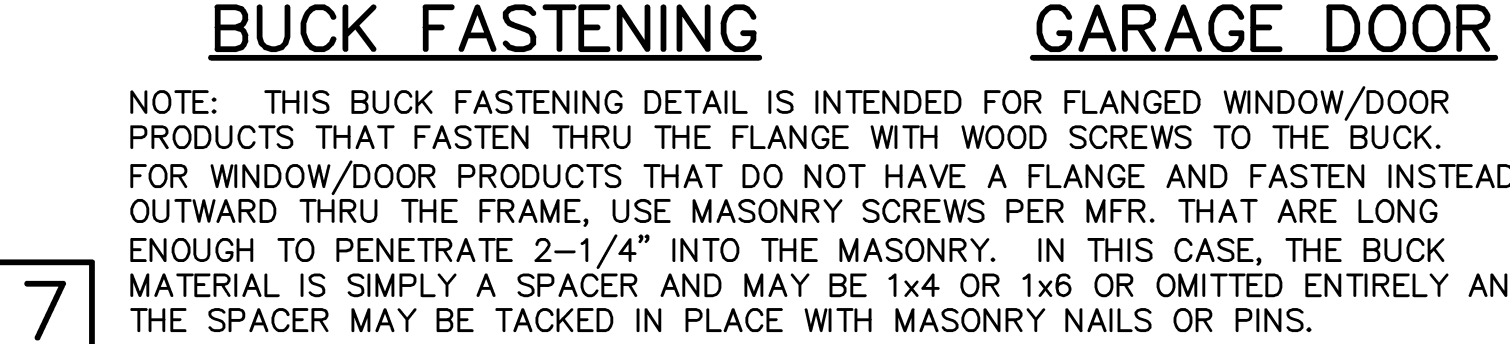
	= BEARING @ 10'-0"
	= INTERIOR BEARING @ 10'-0"
	= BEARING @ 12'-0"

TRUSS BEARING CONDITIONS AND
STRAPPING IS BASED ON TRUSS LAYOUT
PREPARED BY BUILDERS FIRST SOURCE,
JOB# MASTER, DATED: 01/10/18 REVISED:
NONE



ROOF FRAMING PLAN
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

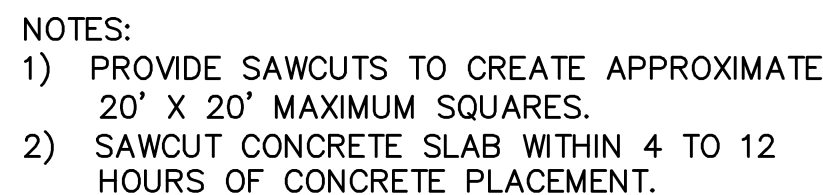


NOTES:

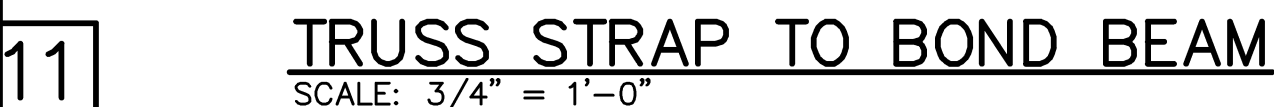
- 1) WHERE EMBEDDED STRAP IS MISSING OR MIS-LOCATED, PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.
- 2) CONNECTORS ARE USP. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS.
- 3) CONCRETE SCREW SHALL BE WEDGE-BOLT+, TITEN, TAPCON OR EQUIVALENT.

10 RETROFIT UPLIFT CONNECTOR SCHEDULE

NOTE: EXTERIOR CEILINGS AND SOFFITS 1) AND 2) SPECIFIED
HERE MEET THE DESIGN WIND PRESSURES PER R703.1.2.1.



SLAB SAWCUT DETAIL



STEP FOOTING SCALE: NTS

[illegible]

STRUCTURAL ENGINEERING:
STRUCTURAL
SYSTEMS
OF NORTH FLORIDA
1634 S.E. 47th STREET, SUITE #3
CAPE CORAL, FL 33904
(239) 549-4554
CA# 8829

DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL

BUILDER:

STRUCTURAL DETAILS
MODEL 2344 M
3570 AVENIDA DEL VERA
LEE COUNTY, FLORIDA
LOT: 2 SUBDIVISION: MAGNOLIA LANDING

DESIGN/DRAWN DWB/GH
CHECKED DWB
DATE 06/05/18
SCALE VARIES
JOB NO. DR10225
SHEET

S-3

SHEET 3 OF 4


[illegible]

STRUCTURAL ENGINEERING:

**STRUCTURAL
SYSTEMS**
OF NORTH FLORIDA

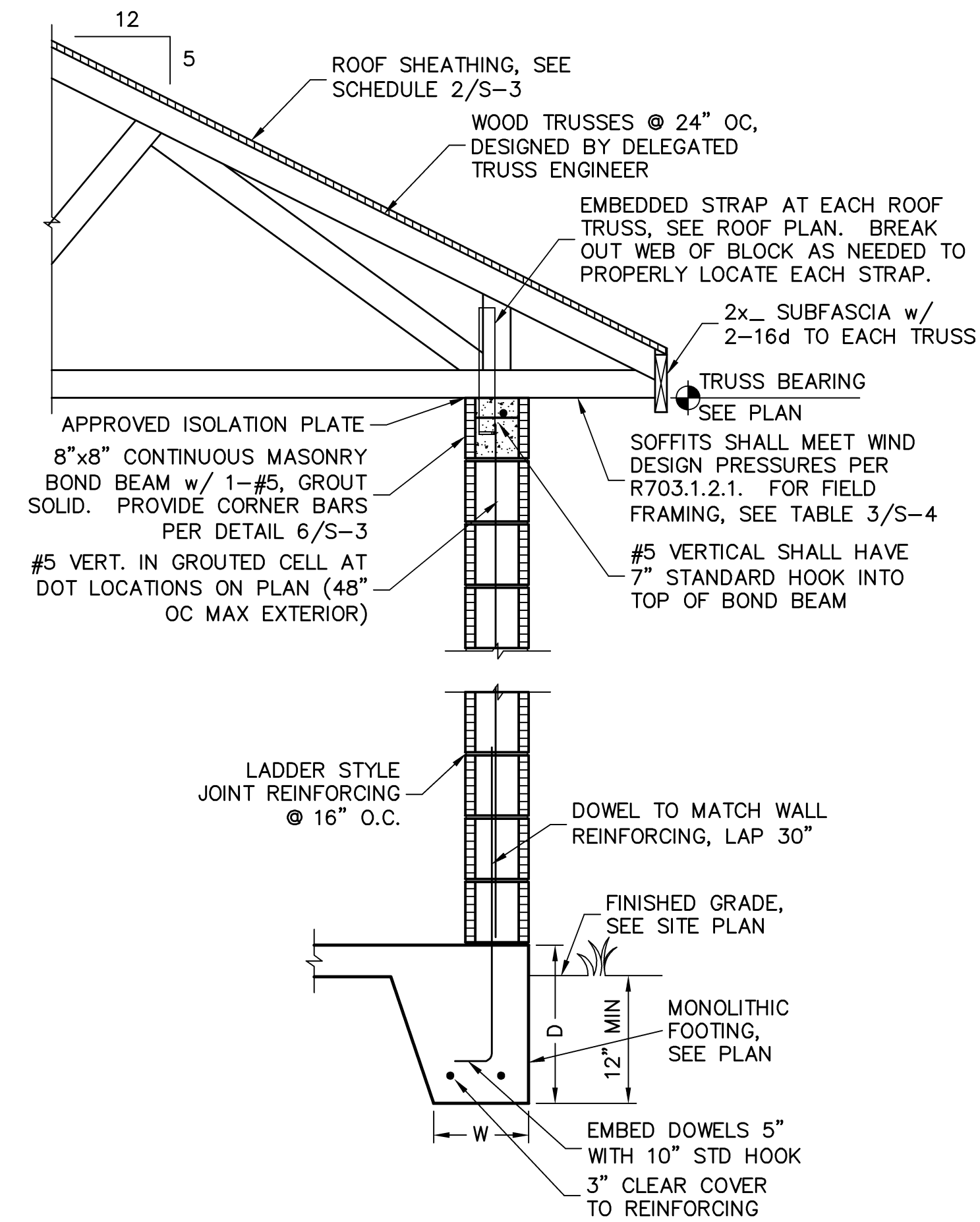
1634 S.E. 47th STREET, SUITE #3
CAPE CORAL, FL 33904
(239) 549-4554

CA # 8829

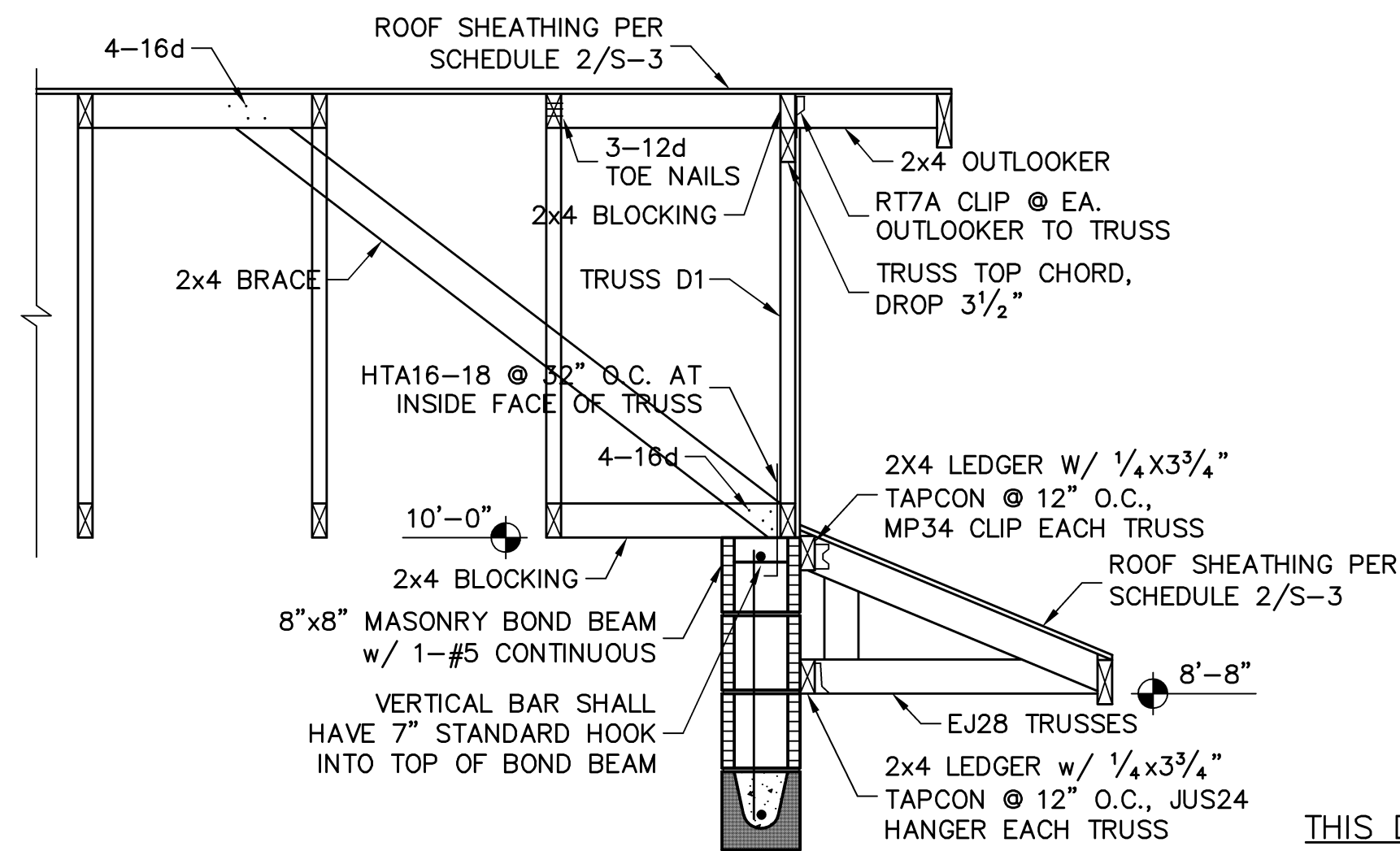
BUILDER:	 D·R·HORTON · RMI <i>America's Builder</i>
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STRUCTURAL DETAILS
MODEL 2344 M

DESIGN/DRAWN DWB/GH
CHECKED DWB
DATE 06/05/18
SCALE VARIES
JOB NO. DR10225
SHEET S-4
SHEET 4 OF 4



1 FULL HEIGHT WALL SECTION
SCALE: $\frac{3}{4}" = 1'-0"$



THIS DETAIL
ONLY USED FOR
ELEVATION M

2 GARAGE OUTLOOKER, GABLE BRACE AND LOW ROOF DETAIL

SCALE: $\frac{3}{4}" = 1'-0"$

FOR BUILDERS FIRST SOURCE TRUSSES, 160 MPH, EXPOSURE C, ELEVATION M, JOB # MASTER, DATED: 01/10/18, REVISED: NONE

DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL