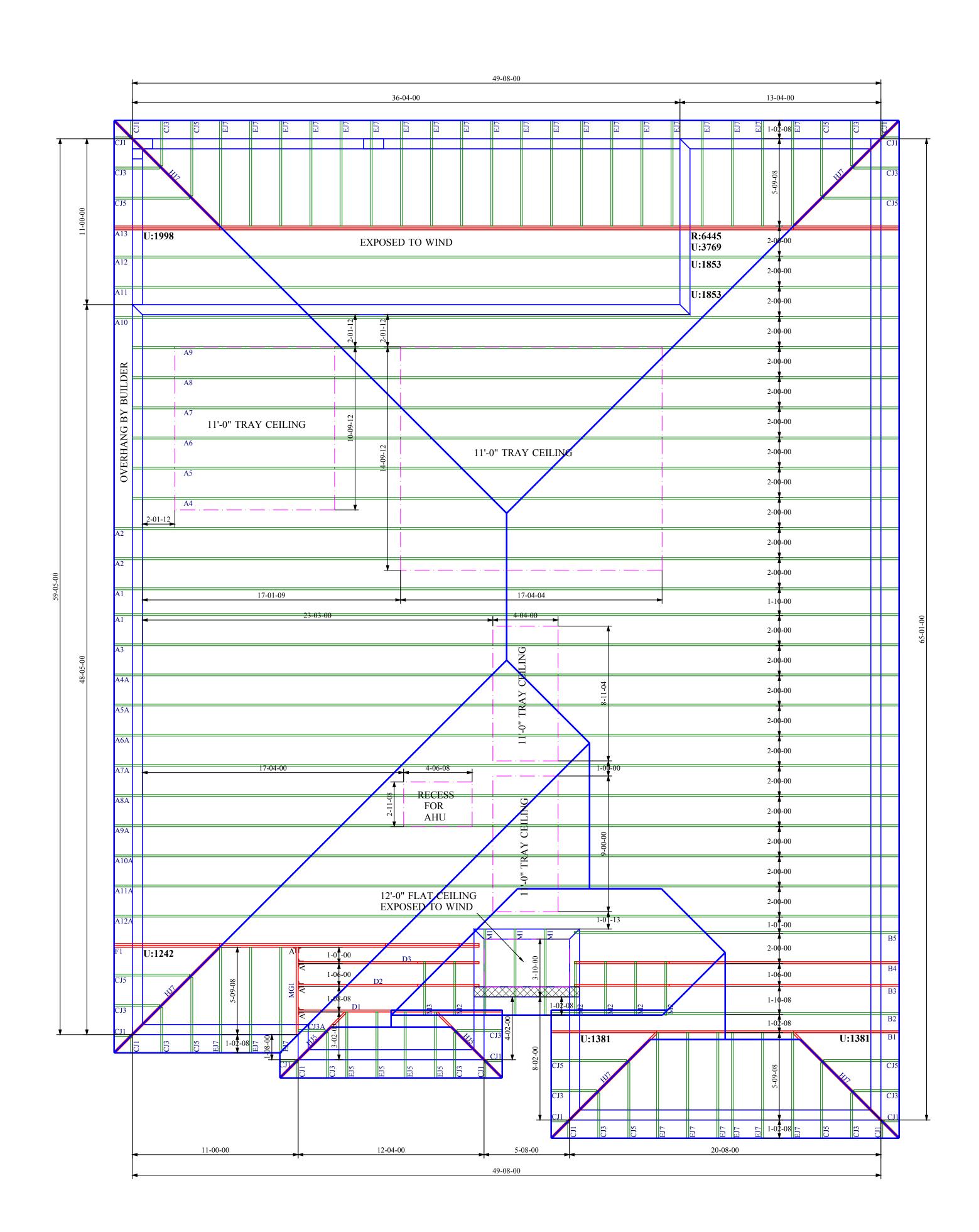
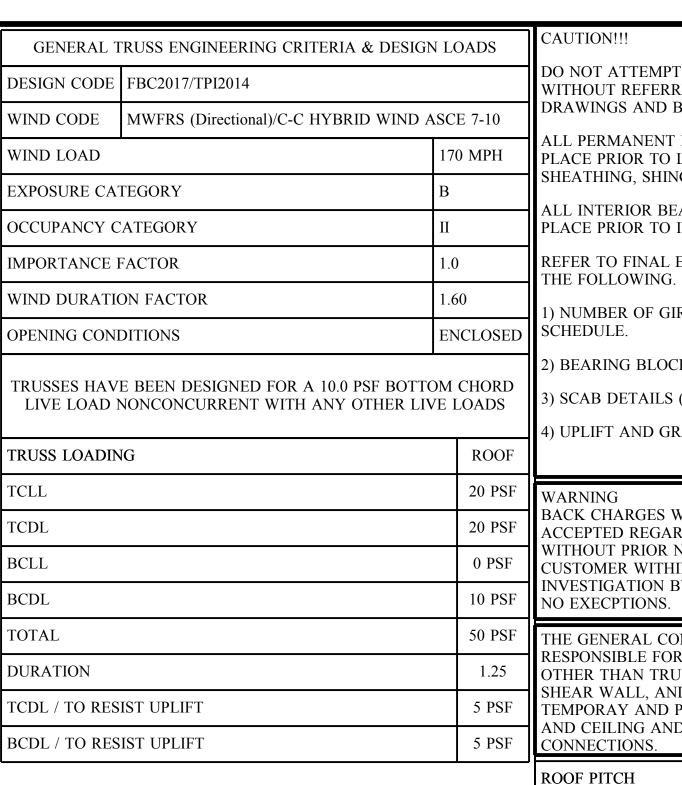
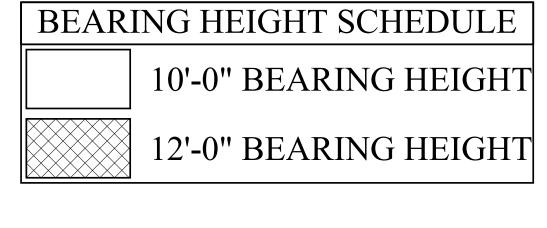
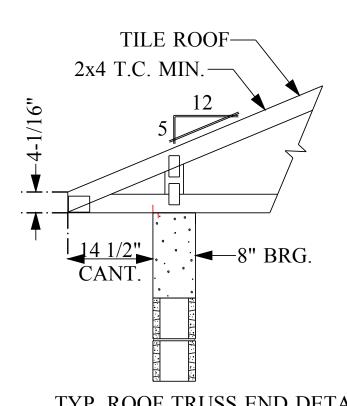
| JOB No. | MASTER | |
|--------------|-----------|--|
| DATE DRAWN | 3/27/2018 | |
| DATE PRINTED | 3/27/2018 | |









TYP. ROOF TRUSS END DETAIL

USP ROOF AND FLOOR TRUSS HANGER SCHEDULE | ID | QTY/RF | QTY/FL | MODEL FLOOR UPLIFT 490 THD26 3200 / 3600 | 1250 / 1555 THD28 3820 3895 / 4680 | 1235 / 2140 THD26-2 3600 1515 / 2175 0 THD28-2 3820 4310 / 4680 | 1530 / 3485 5320 THDH26-2 4355 2155 3235 7460 THDH28-2 THDH26-3 4355 5230 2155 H 0 7460 7460 3235 THDH28-3 I 0 0 THDH6710 9100 4095 765 | J | 0 | 01055 K 0 0 765 865 1055 1250 1440 1760 1250 1760 1440 N 0 0 2680 3265 960 $\angle > N$ ___ O 2385 1840 0 HJC26 2980 P N/A J ∟ P 2790 3410 1550 MSH422 1855 JLQ Q N/A 0 2245 2245 R N/A 2245 1855 $\rfloor \mid R$ MSH422IF S N/A 0 JLS

NOTE: UPLIFT VALUE FOR THA422, THAC422, THA426 HANGERS APPLY ONLY TO FACE MOUNT ISTALATION

- 1) ALL DIMENSIONS ARE FEET-INCHES-SIXTEENTHS.
- 2) DO NOT CUT OR ALTER TRUSSES IN ANY WAY.
- 3) ALL REACTIONS ARE UNDER 5000 LBS. UNLESS NOTE OTHERWISE. 4) ALL UPLIFTS ARE UNDER 1000 LBS. UNLESS NOTED OTHERWISE.
- 5) FRAMING REQUIRED BELOW TRUSSES TO GET DESIRED CEILING CONDITIONS. 6) ONLY TRUSS TO TRUSS CONNECTIONS SUPPLIED W/ TRUSS PACKAGE.

- CAUTION!!! DO NOT ATTEMPT TO ERECT TRUSSES WITHOUT REFERRING TO THE ENGINEERING DRAWINGS AND BSCI-B1 SUMMARY SHEETS. ALL PERMANENT BRACING MUST BE IN
 - PLACE PRIOR TO LOADING TRUSSES. (ie. SHEATHING, SHINGLES, ETC.) ALL INTERIOR BEARING WALLS MUST BE IN
 - PLACE PRIOR TO INSTALLING TRUSSES. REFER TO FINAL ENGINEERING SHEETS FOR
 - 1) NUMBER OF GIRDER PLIES AND NAILING
 - 2) BEARING BLOCK REQUIREMENTS.
 - 3) SCAB DETAILS (IF REQUIRED)
 - 4) UPLIFT AND GRAVITY REACTIONS.

| WARNING |
|-------------------------------|
| BACK CHARGES WILL NOT BE |
| ACCEPTED REGARDLESS OF FAULT |
| WITHOUT PRIOR NOTIFICATION BY |
| CUSTOMER WITHIN 48 HOURS AND |
| INVESTIGATION BY PROBUILD. |
| NO EXECPTIONS. |

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS OTHER THAN TRUSS TO TRUSS, GABLE SHEAR WALL, AND CONNECTIONS. TEMPORAY AND PERMANENT BRACING, AND CEILING AND ROOF DIAPHRAM CONNECTIONS.

| ROOF PITCH | 5/12 |
|---------------------|------------|
| CEILING PITCH | FLAT |
| TOP CHORD SIZE | 2 x 4 MIN. |
| BOTTOM CHORD SIZE | 2 x 4 MIN. |
| OVERHANG LENGTH | N/A |
| CANTILEVER | 14 1/2" |
| END CUT | PLUMB |
| FLOOR TRUSS SPACING | N/A |
| ROOF TRUSS SPACING | 24" |
| | |

| BUILDER | DR Horton |
|-------------|---------------------|
| PROJECT | 2256 E 170 EXP B RH |
| MODEL | 2256 |
| ADDRESS | |
| CITY, STATE | , FL. |
| LOT | |
| COUNTY | |
| DRAWN BY | D.W. |
| ENG. BY | D.W. |

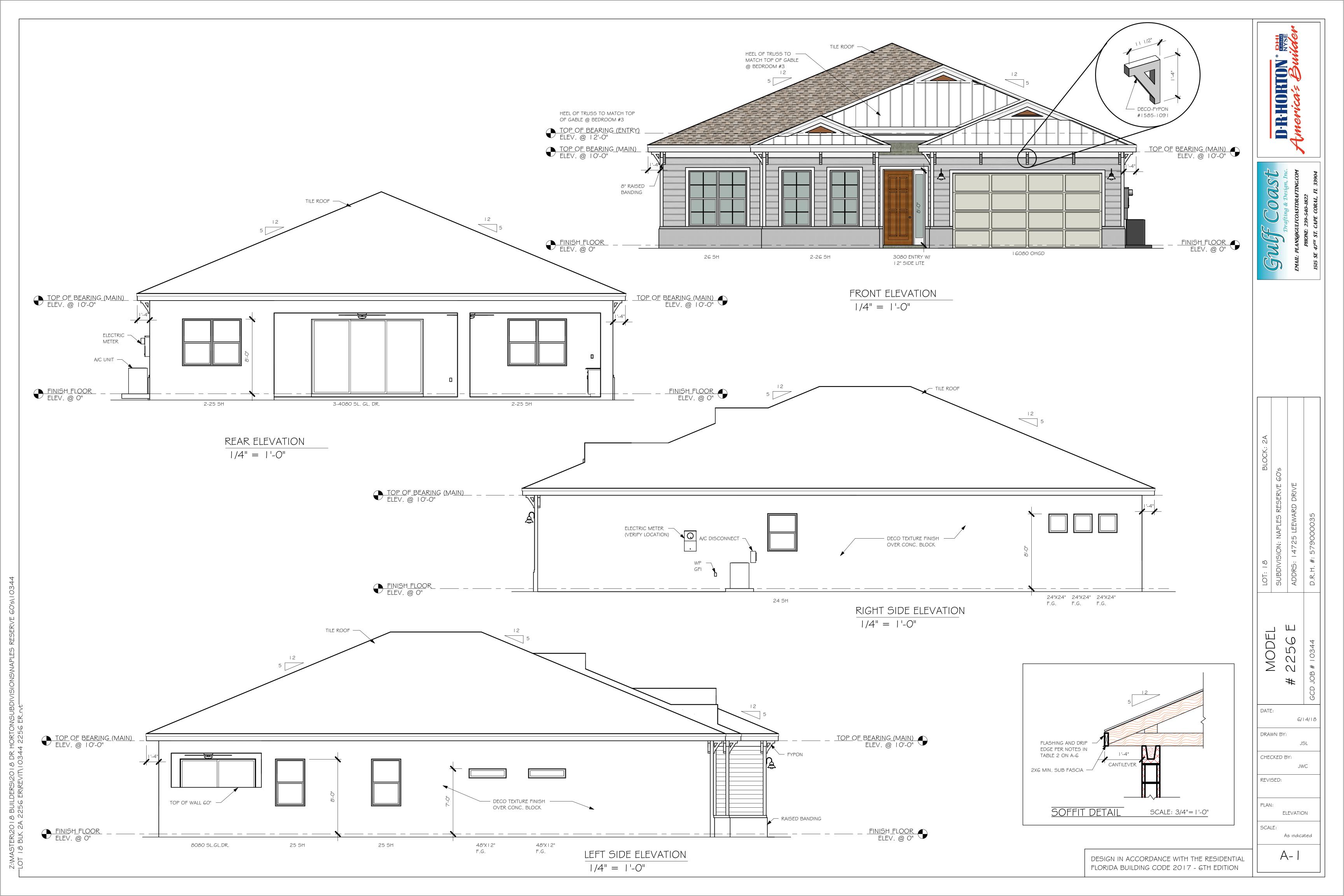
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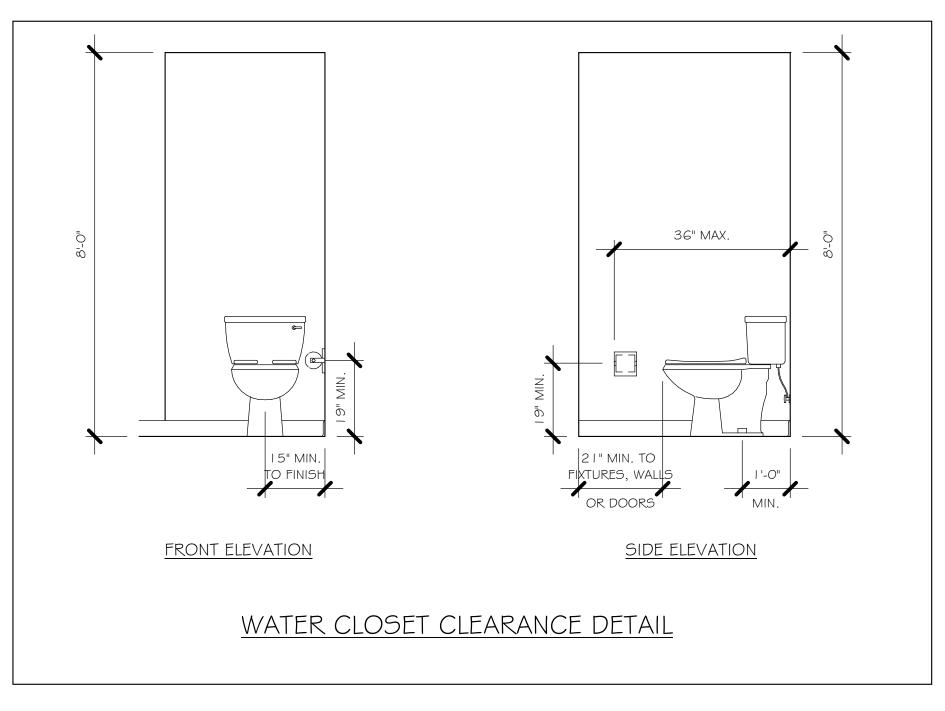
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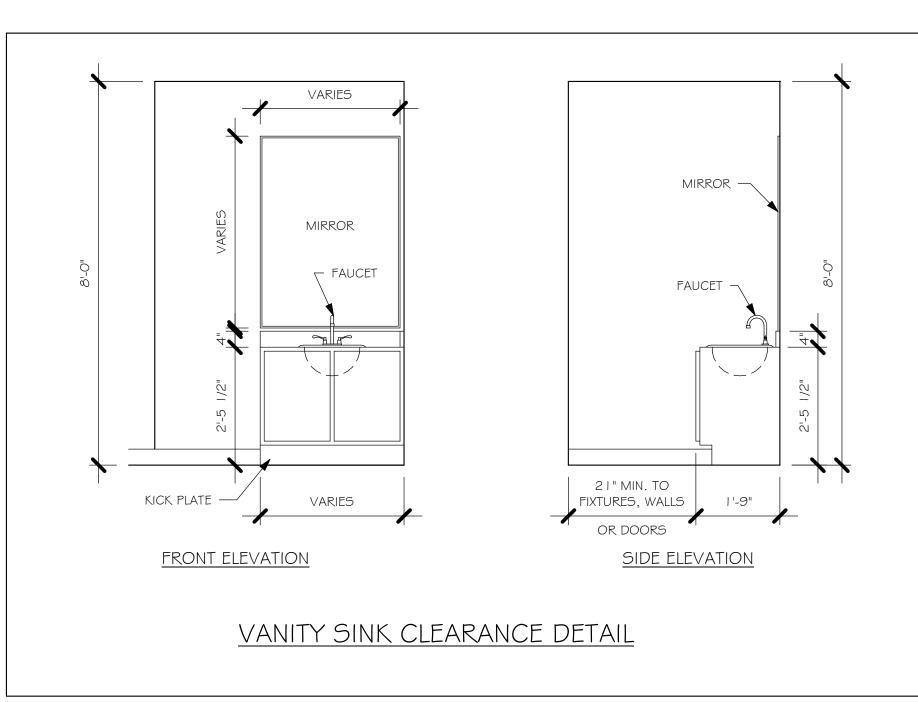
| SYMBOL | |
|----------|--|
| A* | |
| JLA | |
| 」∟B | |
|] [C | |
|] [D | |
| J [E | IMPORTANT |
| JLF | This Drawing Must Be Approved And Returned |
| J | Before Fabrication Will Begin. For Your Protection |
|] [H | Check All Dimensions And Conditions Prior To |
| J [I | Approval Of Plan. |
| Z/_ J | SIGNATURE BELOW INDICATES ALL NOTES |
| <u> </u> | AND DIMENSIONS HAVE BEEN ACCEPTED. |
| Z∕_ T | ByDate |

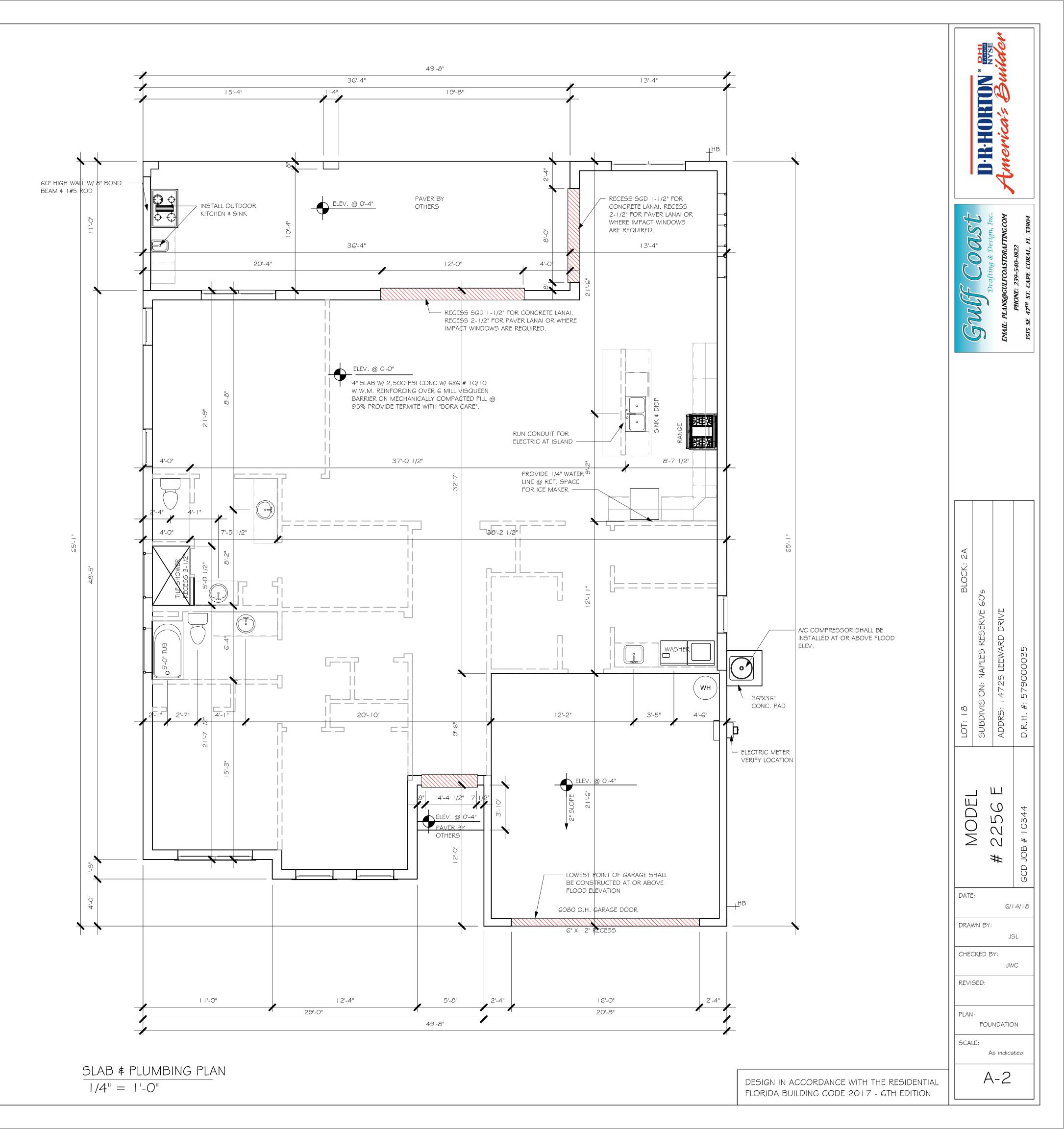
6850 Taylor Road Punta Gorda, Fl. 33950 Phone: 941-575-2250 / Fax:941-575-0319











| | DOOR SCHEDULE | | | | | |
|--------------|----------------------|------------------------|--------|--------|----------|-------|
| TYPE MARK | SIZE CODE | PRODUCT DESCRIPTION | WIDTH | HEIGHT | COMMENTS | COUNT |
| | | | • | • | | |
| 1 | I 2"X96" SIDE LITE | DISTINCTION | 1'-0" | 8'-0" | | 1 |
| 2 | (3)-4080 SL. GL. DR. | DISTINCTION | 12'-0" | 8'-0" | | 1 |
| 3 | 2-4080 SL. GL. DR. | DISTINCTION | 8'-0" | 8'-0" | | 1 |
| 4 | 16080 OHGD | GARAGE DOOR | 16'-0" | 8'-0" | | 1 |
| 5 | 3080 ENTRY | DISTINCTION | 3'-0" | 8'-0" | | 1 |

| | WINDOW SCHEDULE | | | | | |
|------|-----------------------|------------------------|-------|--------|----------|-------|
| MARK | SIZE CODE | PRODUCT DESCRIPTION | WIDTH | HEIGHT | COMMENTS | Count |
| | | | | | | |
| A | 2-25 SH | | 6'-4" | 5'-3" | | 2 |
| В | 24"X24" FIXED GLASS | | 2'-0" | 2'-0" | | 3 |
| С | 25 SH | | 3'-2" | 5'-3" | | 2 |
| D | 2-26 SH | | 6'-4" | 6'-3" | | 1 |
| E | 26 SH | | 3'-2" | 6'-3" | | 2 |
| F | 24 SH | | 3'-2" | 4'-3" | | 1 |
| G | 48"X 2" FIXED GLASS | | 4'-0" | 1'-0" | | 2 |

| DOOR HEADERS | | |
|---------------|---------------|----------------|
| 6'-8" BI-FOLD | HEADER HEIGHT | 82" A.F.F. |
| 6'-8" SWING | HEADER HEIGHT | 82 I/2" A.F.F. |
| 8'-0" SWING | HEADER HEIGHT | 98 I/2" A.F.F. |

PLAN NOTES

- I) VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
- 2) PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
- 3) PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
- 4) NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
- PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
- 6) KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 I/2" A.F.F.
- 7) INSTALL SMOOTH WALLS IN KITCHEN AND ALL

RESISTANT PER SEC. 702.3.5

BATHROOM AREAS

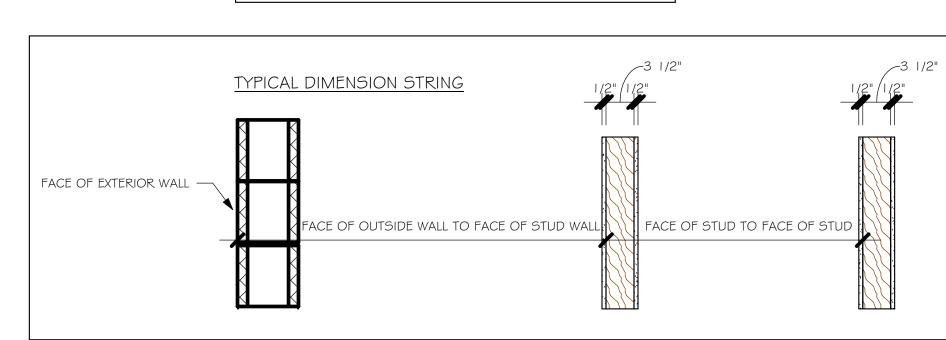
- 8) WHERE DRYWALL CEILING IS APPLIED TO TRUSSES
 @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG
- THE GARAGE SHALL BE SEPARATED FROM THE
 RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM
 BOARD APPLIED TO THE GARAGE SIDE. GARAGES
 BENEATH HABITABLE ROOMS SHALL BE SEPARATED
 WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD
 OR EQUIVALENT. WHERE THE SEPARATIION IS A
 FLOOR CEILING ASSEMBLY, THE STRUCTURE
 SUPPORTING THE SEPARTION SHALL ALSO BE
 PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD
 OR EQUIVALENT
- IO) INSTALL I 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.5.1.
- I I) ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH RG | 2.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PRVENTION DEVICE
- 12) ALL CLOSET SHELVES TO BE 12". ALL PANTRY \$
 LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15"
 INCREMENT.

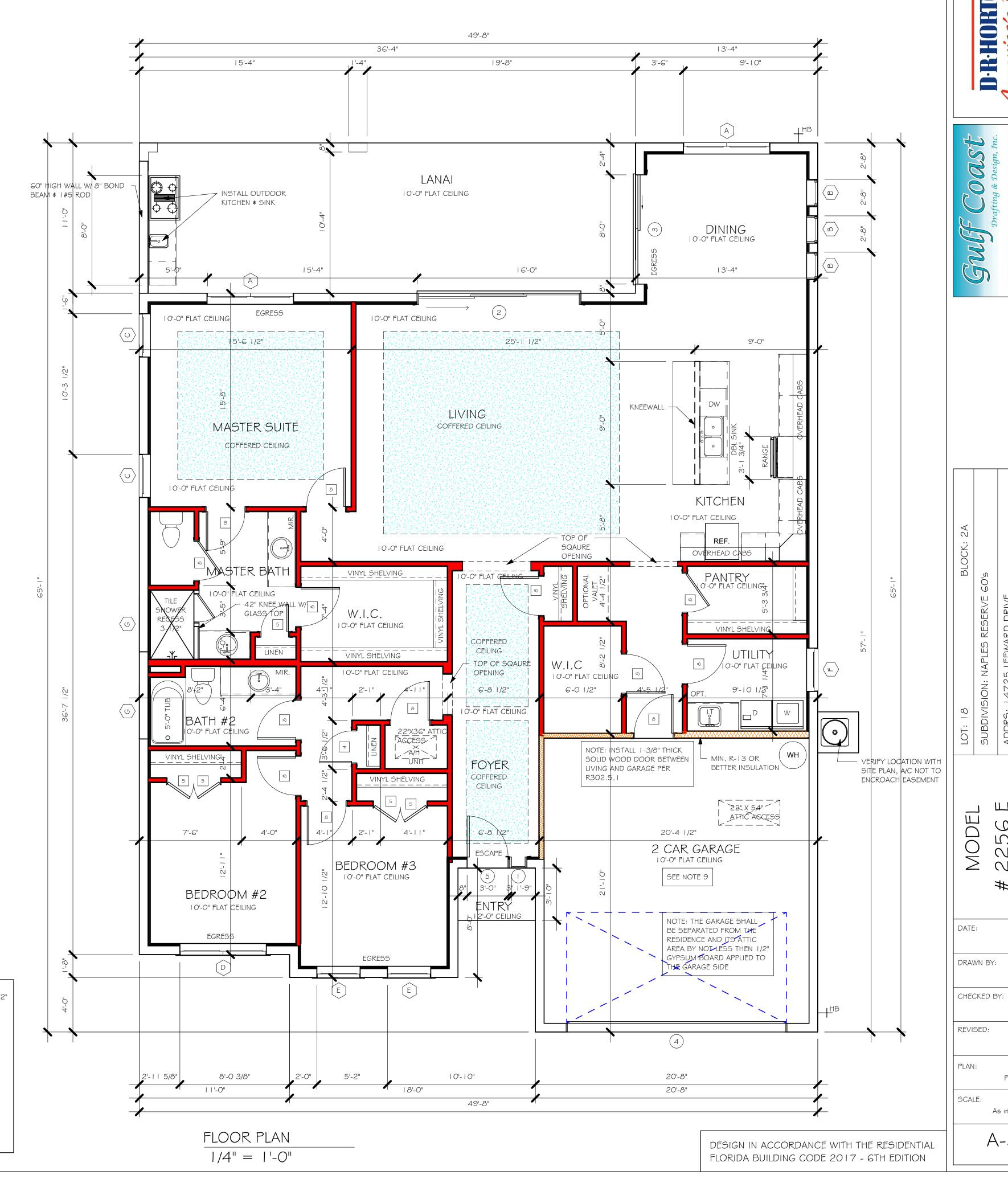
| CABINET BACKING | | |
|--|-----------------|----------------|
| KITCHEN UPPER TOP @ 84" BASE TOP @ 35" | | |
| MASTER BATH | UPPER | BASE TOP @ 35" |
| GUEST BATH | UPPER | BASE TOP @ 31" |
| LAUNDRY ROOM | UPPER TOP @ 84" | BASE |

| SQUARE FOOTAG | E |
|-------------------------|-------|
| LIVING AREA | 2,214 |
| GARAGE AREA | 439 |
| LANAI AREA | 400 |
| FRONT PORCH/ ENTRY AREA | 22 |
| TOTAL SQUARE FOOTAGE | 3,075 |

| IN. | INTERIOR DOOR SCHEDULE | | | | |
|-----|------------------------|----------------------|--|--|--|
| ARK | DOOR WIDTH | NOTES | | | |
| 1 | 3'-0" | P.K. = POCKET DOOR | | | |
| 2 | 2'-8" | B.F. = BI-FOLD DOOR | | | |
| 2 | 2'-6" | D.1 DI-10LD DOOK | | | |
| 4 | 2'-4" | B.P. = BI-PASS DOOR | | | |
| 5 | 2'-0" | L.V. = LOUVERED DOOR | | | |
| 6 | 1'-8" | | | | |
| 7 | 1'-6" | | | | |
| 8 | 2'-10" | | | | |

| | | BATHROOM NOTES |
|----|--------------|---|
| TB | TOWEL BAR | ALL TUB DECKS @ 21" A.F.F |
| TP | TOILET PAPER | ALL BLOCKING TO BE PT IN SHOWERS |
| | 41.0° | TOWEL BAR TOILET PAPER ROLL A A A A A A A A A A A A A A A A A A |





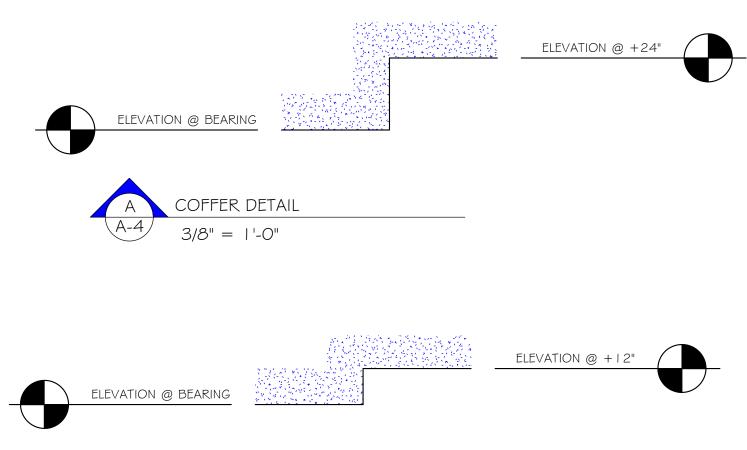
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FLOOR

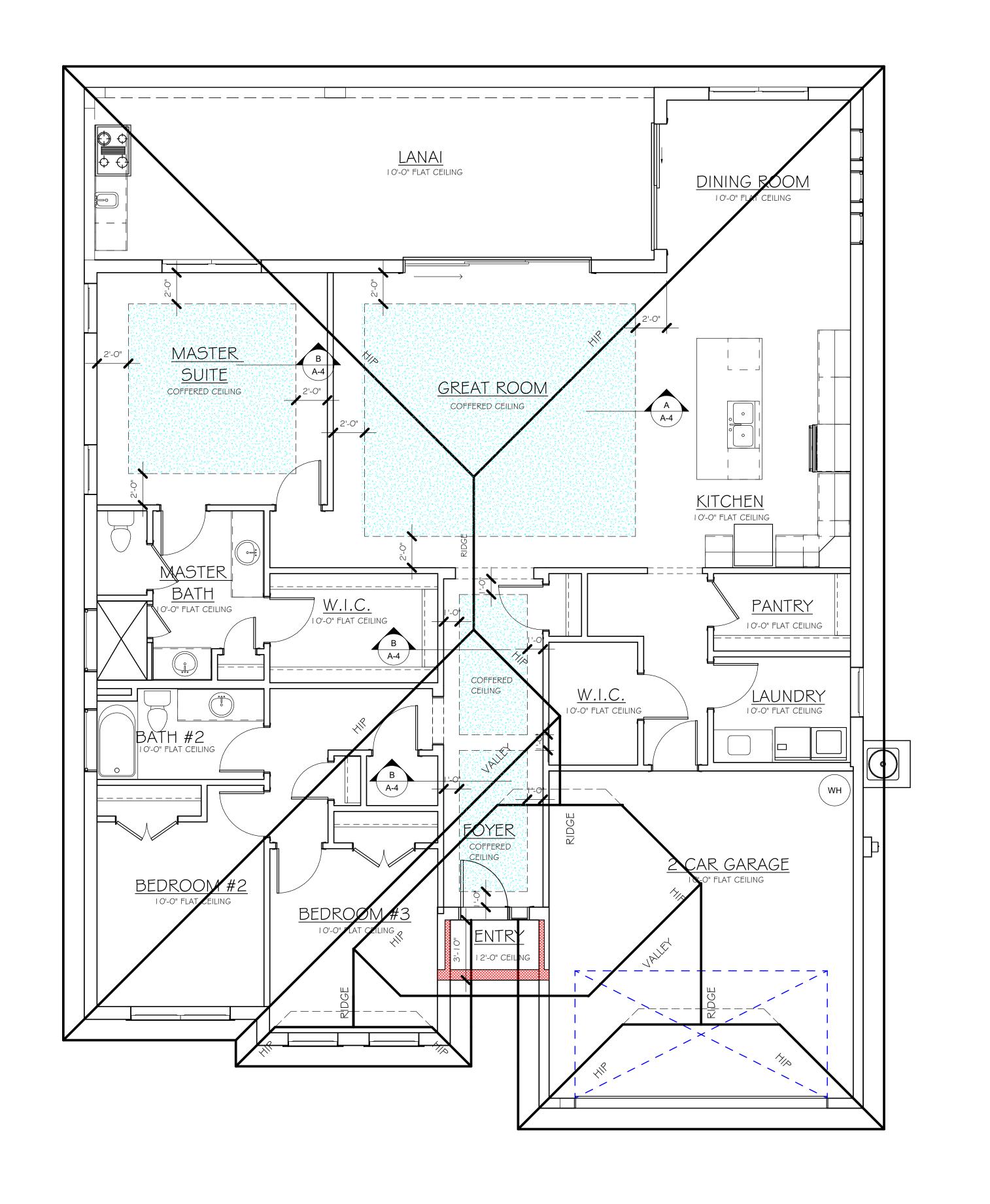
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| ATTIC VENTILATION | | | | | | |
|---|-----------------------------------|--|--------------------------------------|--|--|--|
| VERIFY VENTING REQUIREMENTS WITH ENERGY CALCULATIONS | | | WITHOUT OFF RIDGE VENTS | | WITH OFF RIDGE VENTS (O.R.V.) | |
| ATTIC AREA (FBC R806) | | VENTILATION REQUIRED (ATTIC AREA 1/150) | | VENTILATION REQUIRED (ATTIC AREA 1/300 INSTALL PER FBC R806.2 MINIMUM AREA REQUIREMENTS) | | |
| MAR | RK | SQUARE FOOTAGE | SOFFIT VENTS | MIN AIR FLOW OF SOFFIT | TOTAL VENTILATION OFF RIDGE VENTS MIN AIR FLOW OF SOFFIT | |
| | 2256 SQ. FT. 20.92 SQ. FT. 6.62 % | | 6.62 % | O.R.V. NOT USED | | |
| | | | ATTIC VENTILATION CALCULATION | | ATTIC VENTILATION CALCULATION | |
| | | | ATTIC SQ. FT. / I50 = VENTED SQ. FT. | | ATTIC SQ. FT. / 300 = VENTED SQ. FT. | |
| G'-O" BASE | | | 25" BASE | | 18" BASE | |
| BASE PASE | | | 25° BASE | BAS T | | |
| I.45 SQ. FT. FREE AREA | | I SQ. FT. FREE AREA | | .38 SQ. FT. FREE AREA | | |
| | | _ | FF RIDGE EXHAUS REA NET FREE SQ | | | |









ROOF PLAN 1/4" = 1'-0"

> DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

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CHECKED BY:

REVISED:

PLAN:

SCALE:

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6/14/18

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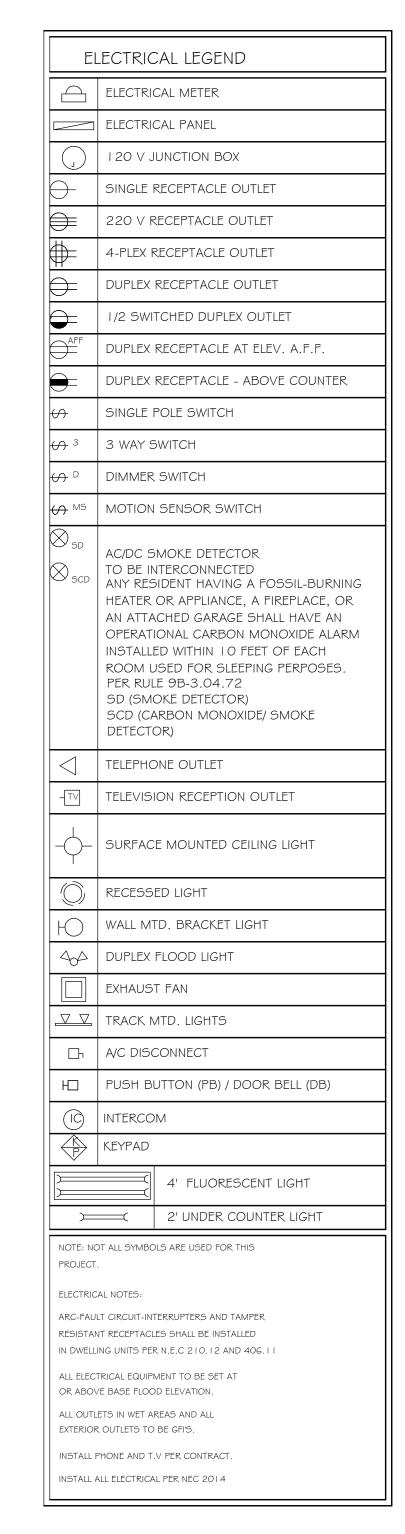
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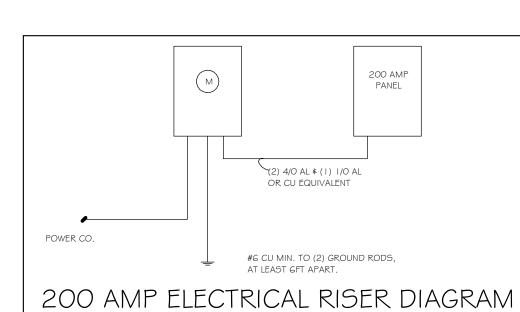
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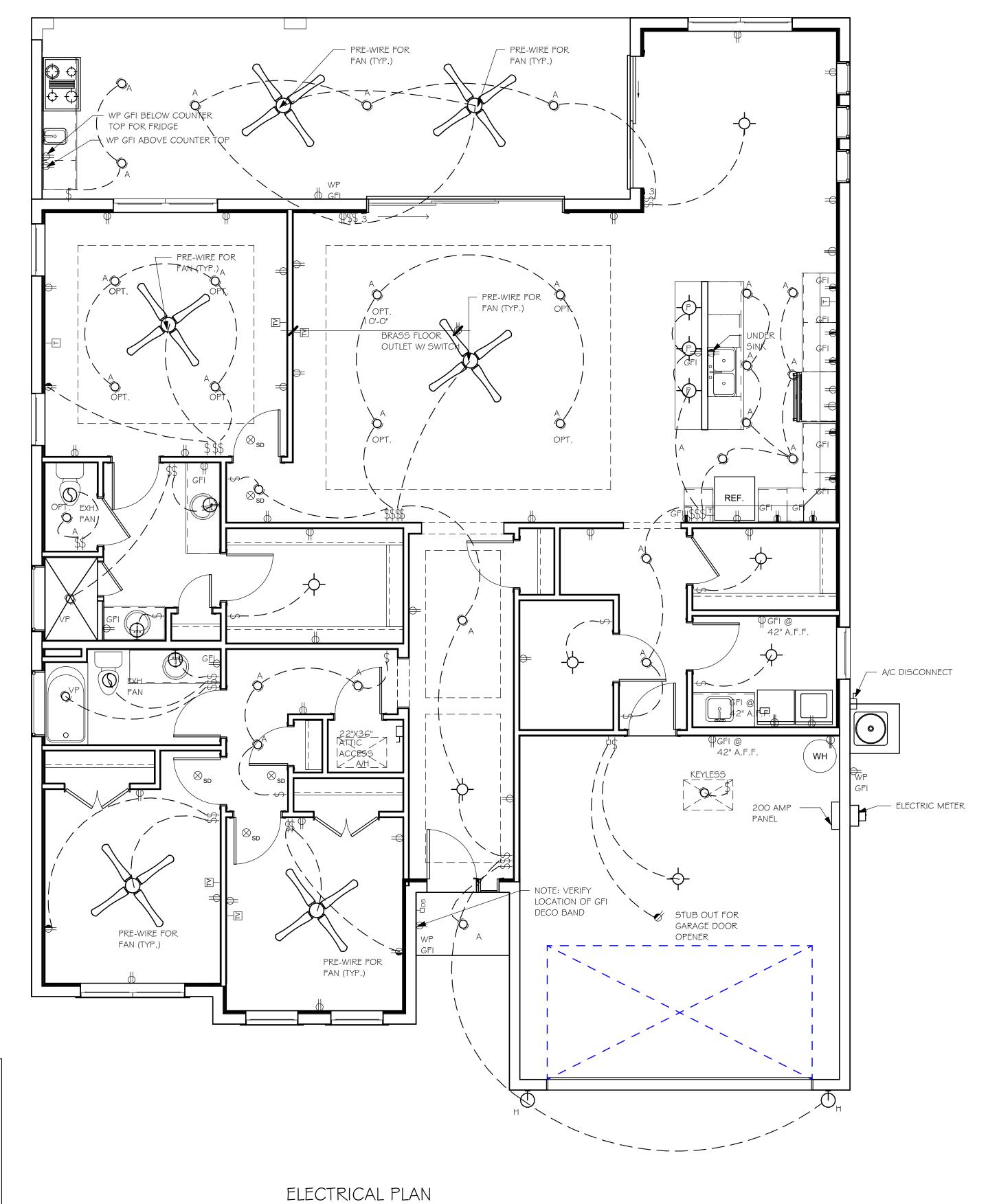
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| | ELECTRIC | AL PLAN 2256 "E | =III |
|-----|-------------|------------------|------|
| 200 | AMP SERVICE | | |
| TAG | QUANTITY | PRODUCT | |
| А | (23) | (RECESSED CANS) | |
| В | (2) | (VAPORS) | |
| С | (5) | (PENDANT LIGHT | |
| D | (X) | (10" MUSHROOMS) | |
| E | (5) | (24" 3 LT) | |
| F | (X) | (36" 4 LT) | |
| G | (X) | (NOT USED) | |
| Н | (2) | (COACH LIGHTS) | |
| - 1 | (X) | (COACH LIGHTS) | |
| J | () | (J BOX) | |
| K | (X) | (4' FLUORESCENT) | |
| L | (X) | (2' FLUORESCENT) | |
| М | (X) | (5LT CHANDELIER) | |
| N | (X) | (3 LT) | |
| 0 | (X) | (PENDANT/ NOOK) | |
| Р | (X) | (X) | |
| Q | (X) | (X) | |







1/4" = 1'-0"



MODEL

DATE:

DRAWN BY:

CHECKED BY:

REVISED:

PLAN:

SCALE:

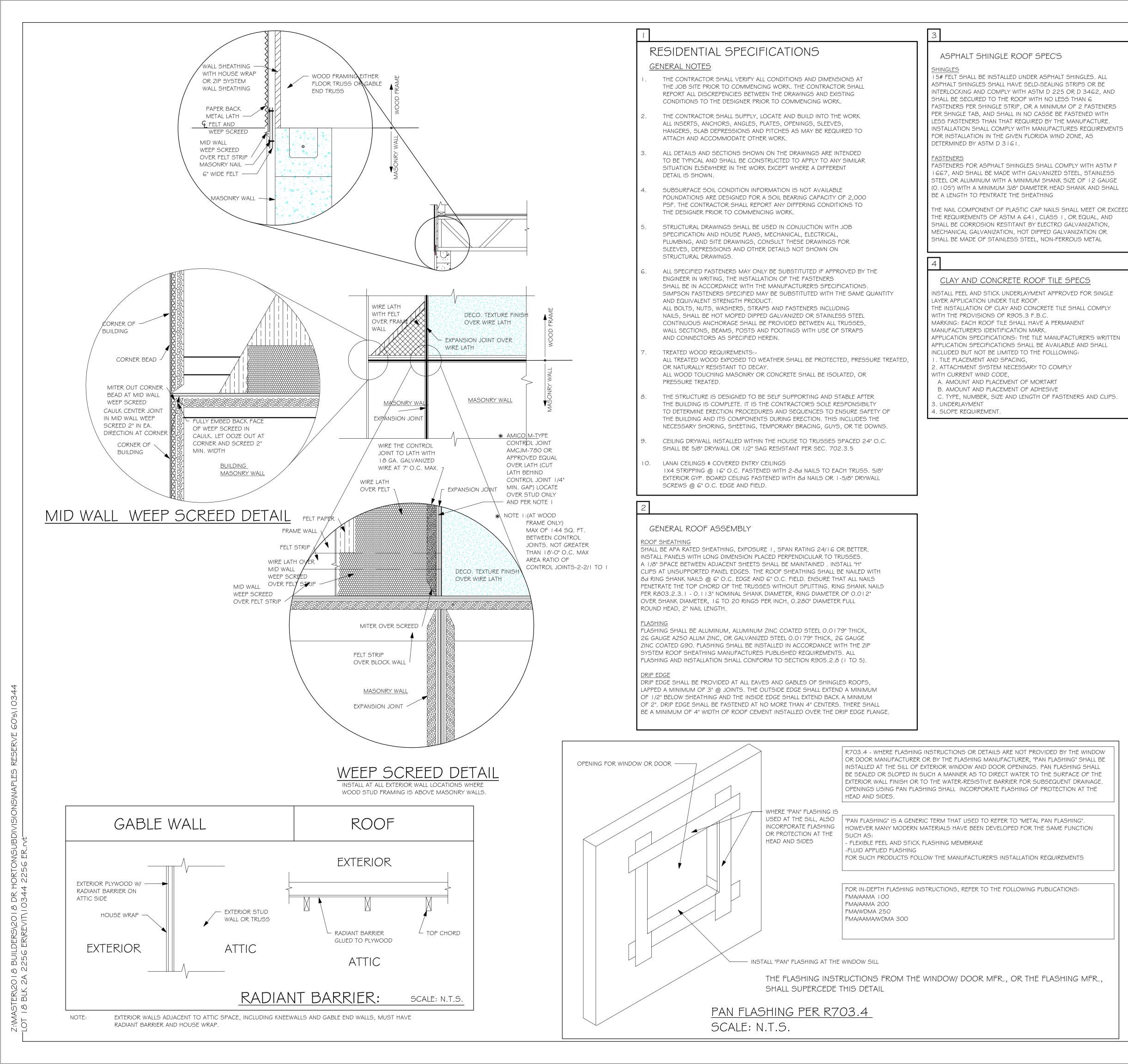
DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

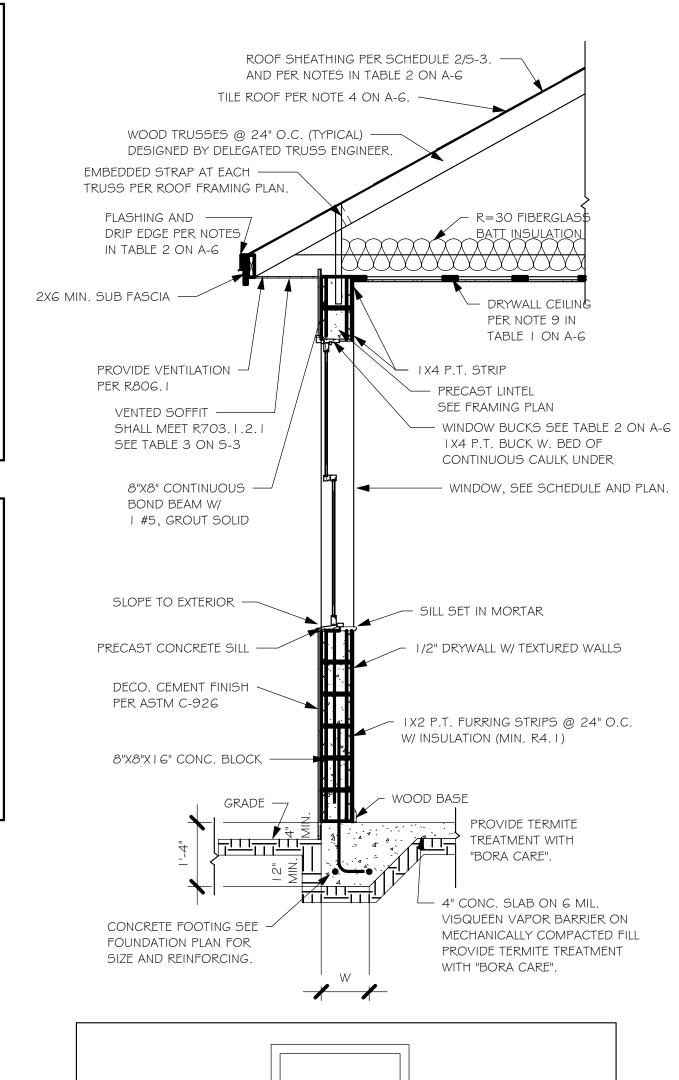
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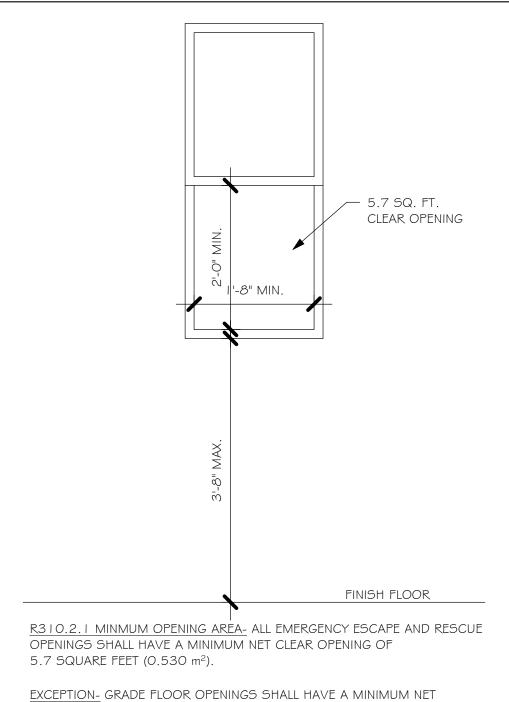
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ELECTRICAL

As indicated







EXCEPTION- GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (0.465 m^2) .

R310.2.1 MINMUM OPENING HEIGHT- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm).

R3 I O.2. I MINMUM OPENING WIDTH- THE MINIMUM NET CLEAR OPENING

WIDTH SHALL BE 20 INCHES (508mm).

R310.1.1 OPERATIONAL CONSTRAINTS- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

R3 | O.2.3 WINDOW WELLS- THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (O.84 m²), WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (9 | 4mm). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

MINIMUM EGRESS WINDOW DETAIL

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

: SECTIONS E:

As indicated

6/14/18

JWC

 $\sum_{i=1}^{N}$

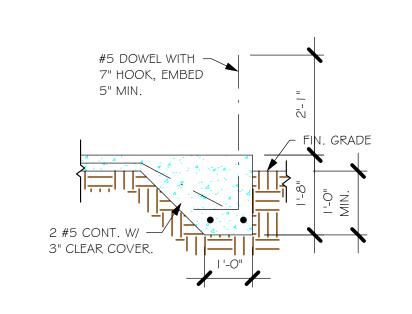
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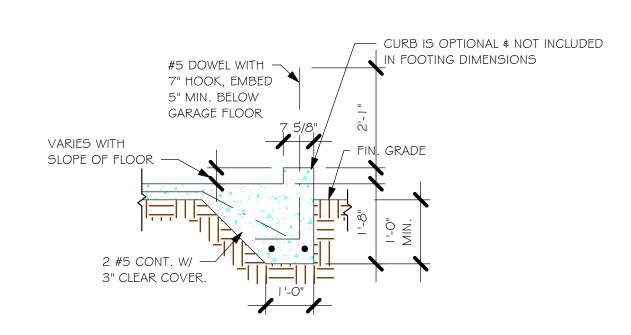
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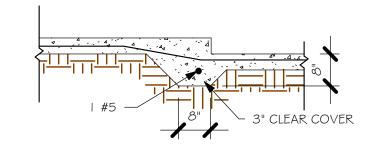
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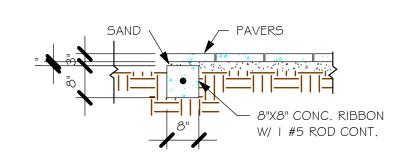
 $\frac{\text{"F3" FOOTING}}{1/2" = 1'-0"}$



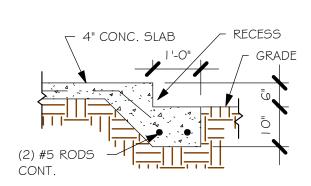
 $\frac{\text{"F3" WITH CURB AT GARAGE}}{1/2\text{"} = 1\text{'-0"}}$



 $\frac{\text{"F6A" STEP DOWN}}{1/2\text{"} = 1\text{'-0"}}$



"P" PAVERS DETAIL ENTRY/ LANAI 1/2" = 1'-0"



 $\frac{\text{GARAGE DOOR RECESS}}{1/2" = 1'-0"}$

| | WALL FOOTING SCHEDULE | | | | | | | |
|------|-----------------------|--------|-------|--------|-----------------------|-------|-------------|--|
| USED | TYPE | LENGTH | WIDTH | DEPTH | BOTTOM REINFORCING | SHAPE | | |
| X | F1 | CONT. | 1'-4" | 0'-8" | 2-#5 | | | |
| | F2 | CONT. | 1'-8" | 0'-10" | 2-#5 | | ADD CURB TO | |
| X | F3 | CONT. | 1'-0" | 1'-8" | 2-#5 | ₩ | GARAGE, SEE | |
| | F4 | CONT. | 1'-4" | 1'-8" | 2-#5 | | | |
| | F5 | CONT. | 1'-4" | 1'-0" | 2-#5 | | | |
| | F6 | CONT. | 1'-4" | 1'-0" | 2-#5 | | | |
| X | F6A | CONT. | 0'-8" | 0'-8" | 1-#5 | | | |
| | TE | CONT. | 0'-8" | 0'-8" | 1-#5 | | | |

| | | PAD FOOTING SCHEDULE | | | | | |
|---|---------------------|----------------------|-------|-------|----------|-----------|---------|
| į | TYPE | LENGTH | WIDTH | DEPTH | вотт | OM REINF. | DEMARKS |
| | 3 1176 | LENGTH | WIDIR | DEPIR | LONG WAY | SHORT WAY | REMARKS |
| | $\langle A \rangle$ | 2'-6" | 2'-6" | 1'-0" | 3-#5 | 3-#5 | - |
| | (B) | 3'-0" | 3'-0" | 1'-0" | 4-#5 | 4-#5 | - |
| | (C) | 3'-6" | 3'-6" | 1'-0" | 4-#5 | 4-#5 | - |
| | (D) | 4'-0" | 4'-0" | 1'-2" | 5-#5 | 5-#5 | - |
| | (E) | 5'-0" | 5'-0" | 1'-2" | 6-#5 | 6-#5 | - |

FOUNDATION PLAN

SCALE: 3/16" = 1'-0" PLAN NOTES:

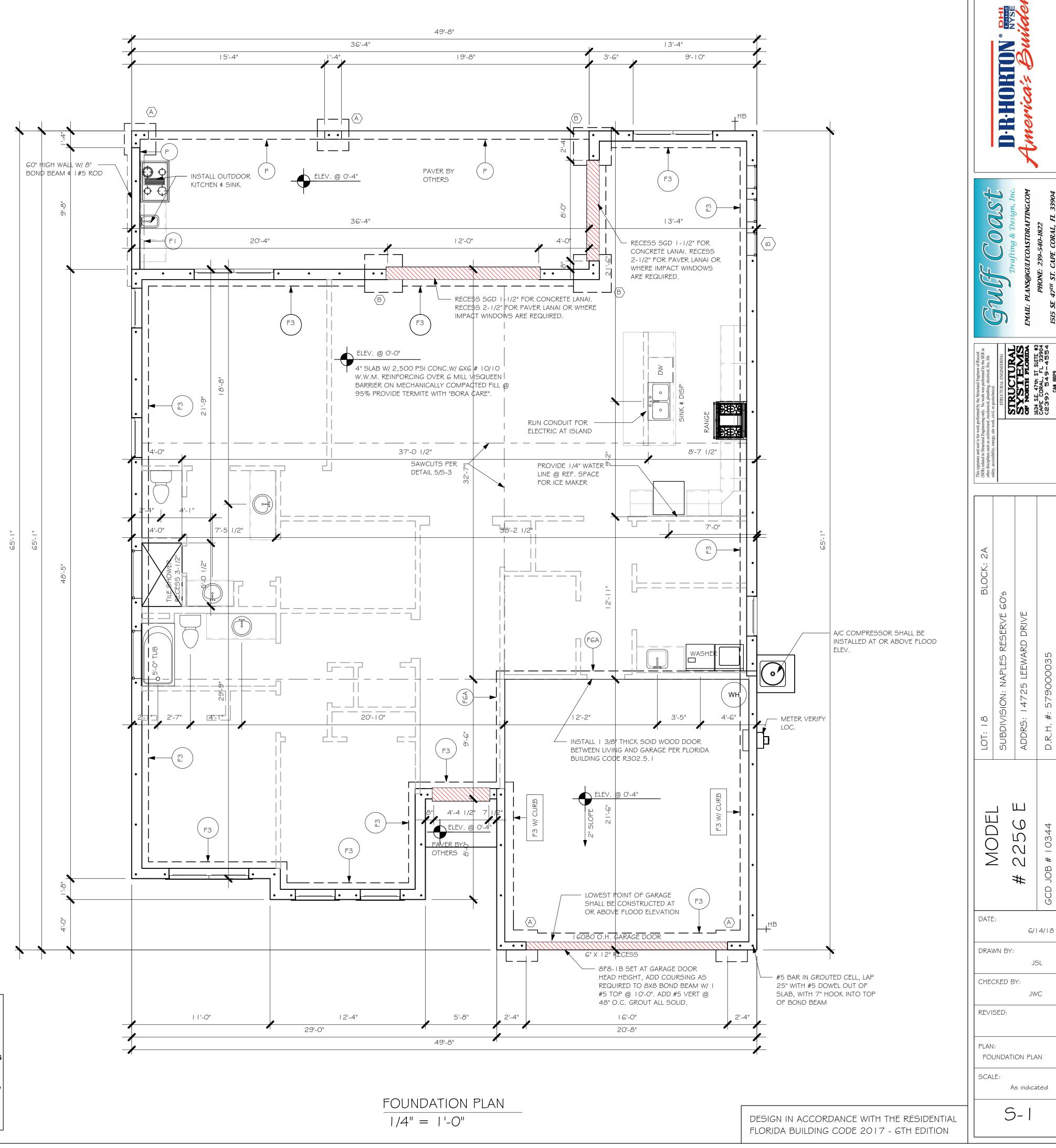
DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.

DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.

PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.

ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL. FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/

DOOR SUPPLIER.
7. PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.



Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\NAPLES RESERVE 60's\1034

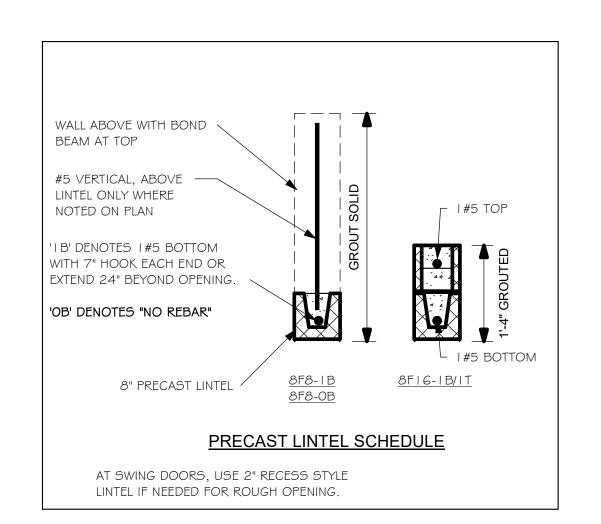
| | TRUSS STRAPPING TO STUDWALL/ WOOD BEAM | | | | |
|----|--|--|---|--|--|
| Τ. | MAX TRUSS UPLIFT @ 24" OC (LBS) | CONNECTOR | FASTENER | | |
| | 1005 2010 3015 1285 2570 3855 5140 | (1)MTW16 (2) MTW16 (3) MTW16 (1) HTW20 (2) HTW20 (3) HTW20 (4) HTW20 | 2- OdX ~ /2" 2- OdX ~ /2" 2- OdX ~ /2" 24- OdX ~ /2" 24- OdX ~ /2" 24- OdX ~ /2" 24- OdX ~ /2" | | |

- PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.
- CONNECTORS ARE USP STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTUCTIONS.

| INICTALL | TRUSS STRAPPING TO MASONRY | | | | | |
|--|--|---|--|--|--|--|
| INSTALL HTA 16-18 AT ALL TRUSSES TO | MAX TRUSS UPLIFT @ 24" OC (LBS) | CONNECTOR | FASTENER | | | |
| 1615 Ib UPLIFT. FOR HIGHER UPLIFTS, SEE NOTES ON PLAN. | 1615 1870 2430 (1 PLY) 2800 (2 PLY) 3170 (2 PLY) 5005 | (1) HTA16-18 (1) HTA2O (2)HTA16- 18 (2)HTA16 -18 (2) HTA2O HTT45 | 10-10dx1/2", EMBED 4" 10-10dx1/2", EMBED 4" 10-10dx1/2", EMBED 4" 10-10dx1/2", EMBED 4" 10-10dx 1/2", EMBED 4" 5/8"ø ATR, EPOXY 12" | | | |

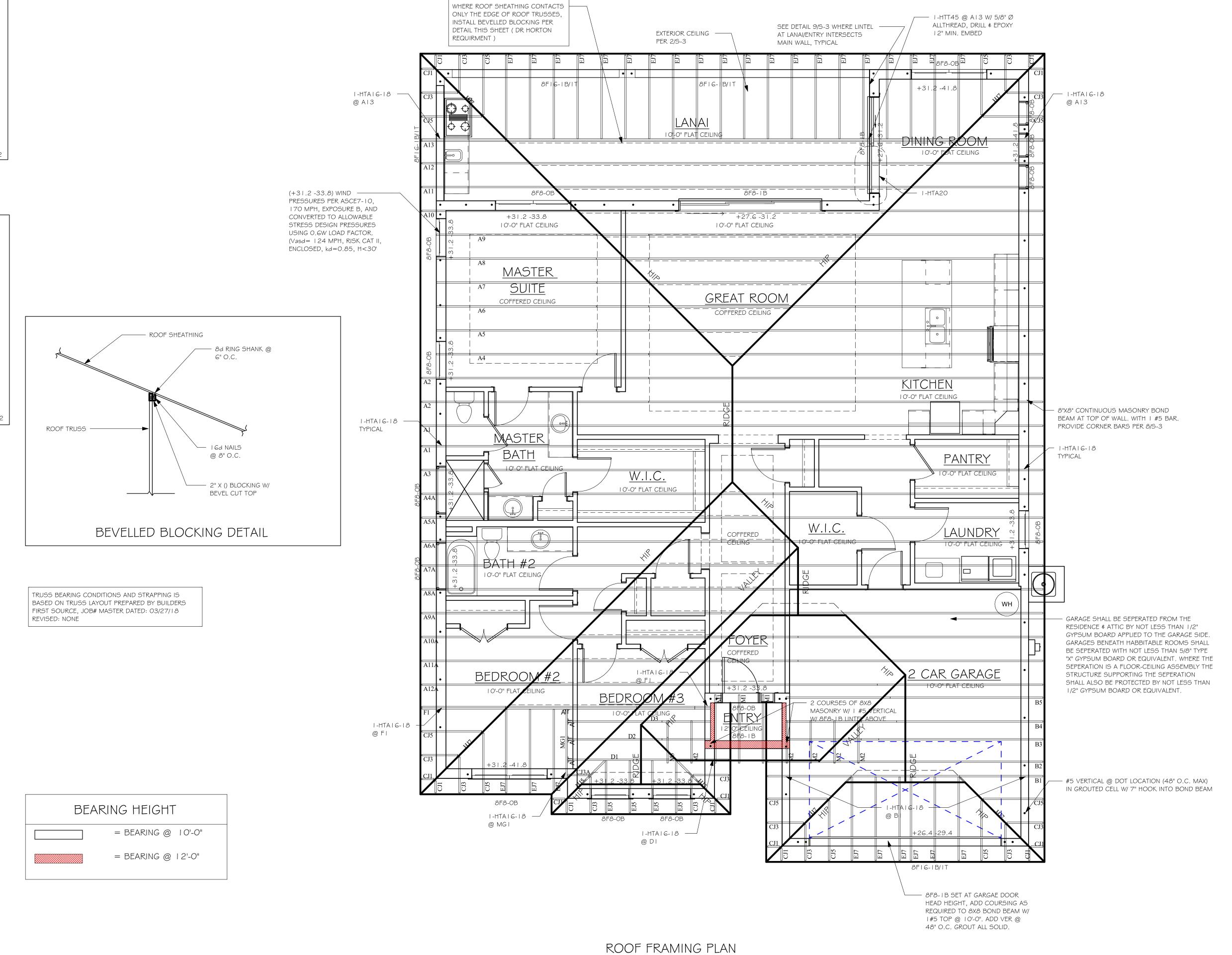
NOTES:

- I. PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON -C/L OF WALL.
- CONNECTORS ARE USP STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.
- WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER 2/S-4.
- 'ATR' = ALLTHREAD. DRILL AND EPOXY WITH USP EPOXY PER MFR. INSTRUCTIONS.



PLAN NOTES:

- ROOF AND FLOOR TRUSS BEARING ELEVATION VARIES, SEE LEGEND.
- ROOF AND FLOOR FRAMING SHALL BE WOOD TRUSSES DESIGNED BYA DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET S-3. PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS
- FOR NAILING OF ROOF AND FLOOR DECK, SEE I AND 2
- ON 5-3. 8F8-1B etc., DENOTES PRECAST LINTEL ABOVE
- DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET. AT TRUSS BEARING, PROVIDE 8x8 MASONRY BOND
- BEAM W/ I #5 CONTINUOUS, SEE DETAIL I I/S-3.
- "SW" DENOTES PLYWOOD SHEARWALL PER SCHEDULE THIS SHEET.



1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

LEEWARD

MODEL

DATE:

DRAWN BY:

CHECKED BY:

ROOF FRAMING PLAN

As indicated

REVISED:

SCALE:

 \mathcal{O}

6/14/18

JSL

JWC

