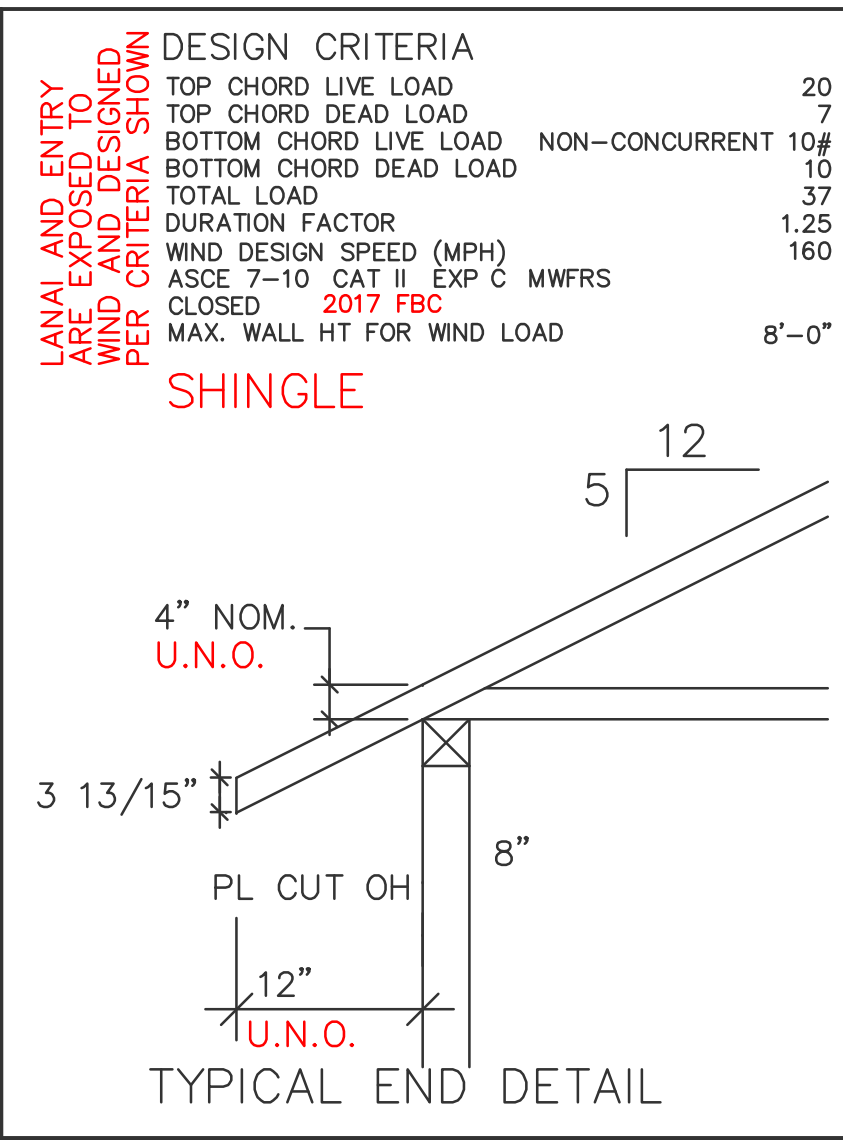


NOTES:
1)VERIFY CLOUDED DIMENSION, NOT SHOWN
ON PLANS. INI_____



****UNLESS NOTED****
REACTION VALUES ARE UNDER 5000#
UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24"o.c. UNLESS NOTED OTHERWISE
*******CAUTION*******
DO NOT ATTEMPT TO ERECT TRUSSES WITH-
OUT REFERRING TO THE ENGINEERING DWGS.
IT IS NECESSARY TO REFER TO THE ENGINEERING
DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION,
ORIENTATION AND WEB BRACING
REFER TO WTCA/TPI BSCI-B1 SUMMARY
SHEET FOR HANDLING METHODS & TEMPORARY
BRACING, WHICH IS ALWAYS REQUIRED
BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA
CORP. "+/-" BEARING DIFFERENCES SHOWN ARE CRITICAL.
IF ANY HEIGHTS DEViate - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS	
---	0'-0" ELEV.
////	ELEV.
XXXX	ELEV.
	ELEV.
~~~~	ELEV.
~~~~	ELEV.
~~~~	ELEV.

HANGER SCHEDULE	
(C) USP HUS 26	(M) USP THDH 28-3
(F) USP HUS 28	(N) USP THD 48
(H) USP THDH 28	(P) USP JUS 24
(I) USP THDH 28-2	(B) USP MSH 422
(W) USP HJC 26	(X)

HANGER VALUES HAVE BEEN BASED ON 16D  
COMMON NAILS EXCEPT THE FOLLOWING  
LUS24 - 10D COMMON THJA26 - 10D x 1-1/2

*******ATTENTION*******  
APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY  
BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS,  
PITCHES, OVERHANGS, ELEVATIONS, CEILING &  
BEARING CONDITIONS. SCOSTA CORPORATION IS  
RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH  
PLANS AND/OR INFORMATION PROVIDED BY  
CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN.  
CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF  
INFORMATION AND PLANS PROVIDED TO SCOSTA  
CORPORATION, AND TO VERIFY CONFORMANCE TO  
FIELD CONDITIONS, AND/OR OWNER CHANGES.  
TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE  
APPROVED LAYOUT.

APPROVED BY: _____  
DATE: _____ REQUESTED DELIVERY DATE: _____  
JOBSITE CONTACT NAME: _____  
PHONE #: _____  
E-MAIL: _____

SCOSTA CORP.

WOOD, STEEL OR TIMBER  
ROOF & FLOOR TRUSSES

3670 COMMERCE CENTER DRIVE  
SEBRING, FL 33870  
(863) 385-8242

SCALE:  
1/4"=1'-0"

DATE:  
05/24/18

REVISED BY:

DRAWN BY:  
KRISTY

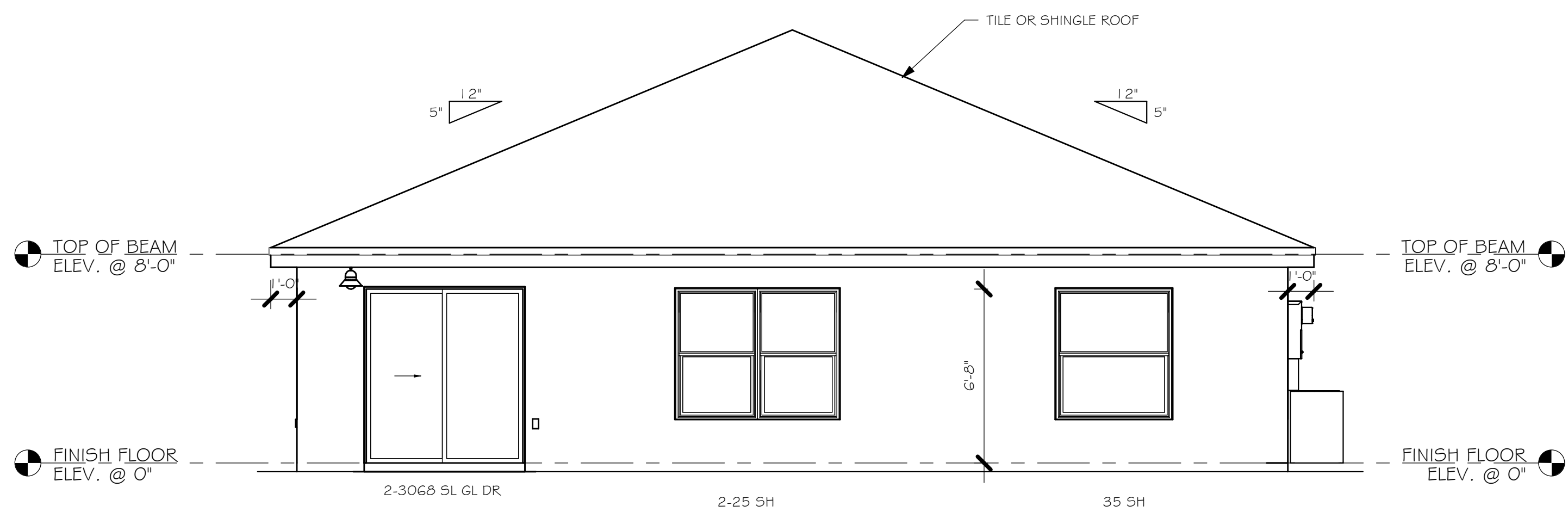
JOB ADDRESS:  
1499 B  
GARAGE LEFT  
LEE

CUSTOMER:  
D.R. HORTON

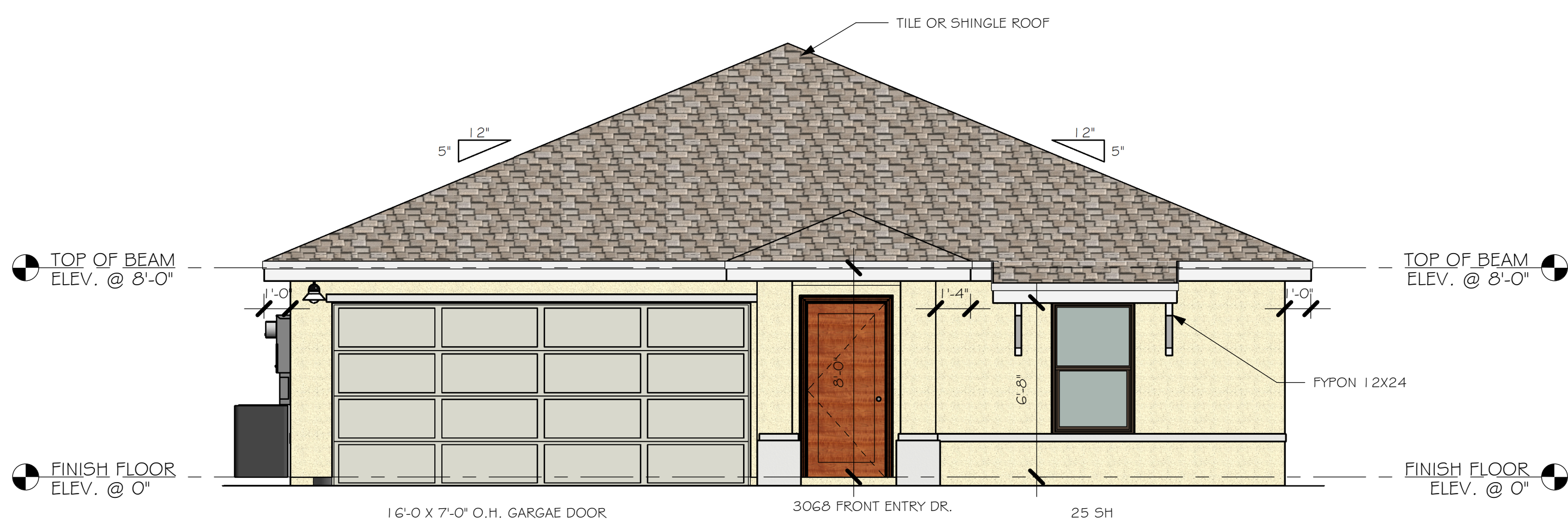
1 OF 1

JOB #  
44116B

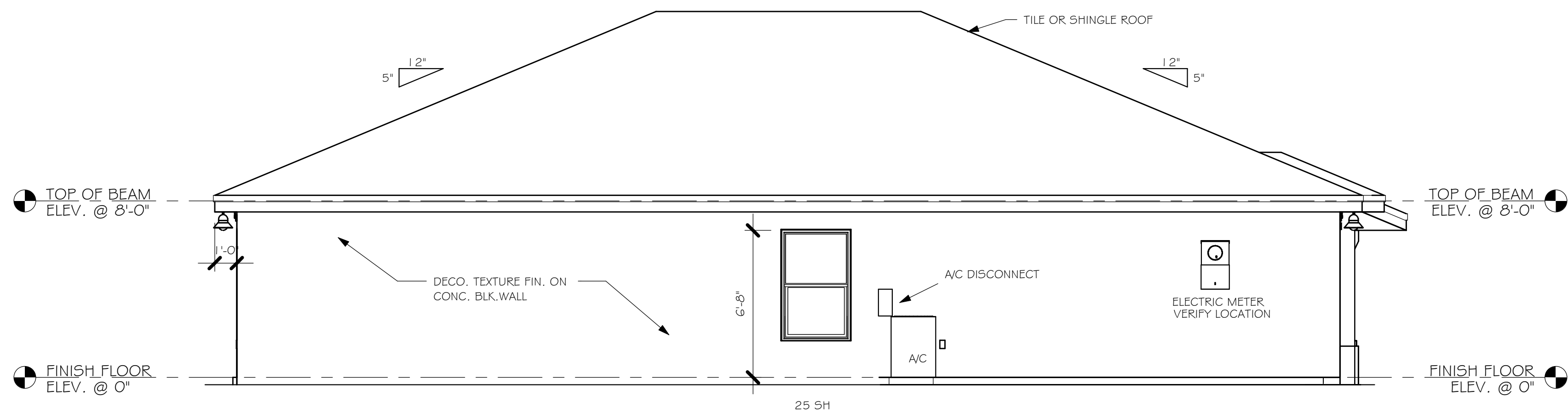
Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\CAPE SPOT LOTS\10439  
1625 NW 6TH AVE 1499 BUREAU\10439 1499 BL.rvt



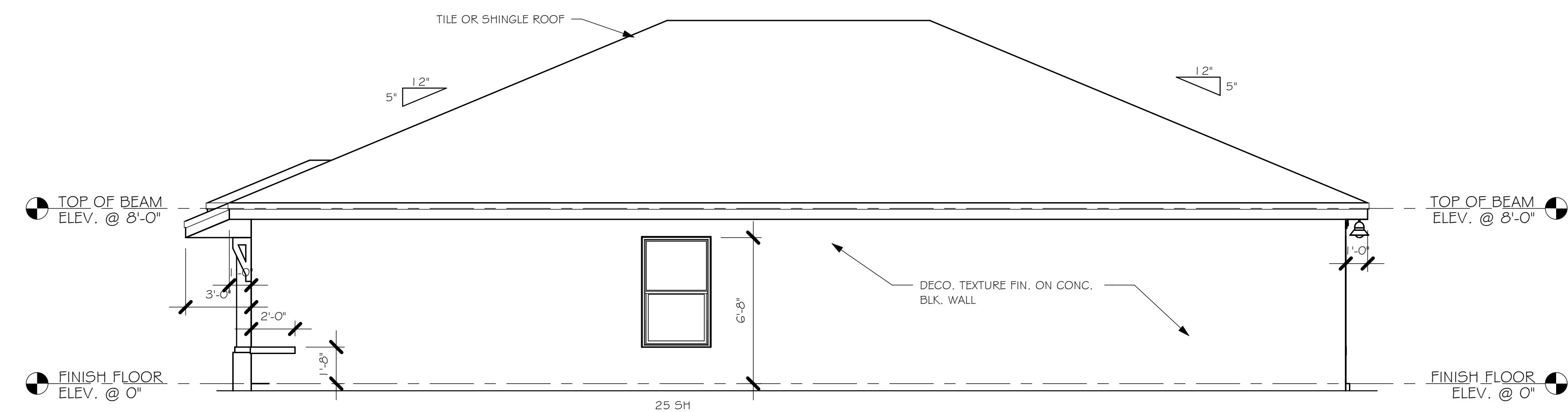
REAR ELEVATION  
1/4" = 1'-0"



FRONT ELEVATION  
1/4" = 1'-0"



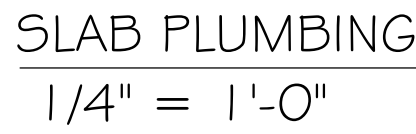
LEFT ELEVATION  
1/4" = 1'-0"



RIGHT ELEVATION  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION





DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION

SUBDIVISION: CAPE CORAL SPOT LOTS ADDRESS: 1625 NW 6TH AVE	MODEL # 1499 B	GCD JOB # 10439
DATE: 07/24/18		
DRAWN BY: JSL		
CHECKED BY: JWC		
REVISED:		
PLAN: SLAB # PLUMBING		
SCALE: As indicated		
A-2		

[illegible]

1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	2-3068 SL. GL. DR.	DISTINCTION	6'-8"	6'-0"	1
3	16080 OHGD	GARAGE	7'-0"	16'-0"	1

MARK	DESCRIPTION	HEIGHT	WIDTH	COUNT
------	-------------	--------	-------	-------

A	2-25 SH	5'-3"	6'-4"	1
B	25 SH	5'-3"	3'-2"	3
D	35 SH	5'-3"	4'-6"	1

6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

- 1) VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
- 2) PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
- 3) PROVIDE SAFETY GLAZING AT BATH SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
- 4) NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
- 5) PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
- 6) KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 41 1/2" A.F.F.
- 7) INSTALL SMOOTH CEILING IN KITCHEN AND ALL BATHROOM AREAS
- 8) WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" S'G RESISTANT PER SEC. 702.3.5
- 9) THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE @ ATTIC BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
- 10) INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5.
- 11) ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PREVENTION DEVICE
- 12) ALL CLOSET SHELVES TO BE 12" ALL PANTRY X LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.

MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	B.P. = BI-PASS DOOR
4	2'-4"	
5	2'-0"	L.V. = LOUVERED DOOR
6	1'-8"	
7	1'-6"	
8	2'-11"	

LIVING AREA	1,499
GARAGE AREA	385
FRONT PORCH/ ENTRY AREA	16
TOTAL SQUARE FOOTAGE	1,900

<div style="border: 1px solid black; padding: 2px; display: inline-block;">TB</div>	TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
<div style="border: 1px solid black; padding: 2px; display: inline-block;">TP</div>	TOILET PAPER	ALL BLOCKING TO BE FT IN SHOWERS

Technical drawing of a shower stall showing the placement of a towel bar and a toilet paper roll. The towel bar is 3'-2" long and is mounted 4'-0" from the left wall. The toilet paper roll is 1'-0" high and 4" wide, mounted 2'-6" from the right wall and 4" from the bottom wall. The towel bar is centered between the walls.

KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

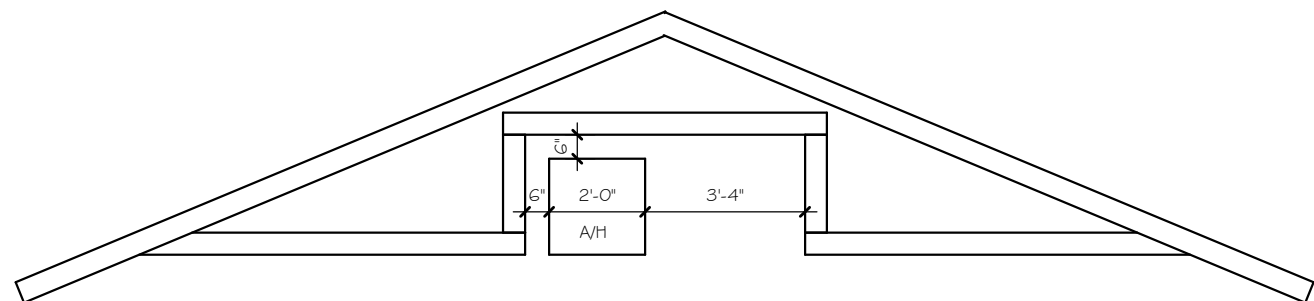

$$1/4'' = 1'-0''$$

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION

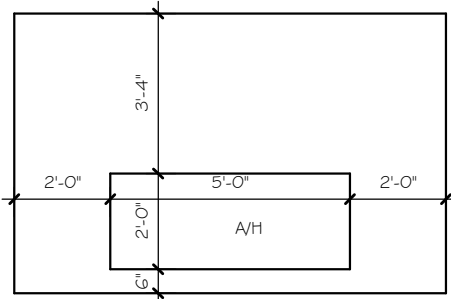


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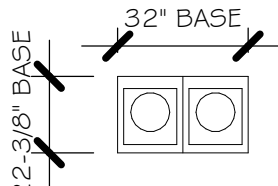


AIR HANDLER DETAIL



MODEL 1499 B: ATTIC VENTILATION FBCR R806

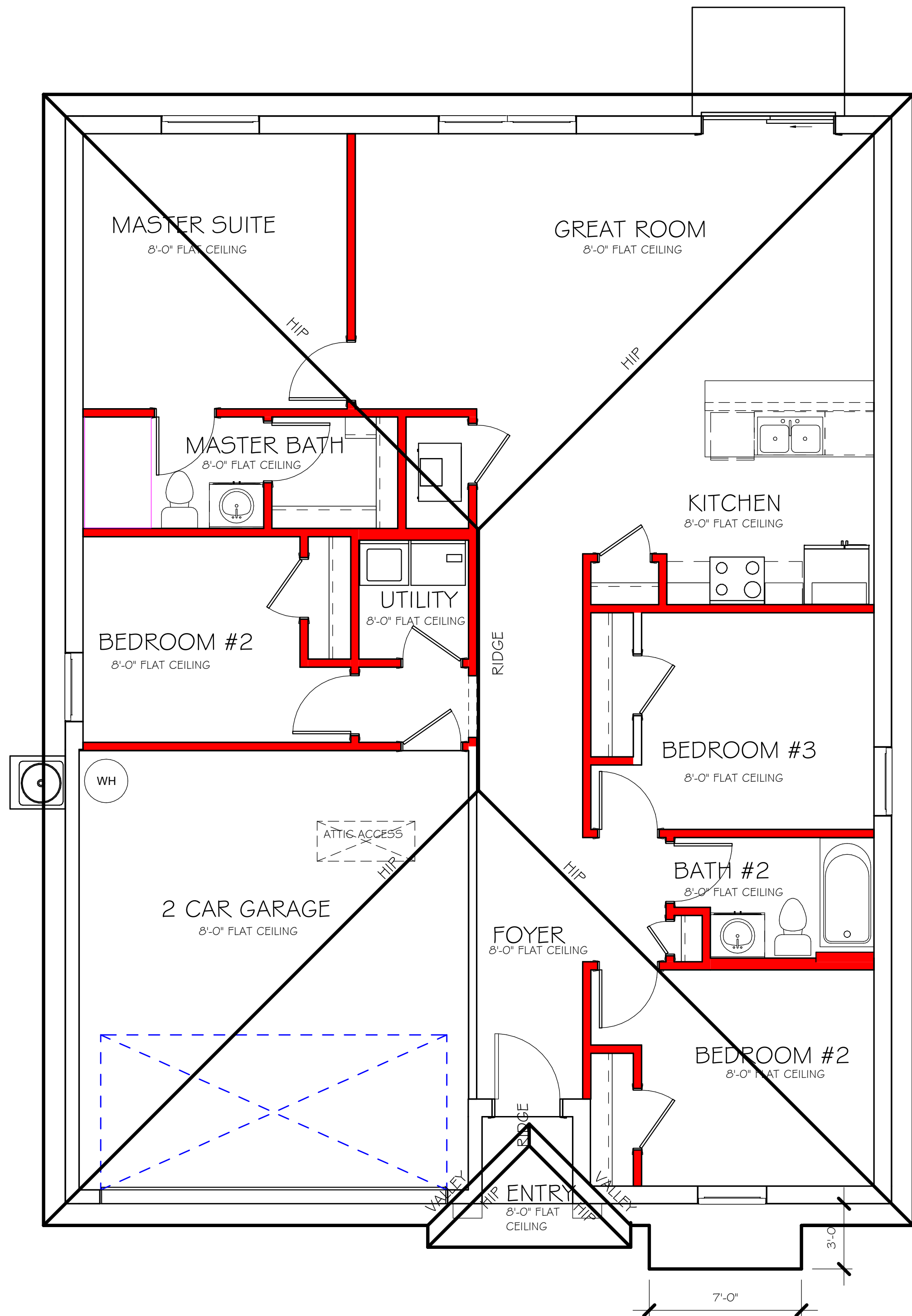
COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS

AREAS (SQ. FT.)			SOFFIT ONLY (1/150) (NO ROOF VENTS)			WITH ROOF VENTS (1/300) (R.V.)		
ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED		
MARK	ATTIC	SOFFIT	ATTIC AREA/50	REQD AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT
1st STORY	2080.0 SQ. FT.	180.0 SQ. FT.	13.87 SQ. FT.	7.71%	8.15%	~ SQ. FT.	~	~%
			"SOFFIT ONLY" QUALIFIES			ROOF VENTS ARE NOT REQUIRED		
			SOFFIT MODEL  ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW			ROOF VENT MODEL 32" BASE 22-3/8" BASE  LOMANCO 770-D 0.97 SQ. FT. FREE AIR		

BEARING HEIGHT



= BEARING @ 8'-0"


































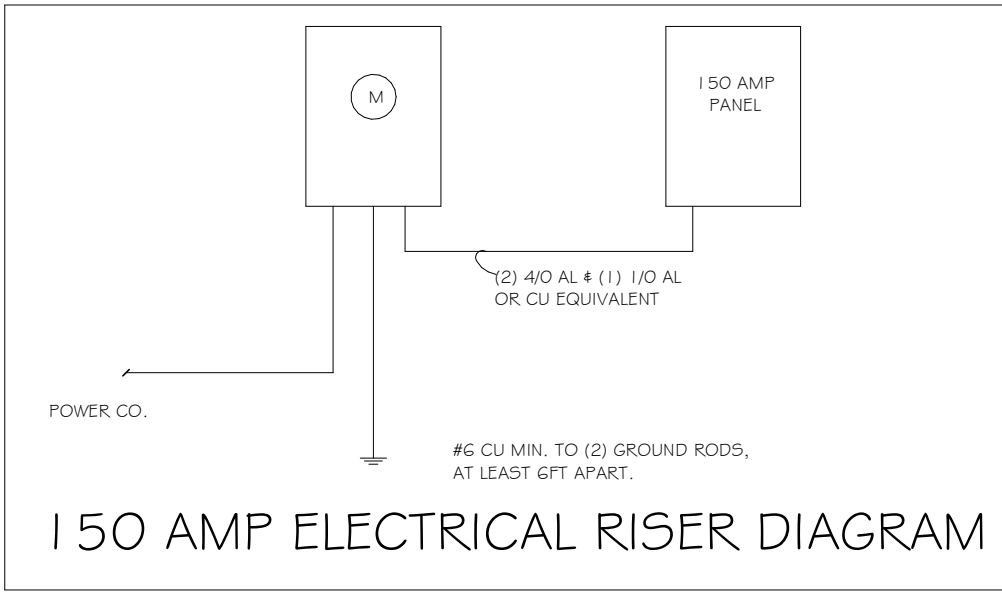
ROOF PLAN

1/4" = 1'-0"

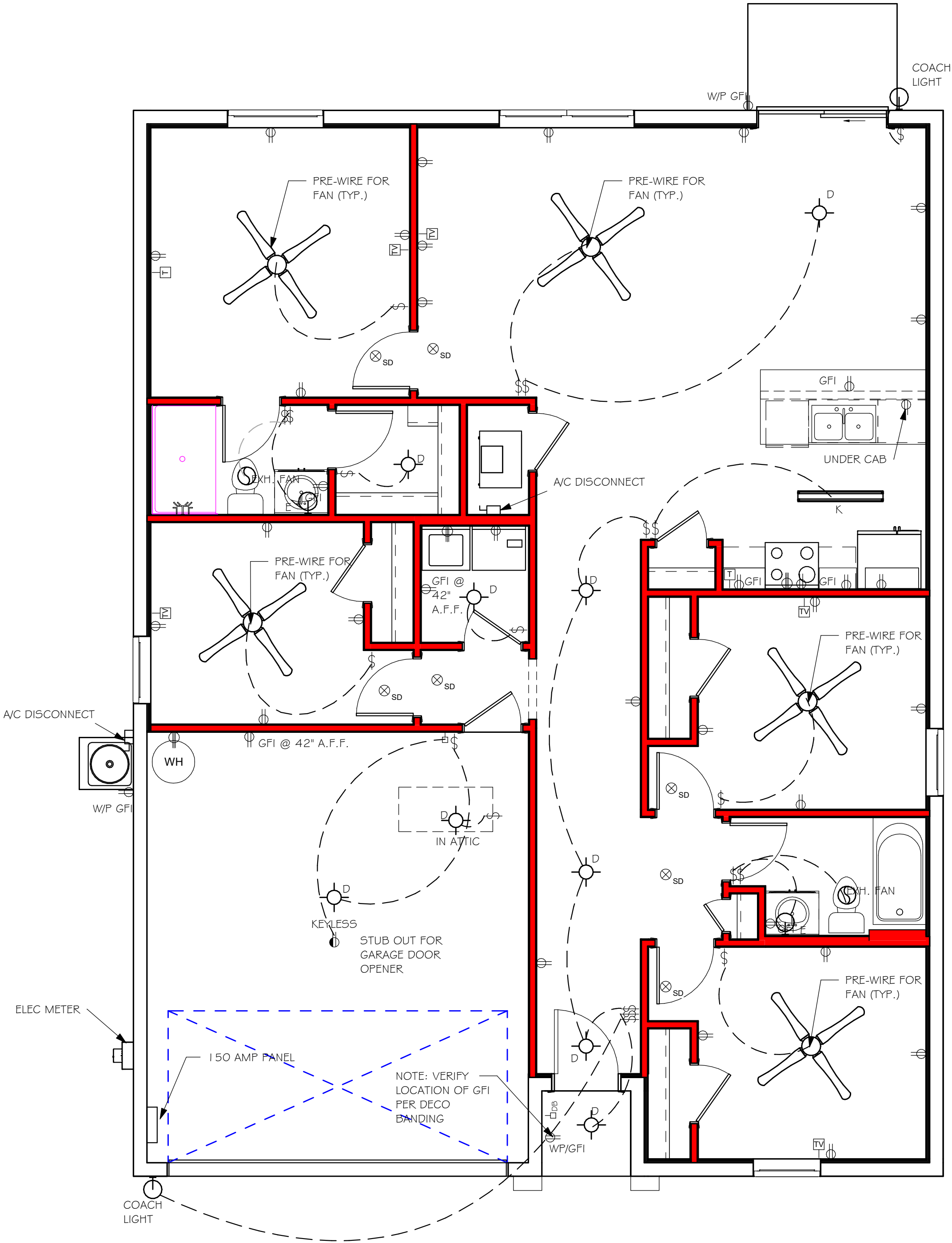
DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION

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1625 NW 6TH AVE 1499 BUREAU\10439 1499 BL.v4

ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE AT ELEV. A.F.F.
	DUPLEX RECEPTACLE - ABOVE COUNTER
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
  	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES, PER RULE 9B-3.04.72 SD (SMOKE DETECTOR) SCD (CARBON MONOXIDE/ SMOKE DETECTOR)
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	RECESSED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON (PB) / DOOR BELL (DB)
	INTERCOM
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT
NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.	
ELECTRICAL NOTES: ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.1.1 ALL ELECTRICAL EQUIPMENT TO BE SET AT OR ABOVE BASE FLOOD ELEVATION. ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S. INSTALL PHONE AND T.V PER CONTRACT. INSTALL ALL ELECTRICAL PER NEC 2014	




ELECTRICAL PLAN		
150 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(X)	(RECESSED CANS)
B	(X)	(VAPORS)
C	(X)	(PENDANT LIGHT
D	(9)	(10" MUSHROOMS)
E	(2)	(24" 3 LT)
F	(X)	(36" 4 LT)
G	(X)	(NOT USED)
H	(2)	(COACH LIGHTS)
I	(X)	(COACH LIGHTS)
J	(X)	(J BOX)
K	(1)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(SLT CHANDELIER)
N	(X)	(3 LT.)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)




ELECTRICAL PLAN  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION



**D.R. HORTON**  
NYSE  
*America's Builder*



**Gulf Coast**  
Drafting & Design, Inc.  
EMAIL: [PLANS@GULFCOASTDRAFTING.COM](mailto:PLANS@GULFCOASTDRAFTING.COM)  
PHONE: 239-540-1822  
1515 SE 47th ST. CAPE CORAL, FL 33904

SUBDIVISION: CAPE CORAL SPOT LOTS

ADDRESS: 1625 NW 6TH AVE

MODEL  
#1499 B

GCD JOB # 10439

DATE: 07/24/18

DRAWN BY: JSL

CHECKED BY: JWC

REVISED:

PLAN: ELECTRICAL

SCALE: As indicated

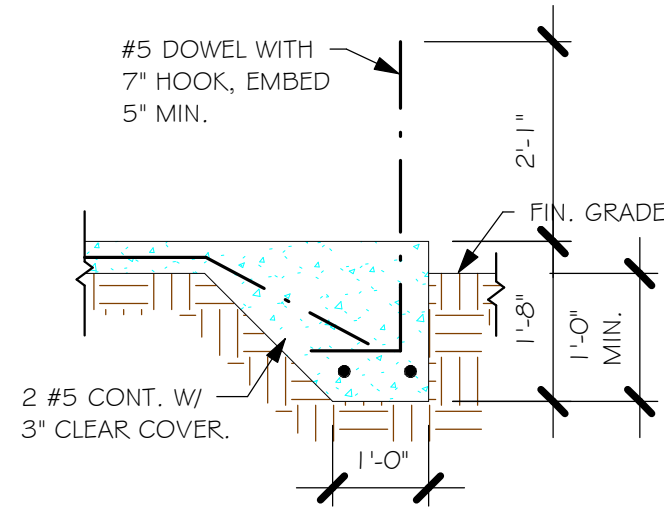
A-5



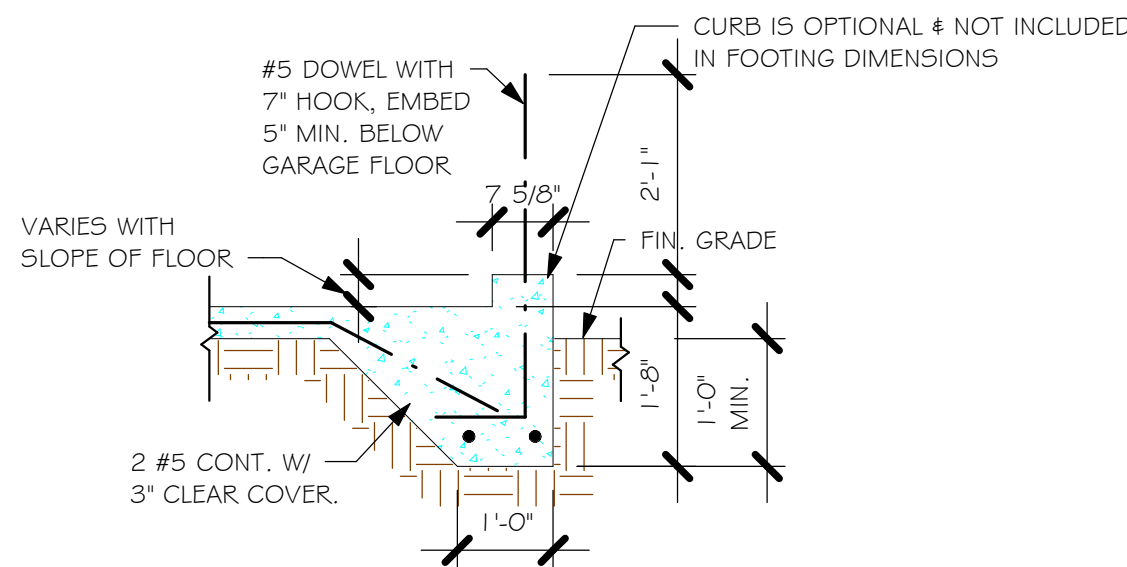




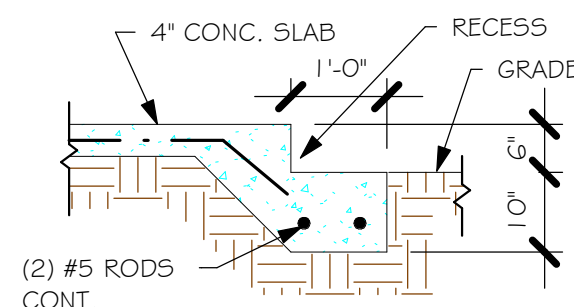
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1625 NW 6TH AVE 1499 BUREAU\10439 1499 BL.v4



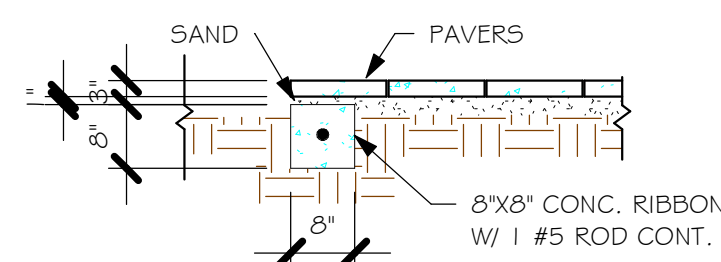
"F3" FOOTING  
1/2" = 1'-0"



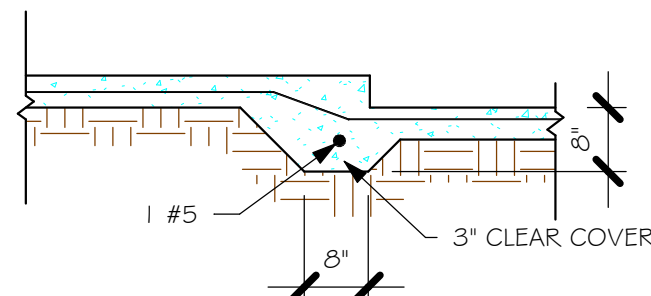
"F3" WITH CURB AT GARAGE  
1/2" = 1'-0"



GARAGE DOOR RECESS  
1/2" = 1'-0"



"P" PAVERS DETAIL ENTRY/ LANAI  
1/2" = 1'-0"



"F6A" STEP DOWN  
1/2" = 1'-0"

USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINF.		REMARKS
					LONG WAY	SHORT WAY	
X	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5	-
X	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5	-
X	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5	-
X	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5	-
X	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5	-

USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING	SHAPE	
X	F1	CONT.	1'-4"	0'-8"	2-#5		
X	F2	CONT.	1'-8"	0'-10"	2-#5		
X	F3	CONT.	1'-0"	1'-8"	2-#5		
X	F4	CONT.	1'-4"	1'-8"	2-#5		
X	F5	CONT.	1'-4"	1'-0"	2-#5		
X	F6	CONT.	1'-4"	1'-0"	2-#5		
X	F6A	CONT.	0'-8"	0'-8"	1-#5		
X	TE	CONT.	0'-8"	0'-8"	1-#5		

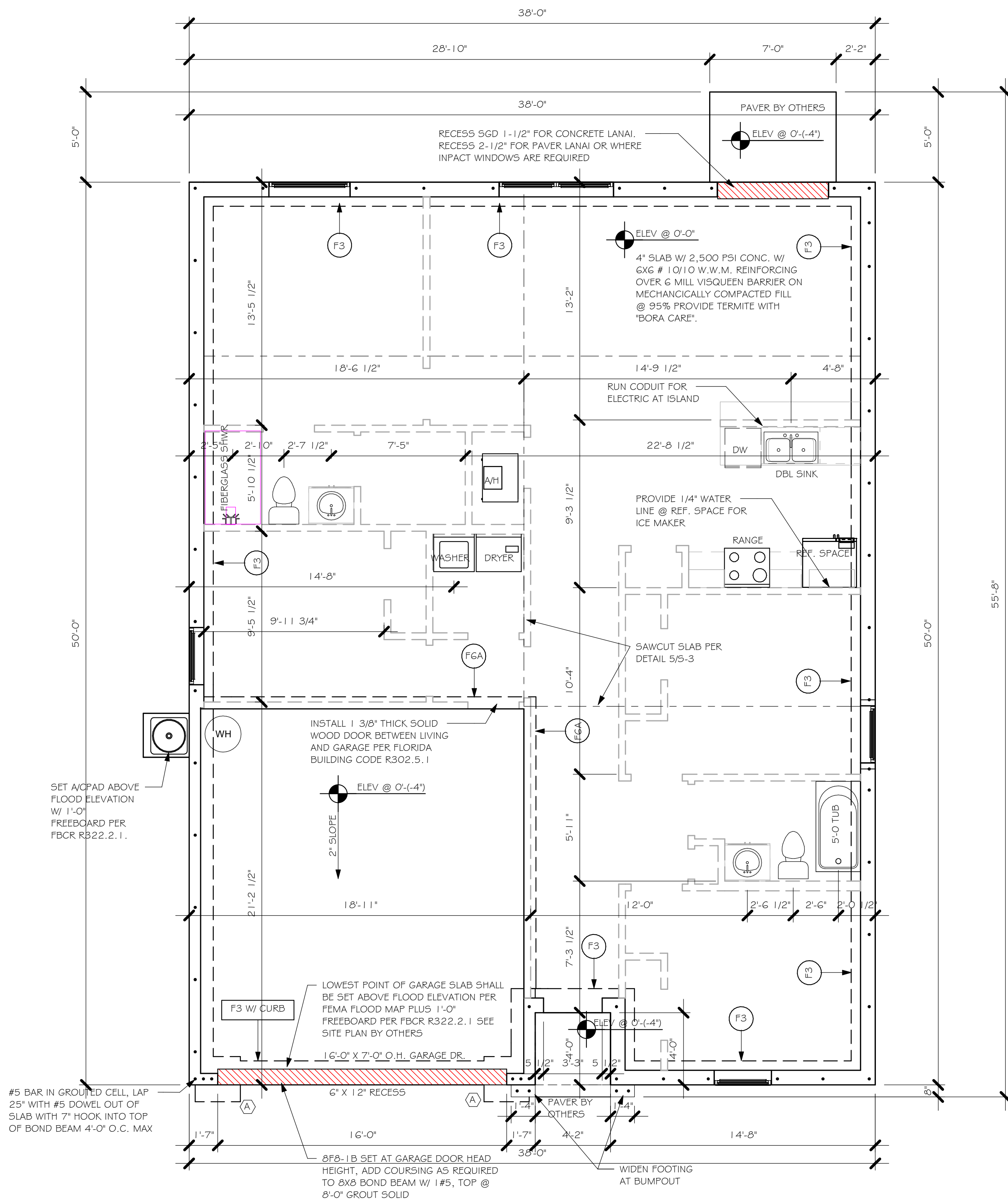
ADD CURB TO GARAGE, SEE DETAIL.

### FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

#### PLAN NOTES:

1. TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0".
2. "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
3. (#) DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
4. PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
5. ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
6. FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/ DOOR SUPPLIER.
7. PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.



FOUNDATION  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION

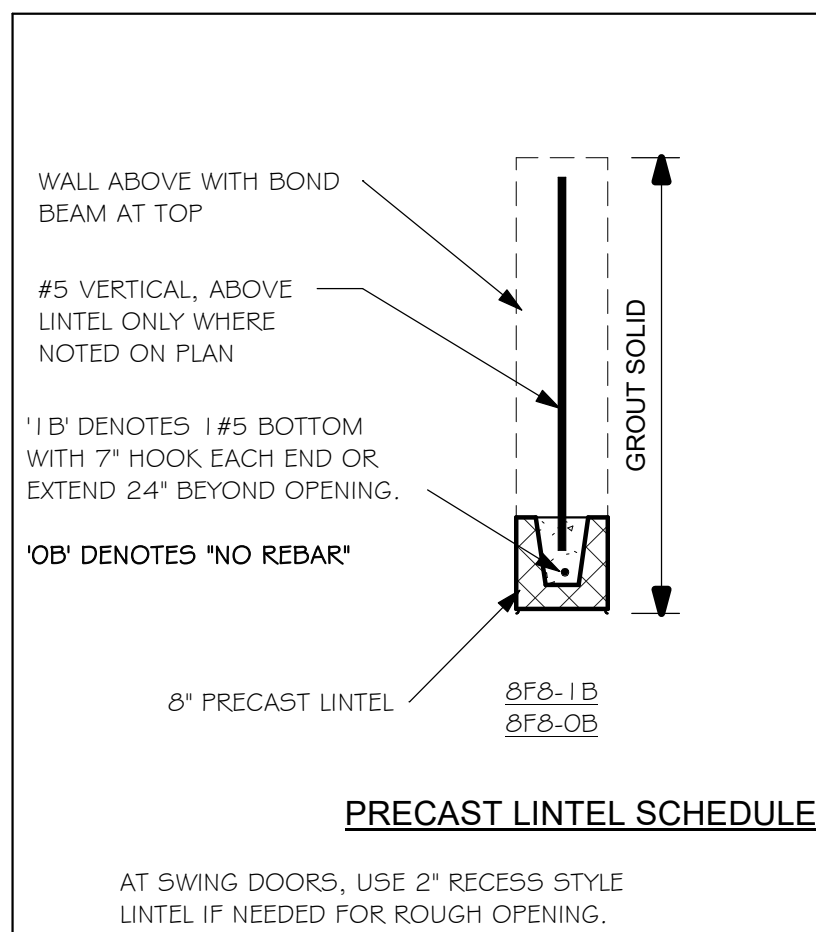
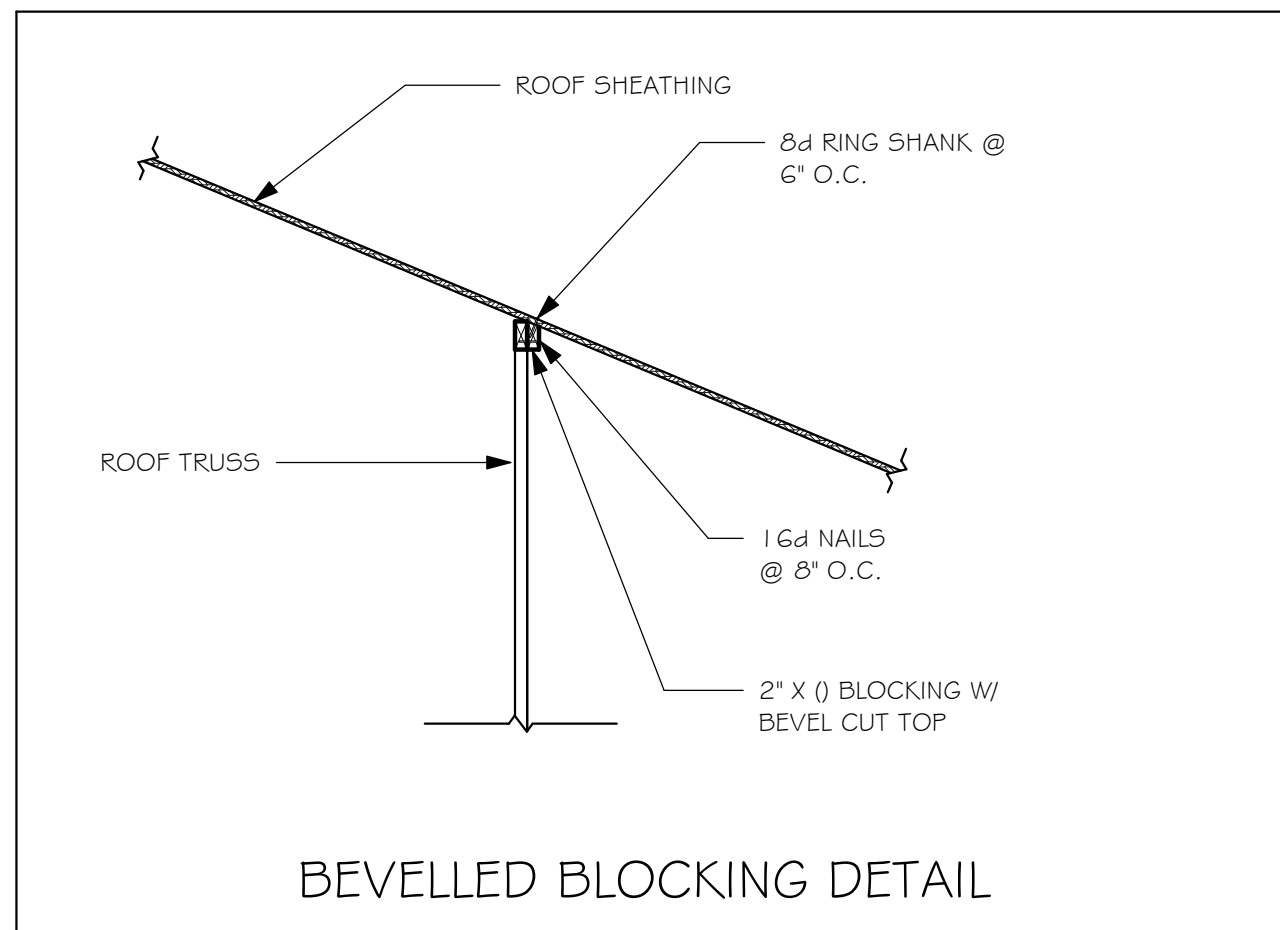


NOTES:

1. PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON -C/L OF WALL.
2. CONNECTORS ARE USP STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.
3. WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER 2/5-4.
4. 'ATR' = ALLTHREAD. DRILL AND EPOXY WITH USP EPOXY PER MFR. INSTRUCTIONS.

REV

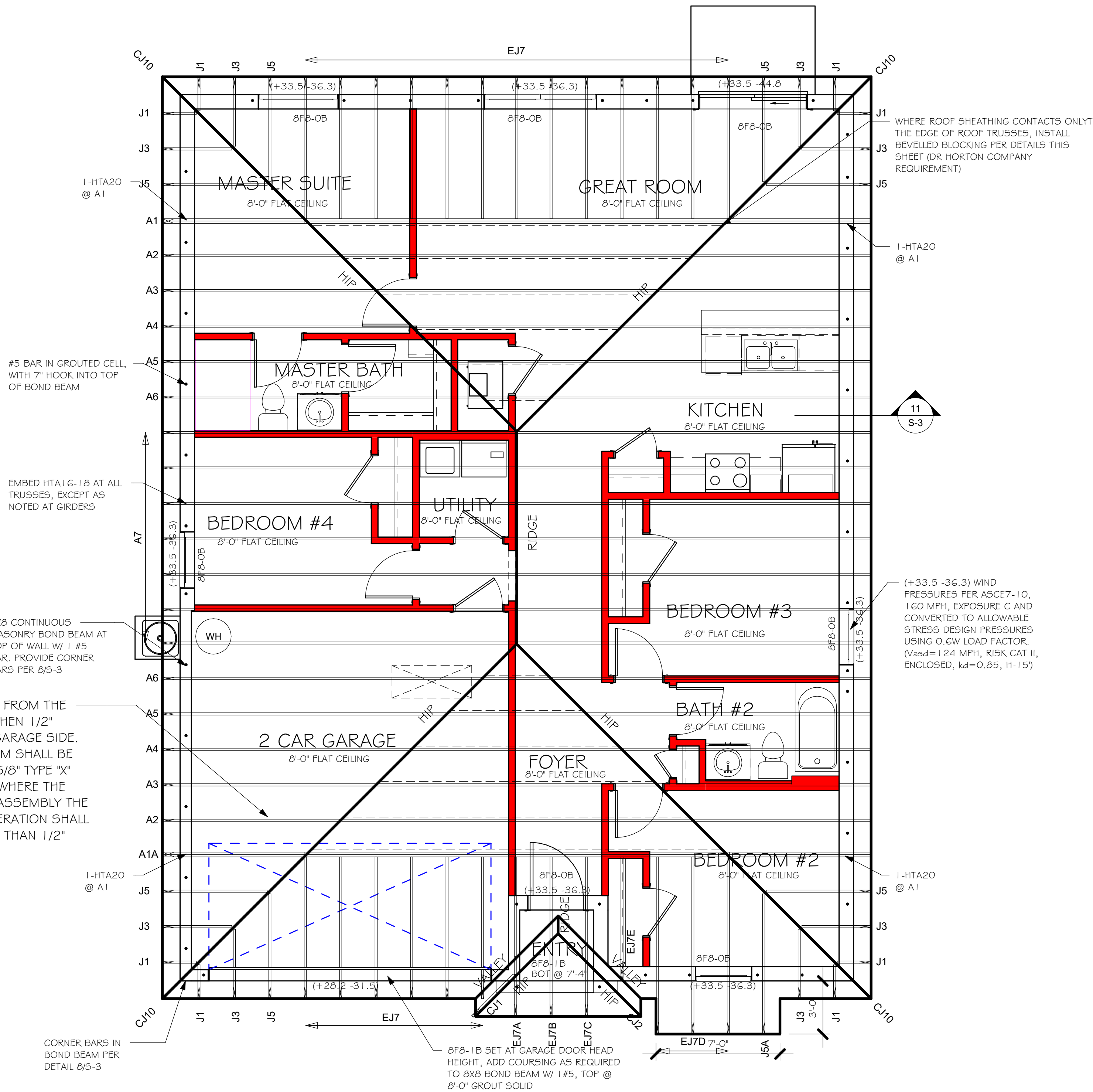
TRUSS STRAPPING TO MASONRY		
MAX TRUSS UPLIFT @ 24" OC (LBS)	CONNECTOR	FASTENER
1615	(1) HTA16-18	10-10dx 1/2", EMBED 4"
1870	(1) HTA20	10-10dx 1/2", EMBED 4"
2430 (1 PLY)	(2) HTA16-18	10-10dx 1/2", EMBED 4"
2800 (2 PLY)	(2) HTA16-18	10-10dx 1/2", EMBED 4"
3170 (2 PLY)	(2) HTA20	10-10dx 1/2", EMBED 4"
5005	HTT45	5/8" ATR, EPOXY 12"



1. ROOF TRUSS BEARING 8'-0", SEE LEGEND.
2. ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET 5-3.
3. PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET.
4. FOR NAILING OF ROOF AND FLOOR DECK, SEE I AND ON 5-3.
5. **AFS-1B** etc., DENOTES PRECAST UNTEL ABOVE DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET.
6. AT TRUSS BEARING, PROVIDE 8x8 MASONRY BOND BEAM W/ I #5 CONTINUOUS, SEE DETAIL I I/5-3.

= BEARING @ 8'-0"

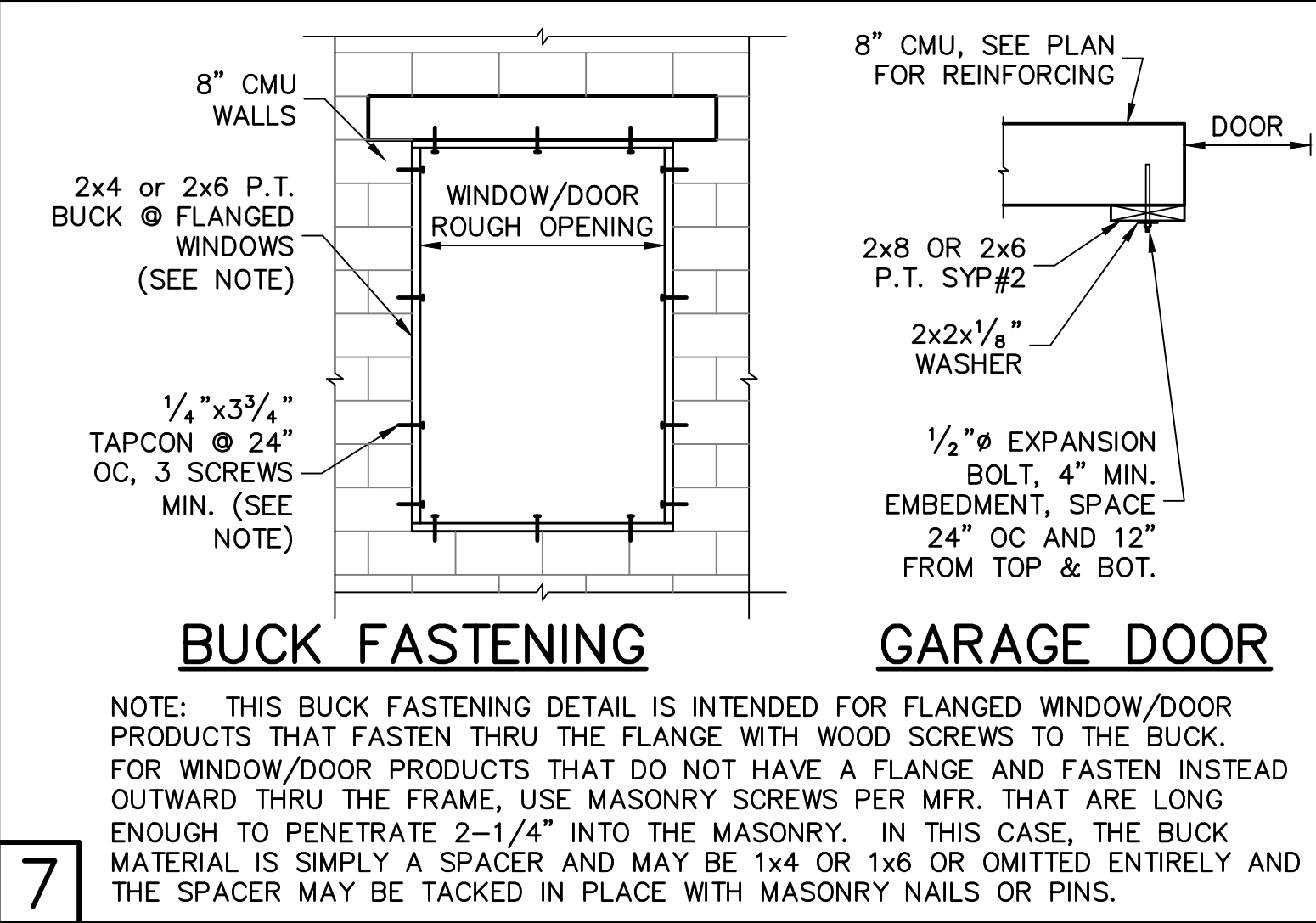
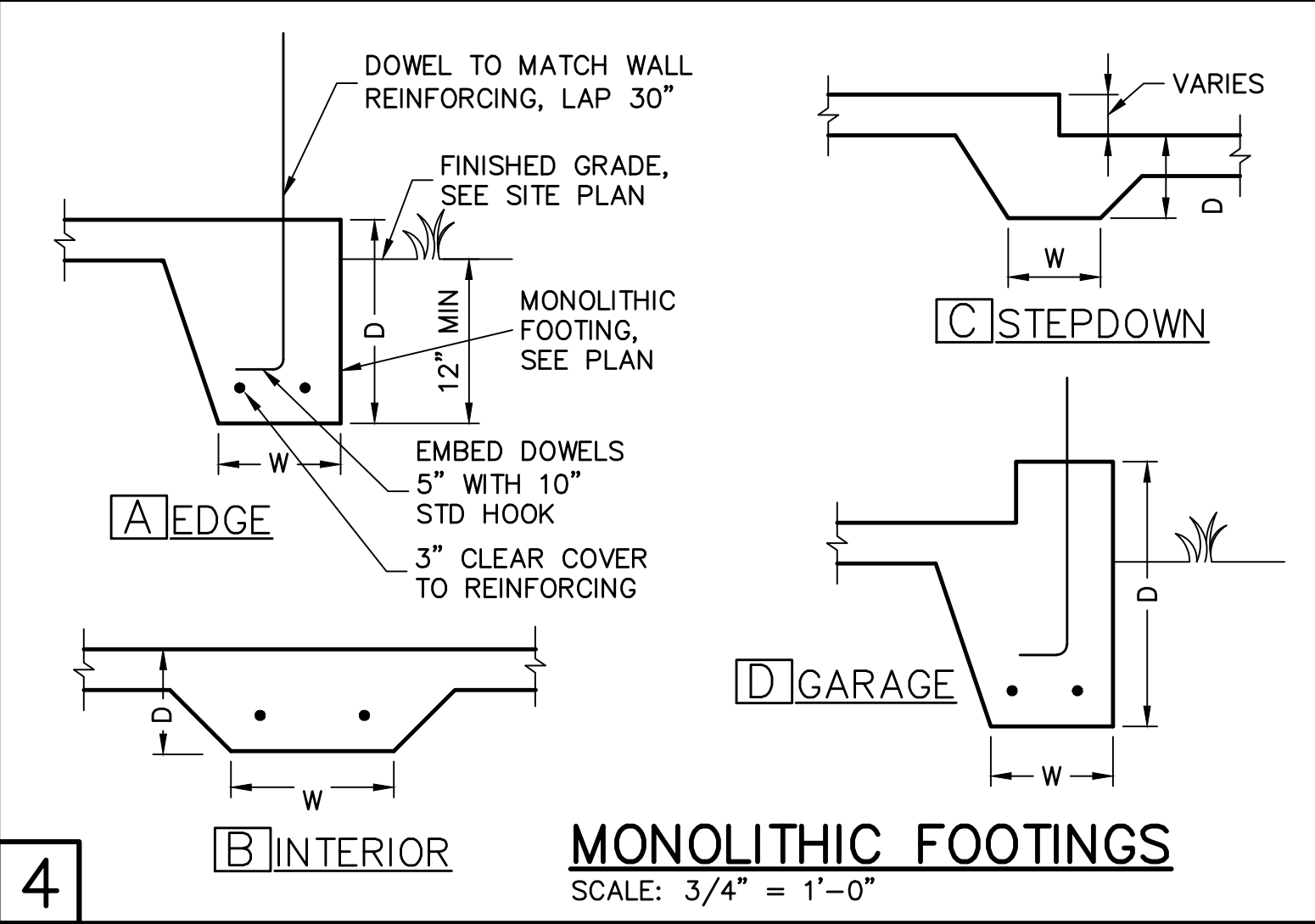
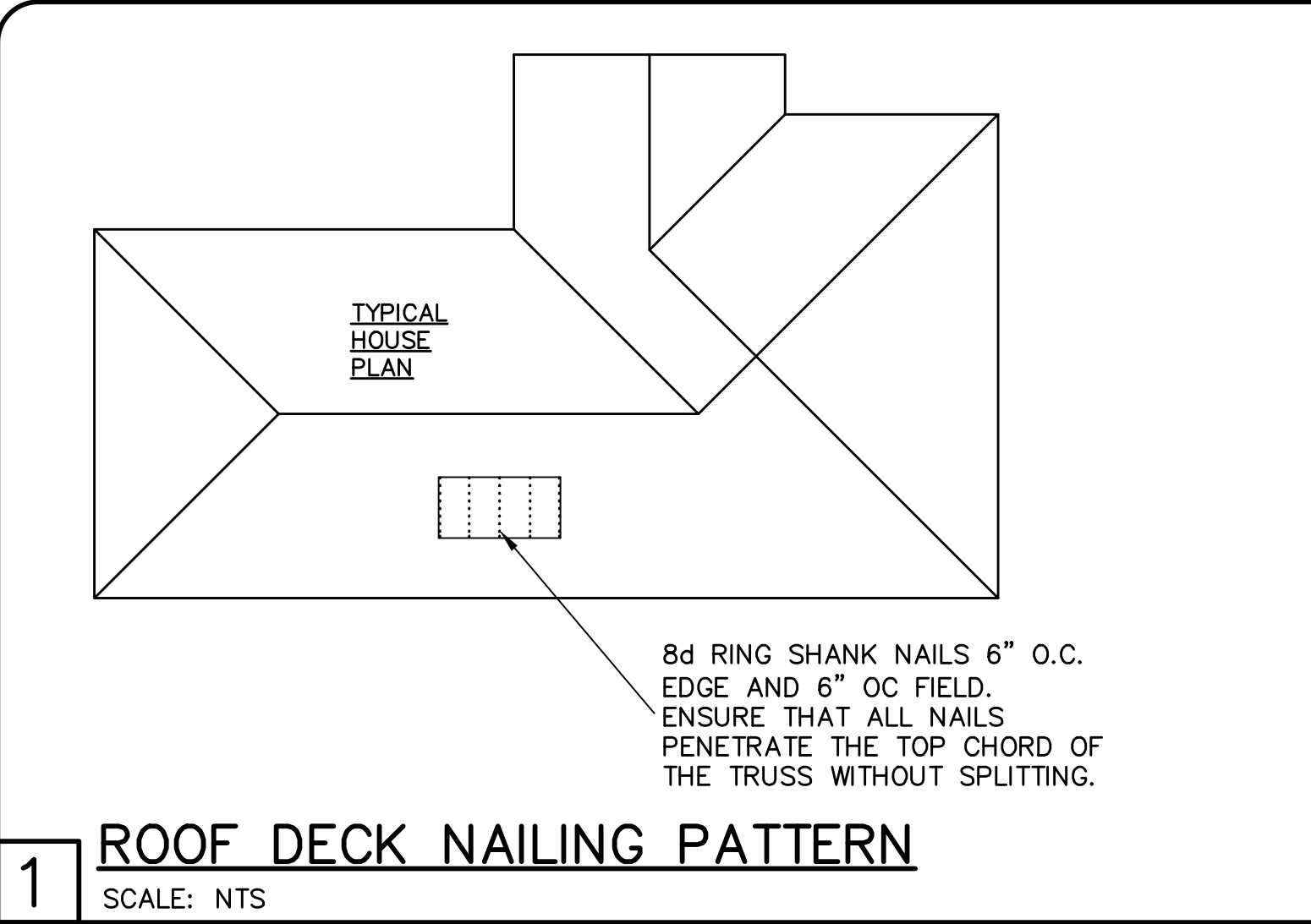
TRUSS BEARING CONDITIONS AND  
STRAPPING IS BASED ON TRUSS LAYOUT  
PREPARED BY SCOSTA JOB# 44116 B  
DATED: 05/24/18 REVISED NONE



ROOF FRAMING PLAN  
1/4" = 1'-0"

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**RETROFIT STRAPS TO CONCRETE/MASONRY**

TRUSS UPLIFT (LBS) @ 24" OC	CONNECTOR
TO 1145	1-HTWM16 or 20
TO 1145	1-HTWM16 or 20
TO 2290	2-HTWM16 or 20
TO 4520	2-LUGT2
TO 3610	HTT16
TO 9790	HGT-2/3

NOTES:  
1) WHERE EMBEDDED STRAP IS MISSING OR MIS-LOCATED, PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.  
2) CONNECTORS ARE USP. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS.  
3) CONCRETE SCREW SHALL BE WEDGE-BOLT+, TITEN, TAPCON OR EQUIVALENT.

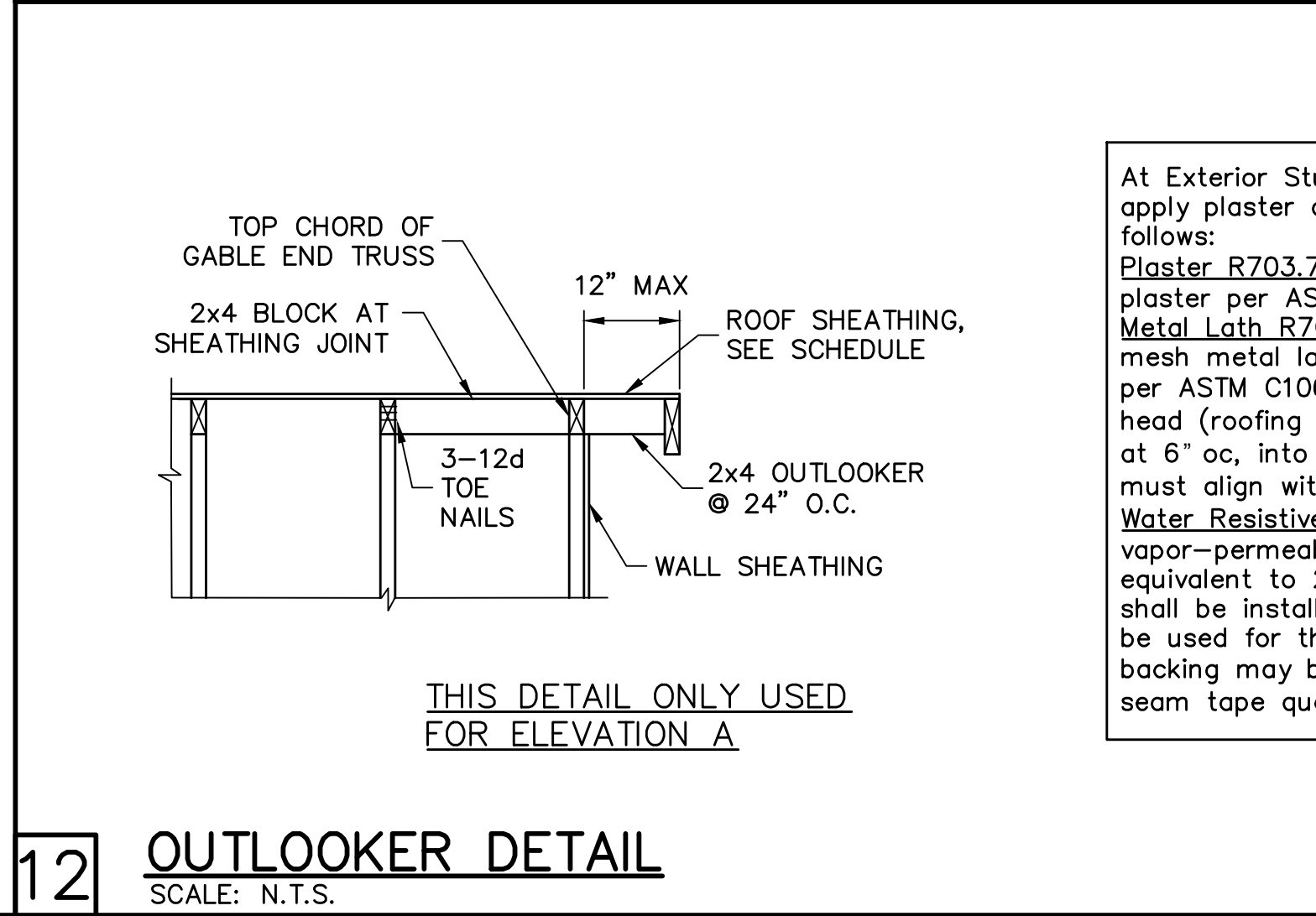
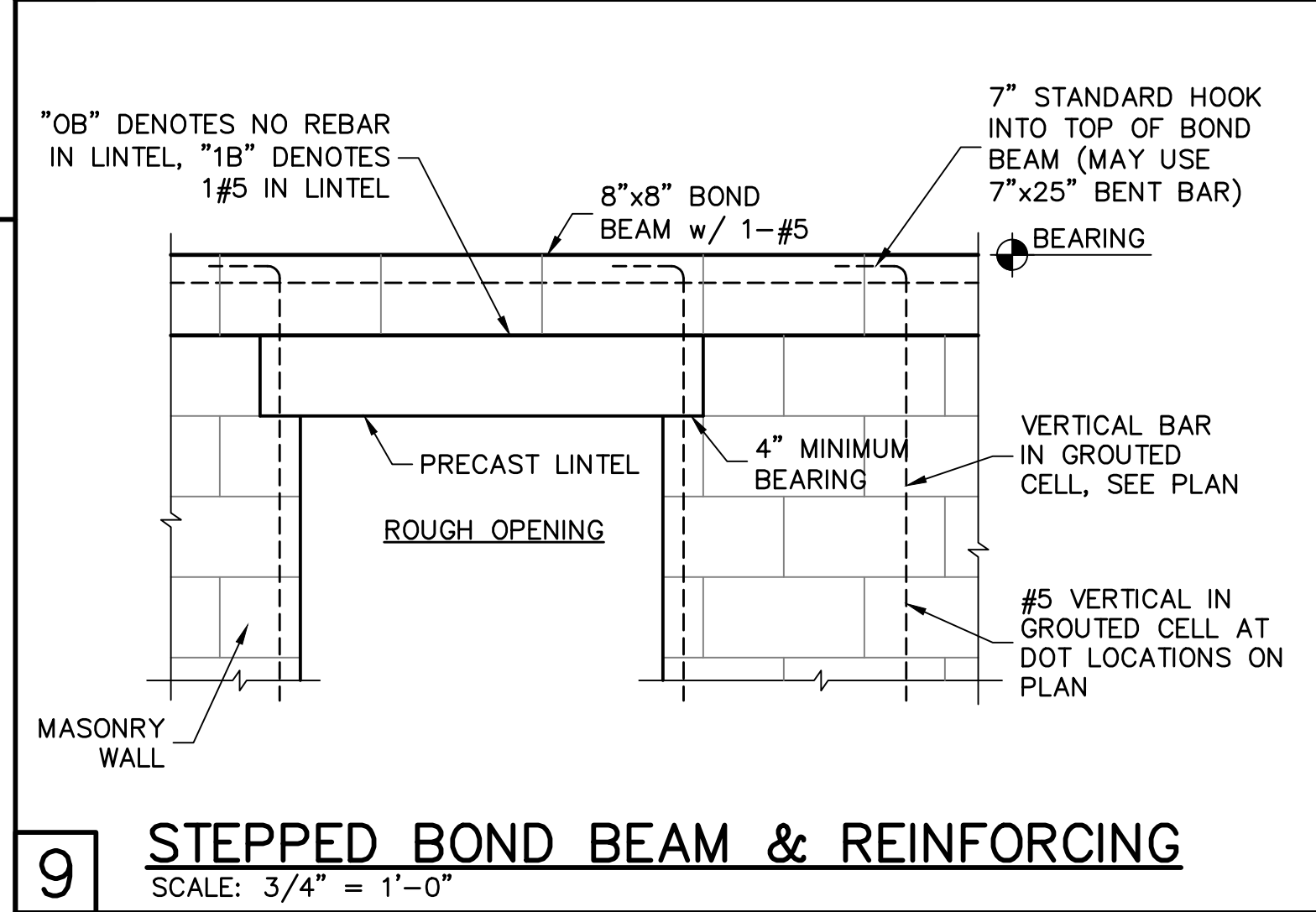
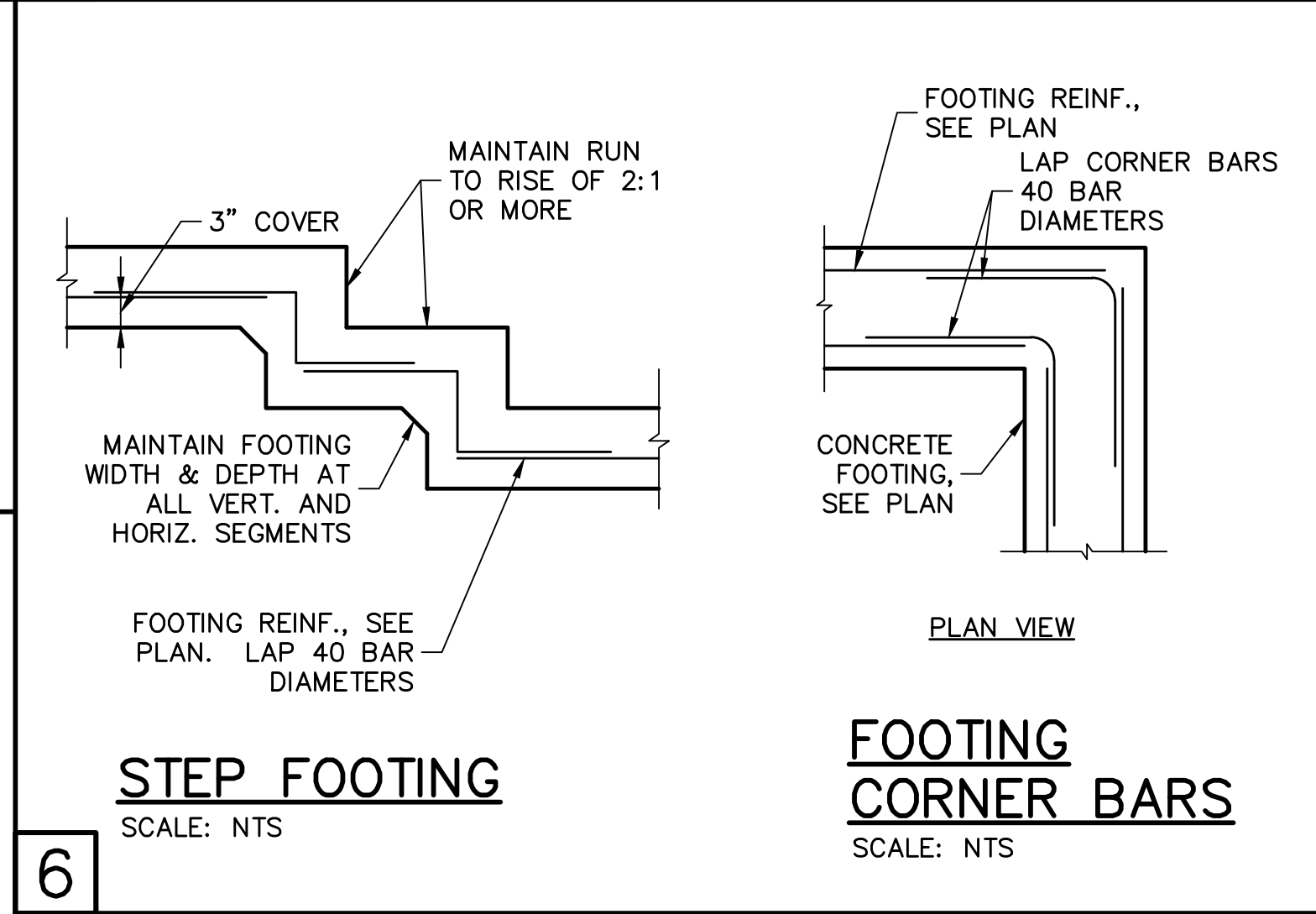
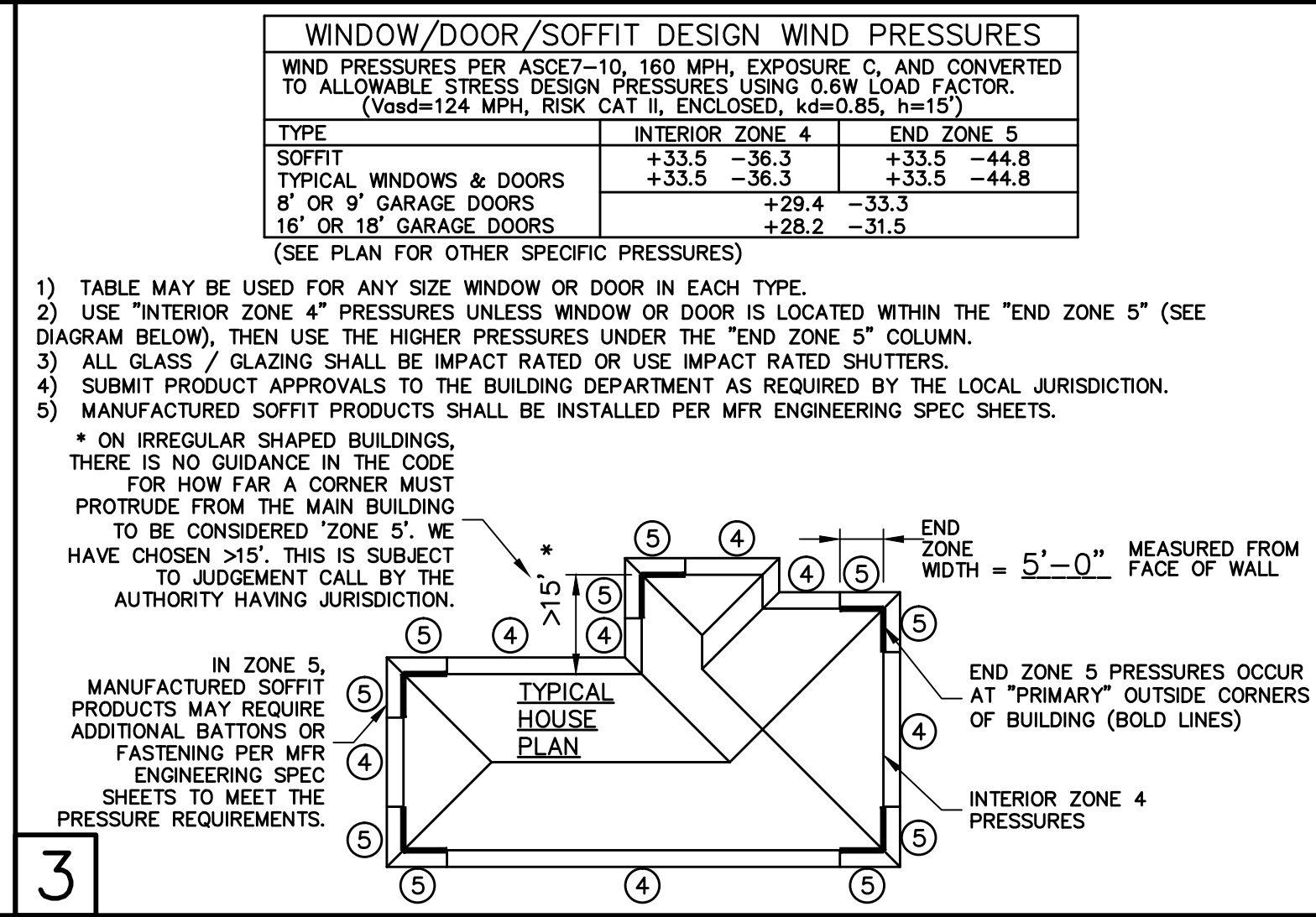
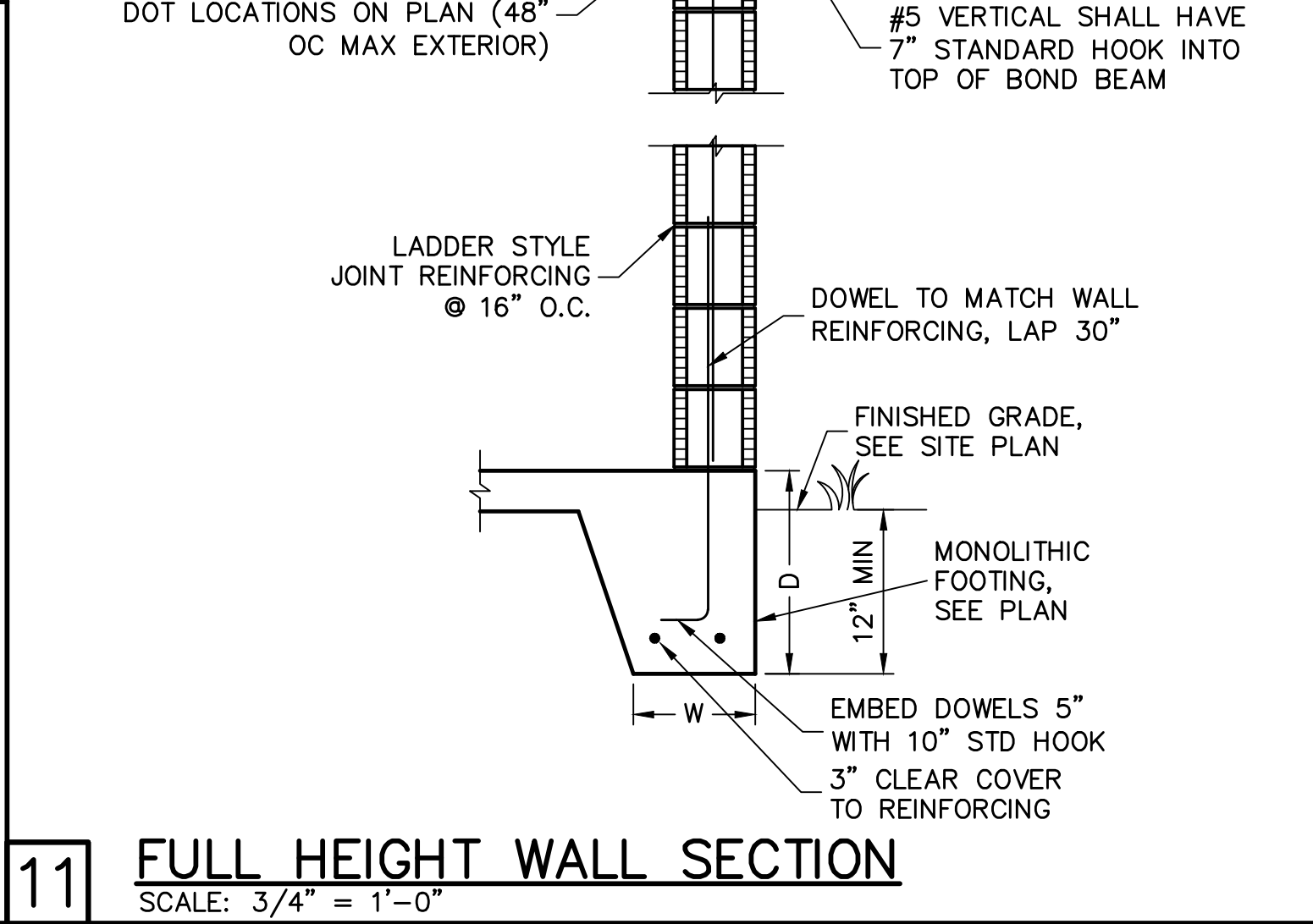
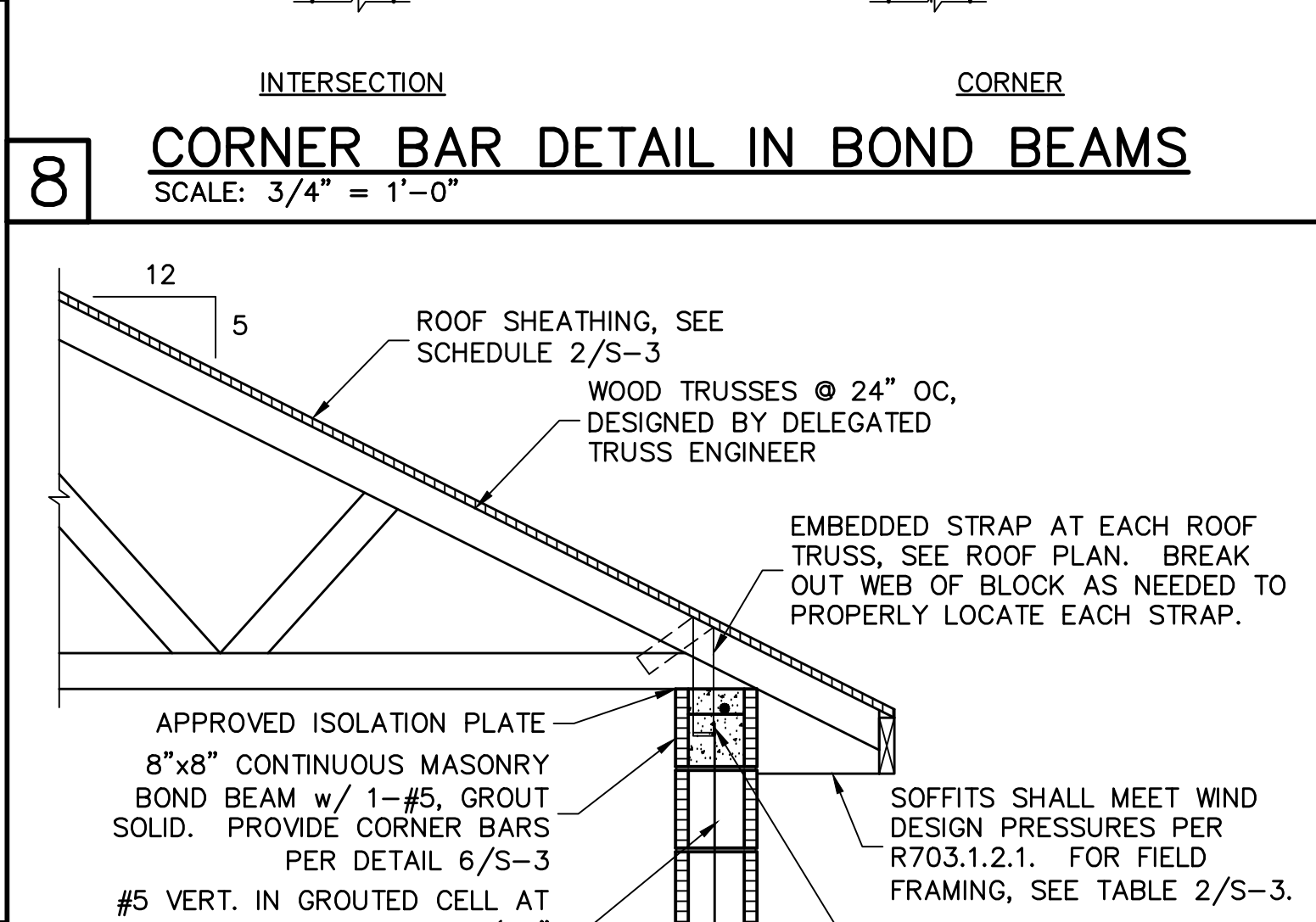
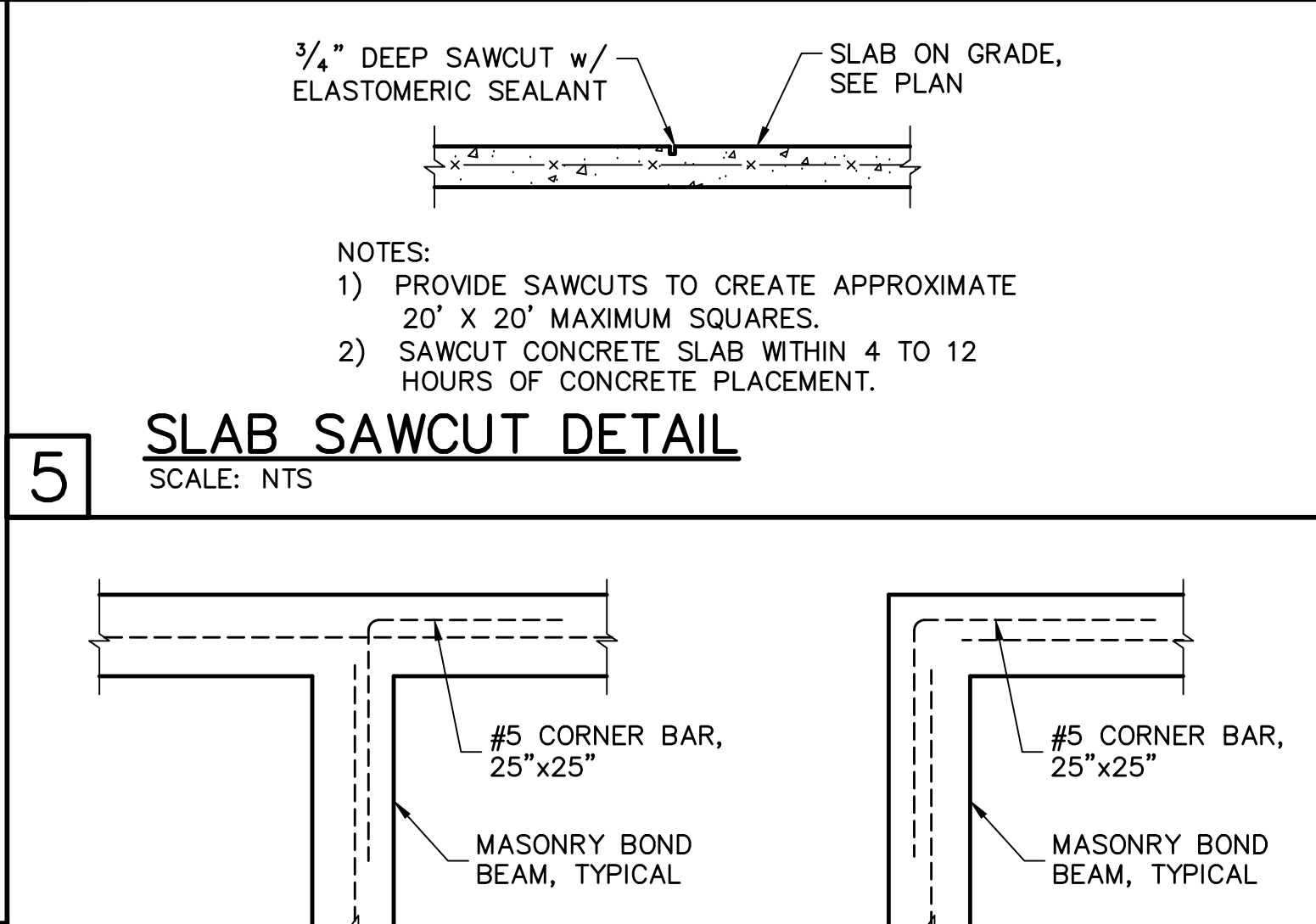
**10 RETROFIT UPLIFT CONNECTOR SCHEDULE**

**SHEATHING SCHEDULE**

EXTERIOR STUD WALL	FLOOR
7/16" ZIP SYSTEM WALL SHEATHING BY HUBER ENGINEERED WOODS LLC, NAILED W/ 8d COMMON WIRE @ 6" O.C. EDGE AND 6" O.C. FIELD. PROVIDE 2x4 BLOCKING AT ALL JOINTS. INSTALL SHEATHING AND SEAM TAPE IN STRICT ACCORDANCE WITH MFR. WRITTEN INSTRUCTIONS.	N/A
ROOF	EXTERIOR CEILING AND SOFFIT
A.P.A. RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. FASTEN WITH 8d RING SHANK NAILS @ 6" O.C. EDGE AND 6" O.C. FIELD.  (WHEN 1/2" ZIP BRAND ROOF SHEATHING IS USED, H-CLIPS ARE NOT REQUIRED)  (RING SHANK NAILS PER R803.2.3.1: 0.113" NOMINAL SHANK DIAMETER, RING DIA. OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH)	OPTIONS: 1) 1x4 STRIPPING @ 16"OC w/ 2-8d NAILS TO EACH TRUSS, 3/8" EXTERIOR GYPBOARD CEILING, FASTEN W/8d NAILS OR 1 5/8" DRYWALL SCREWS @ 6"OC EDGE & FIELD. 2) 3/8" BC PLYWOOD NAILED W/ 6d COMMON @ 6" OC EDGE & FIELD. 3) VINYL OR ALUMINUM PERFORATED SOFFIT INSTALLED PER MANUFACTURER INSTRUCTIONS TO MEET WIND PRESSURES PER R703.1.2.1.

**NOTE:** EXTERIOR CEILINGS AND SOFFITS 1) AND 2) SPECIFIED HERE MEET THE DESIGN WIND PRESSURES PER R703.1.2.1.

**2**



DESIGN CRITERIA:  
DESIGN IN ACCORDANCE WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE 6TH EDITION (2017) RESIDENTIAL

1. FLOOR & ROOF UNIFORM LOADS:  
ELEVATED FLOORS: LIVE LOAD 40 PSF, DEAD LOAD 20 PSF  
ROOF: LIVE TOP CHORD 20 PSF  
LIVE BOTTOM CHORD 10 PSF (NON-CONCURRENT w/ TOLL)  
CEMENT ROOF TILE DEAD LOAD 25 PSF TOTAL  
SHINGLE/METAL ROOFING DEAD LOAD 15 PSF TOTAL  
MINIMUM DEAD LOAD FOR WIND: TC 5 PSF, BC 5 PSF  
DEFLECTION CRITERIA:  
FLOOR L/480 LIVE, L/360 TOTAL  
ROOF L/240 LIVE, L/180 TOTAL

2. WIND LOADS:  
WIND DESIGN PER, ASCE7-10  
BASIC WIND SPEED (ASCE7-10) 160 MPH  
NOMINAL WIND SPEED (Vgnd TABLE R301.2.1.3) 124 MPH  
BUILDING CATEGORY II  
IMPORTANCE FACTOR 1.00  
EXPOSURE C  
MEAN ROOF HEIGHT = 15 FT  
ROOF PITCH 5/12  
ENCLOSURE CLASS C  
INTERNAL PRES. COEFF. +/- 0.18  
WINDOW/DOOR DESIGN WIND PRESSURE, SEE TABLE IN DETAIL 3.  
SOFFITS - PER R703.1.2.1, ALL SOFFITS SHALL BE CAPABLE OF RESISTING THE DESIGN PRESSURES SPECIFIED IN TABLE R301.2(2) FOR WALLS.

3. REINFORCED CONCRETE:  
DESIGN AS PER ACI 318-14  
REQUIRED COMPRESSIVE STRENGTH AT 28 DAYS:  
SLAB ON GRADE f'c = 2500 PSI  
3/4" MINIMUM THICKNESS REINFORCED WITH 6x6 w1.4xw1.4 WWF OR FIBERMESH.  
CONVENTIONAL SHALLOW FOOTINGS f'c = 2500 PSI  
BEAMS AND COLUMNS f'c = 3000 PSI  
ALL OTHER CONCRETE (U.N.O.) f'c = 3000 PSI  
UNLESS OTHERWISE SHOWN ON DRAWINGS, MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS:  
FOOTINGS 3"  
SLAB ON GRADE CENTERED  
BEAMS 1 1/2"  
COLUMNS 1 1/2"  
ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE TYPICAL BENDING DIAGRAMS AND PLACING DETAILS OF ACI STANDARDS AND SPECIFICATIONS. ALL REINFORCING STEEL SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE.  
REINFORCING STEEL - ASTM A615 GRADE 40 FOR #3  
GRADE 60 FOR #4 TO #11  
  
WELDED WIRE FABRIC - ASTM A185  
  
SPICES IN REINFORCING, SHALL BE 40 BAR DIAMETERS. NON-CONTACT LAP SPICES MAY BE USED PROVIDED REINFORCING IS NOT SPACED MORE THAN 5" APART FOR #5 BARS.  
  
FORMWORK AND SHORING SHALL REMAIN IN PLACE UNTIL CONCRETE HAS REACHED AT LEAST 2/3 OF THE REQUIRED 28 DAY STRENGTH.

4. REINFORCED MASONRY:  
DESIGN PER ACI 530-13  
REQUIRED COMPRESSIVE STRENGTHS:  
MASONRY WALLS f'm = 1500 PSI  
  
REINFORCING STEEL - ASTM A615 GRADE 60.  
SPICES IN REINFORCING, SHALL BE 48 BAR DIAMETERS.  
ALL CONCRETE MASONRY UNITS SHALL BE COMPOSED OF ASTM C90, GRADE N-1 HOLLOW CONCRETE MASONRY UNITS WITH TYPE "S" MORTAR. GROUT ALL CELLS CONTAINING VERTICAL REINFORCEMENT WITH 3000 PSI PEA ROCK CONCRETE GROUT. ALL CELLS BELOW FINISHED GRADE SHALL BE GROUTED SOLID. ALL EXTERIOR WALLS SHALL BE REINFORCED FULL HEIGHT AT DOT LOCATIONS ON PLAN. PROVIDE HORIZONTAL JOINT REINFORCEMENT IN WALLS AT 16" OC VERTICALLY, UNLESS NOTED OTHERWISE. IN ADDITION, INSTALL JOINT REINFORCING IN THE FIRST TWO MORTAR JOINTS ABOVE AND BELOW OPENINGS, EXTENDING AT LEAST 24" BEYOND THE OPENING. LAP JOINT REINFORCING 6" MINIMUM.

5. DELEGATED-ENGINEERED WOOD ROOF TRUSSES:  
ALL WOOD ROOF TRUSSES SHALL BE DESIGNED BY A DELEGATED TRUSS ENGINEER PER RULE 61G15-31.003 OF THE FLORIDA ADMINISTRATIVE CODE. ALL TRUSSES SHALL HAVE TEMPORARY BRACING PER "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, H18-91." FOR OTHER BRACING REQUIREMENTS, NOTIFY ENGINEER. PROVIDE PERMANENT BRACING PER TRUSS MFR. SHOP DRAWINGS. IF PERMANENT BRACING IS NOT SPECIFIED, CONTACT ENGINEER.

6. FOUNDATION:  
CONVENTIONAL SHALLOW CONCRETE FOOTINGS 2000 PSF  
SOIL BEARING CAPACITY  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL CONDITIONS FOR THE INTENDED STRUCTURE AND ASSUMED SOIL BEARING CAPACITY.  
IT IS RECOMMENDED THAT A GEOTECHNICAL FIRM BE HIRED TO PERFORM A SITE EVALUATION.

7. DIMENSIONS: VERIFY ALL DIMENSIONS WITH HOUSE PLANS. SEE HOUSE PLANS, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. WHICH ARE NOT SHOWN ON STRUCTURAL DRAWINGS.

8. MEANS AND METHODS: THE STRUCTURAL ENGINEER SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, OR SEQUENCES: TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO SUPPORT STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CONSTRUCT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

9. SHOP DRAWINGS: SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED TO THE ENGINEER FOR REVIEW FOR ALL STRUCTURAL ELEMENTS UTILIZING PREFABRICATED COMPONENTS. ONE SET OF SIGNED & SEALED TRUSS ENGINEERING SHALL BE DELIVERED TO THE ENGINEER OF RECORD FOR THE STRUCTURE PER FLORIDA ADMINISTRATIVE CODE 61G15-30.005 AND 61G15-31.003.

FOR SCOSTA TRUSSES, ELEVATION B, JOB # 44116B, DATED: 05/24/18, REVISED: NONE

REVISIONS BY


STRUCTURAL ENGINEERING:  
**STRUCTURAL SYSTEMS OF NORTH FLORIDA**  
1634 S.E. 47th STREET, SUITE #2  
CAPE CORAL, FL 33904  
(239) 549-4554  
CA# 8629

DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6TH EDITION (2017) RESIDENTIAL

BUILDER:  
**D-R HOOTON**  
*America's Builder*

**STRUCTURAL DETAILS**  
**MODEL 1499 B**  
1625 N.W. 6TH AVENUE  
CAPE CORAL, FLORIDA  
SUBDIVISION: CAPE CORAL SPOT LOTS

DESIGN/DRAWN  
DWB/DWB  
CHECKED  
DWB  
DATE  
07/18/18  
SCALE  
VARIES  
JOB NO.  
DR10439  
SHEET

**S-3**

SHEET 3 OF 3