

****UNLESS NOTED****
REACTION VALUES ARE UNDER 5000#
UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24"o.c. UNLESS NOTED OTHERWISE
*******CAUTION*******
DO NOT ATTEMPT TO ERECT TRUSSES WITHOUT REFERRING TO THE ENGINEERING DWGS.
IT IS NECESSARY TO REFER TO THE ENGINEERING DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION, ORIENTATION AND WEB BRACING
REFER TO WTCA/TPI BSCI-B1 SUMMARY SHEET FOR HANDLING METHODS & TEMPORARY BRACING, WHICH IS ALWAYS REQUIRED
BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA CORP. "A"/"B" BEARING DIFFERENCES SHOWN ARE CRITICAL. IF ANY HEIGHTS DEVIATE - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS		
	0'-0"	ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

HANGER SCHEDULE		
(C) USP HUS 26	(M) USP THDH 28-3	
(F) USP HUS 28	(N) USP THD 48	
(H) USP THDH 28	(P) USP JUS 24	
(I) USP THDH 28-2	(B) USP MSH 422	
(W) USP HJC 26	(X)	

HANGER VALUES HAVE BEEN BASED ON 16D COMMON NAILS EXCEPT THE FOLLOWING:
LUS24 - 10D COMMON THJA26 - 10D x 1-1/2

*******ATTENTION*******
APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS, PITCHES, OVERHANGS, ELEVATIONS, CEILING & BEARING CONDITIONS. SCOSTA CORPORATION IS RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH PLANS AND/OR INFORMATION PROVIDED BY CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN, CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF INFORMATION AND PLANS PROVIDED TO SCOSTA CORPORATION, AND TO VERIFY CONFORMANCE TO FIELD CONDITIONS, AND/OR OWNER CHANGES. TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE APPROVED LAYOUT.
APPROVED BY: _____
DATE: _____ REQUESTED DELIVERY DATE: _____
JOBSITE CONTACT NAME: _____
PHONE #: _____
E-MAIL: _____

SCOSTA CORP.

WOOD, STEEL OR TIMBER
ROOF & FLOOR TRUSSES

3670 COMMERCE CENTER DRIVE
SEBRING, FL 33870
(863) 385-8242

SCALE:
1/4"=1'-0"

DATE:
09/14/18

REVISED BY:

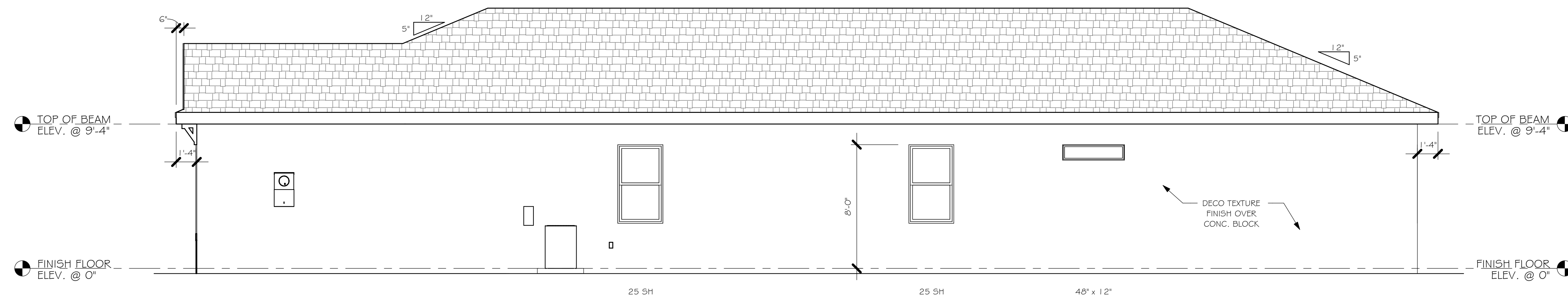
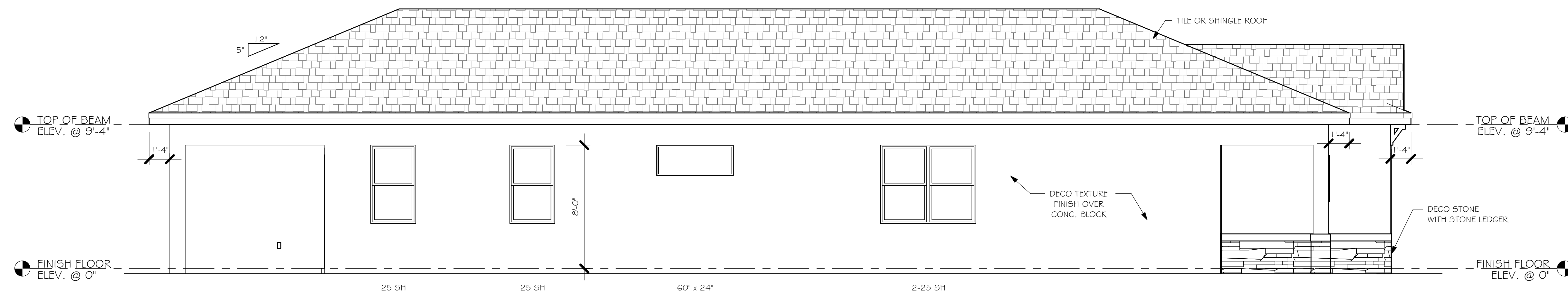
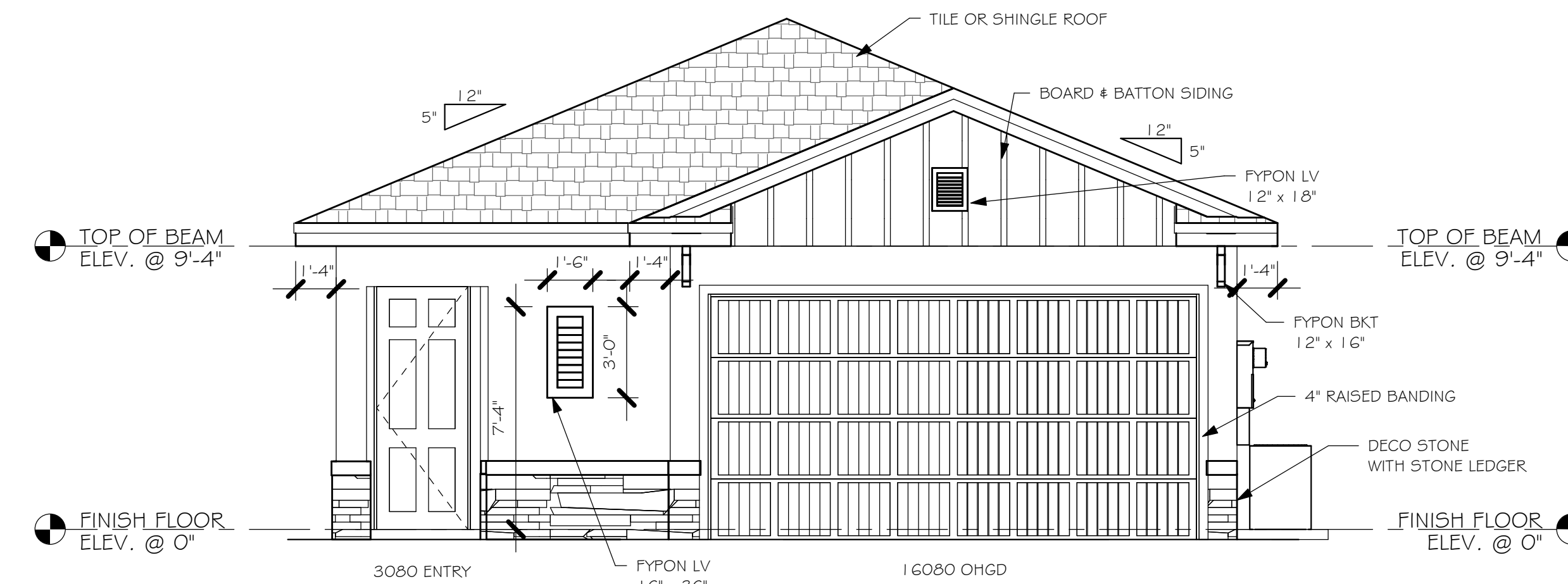
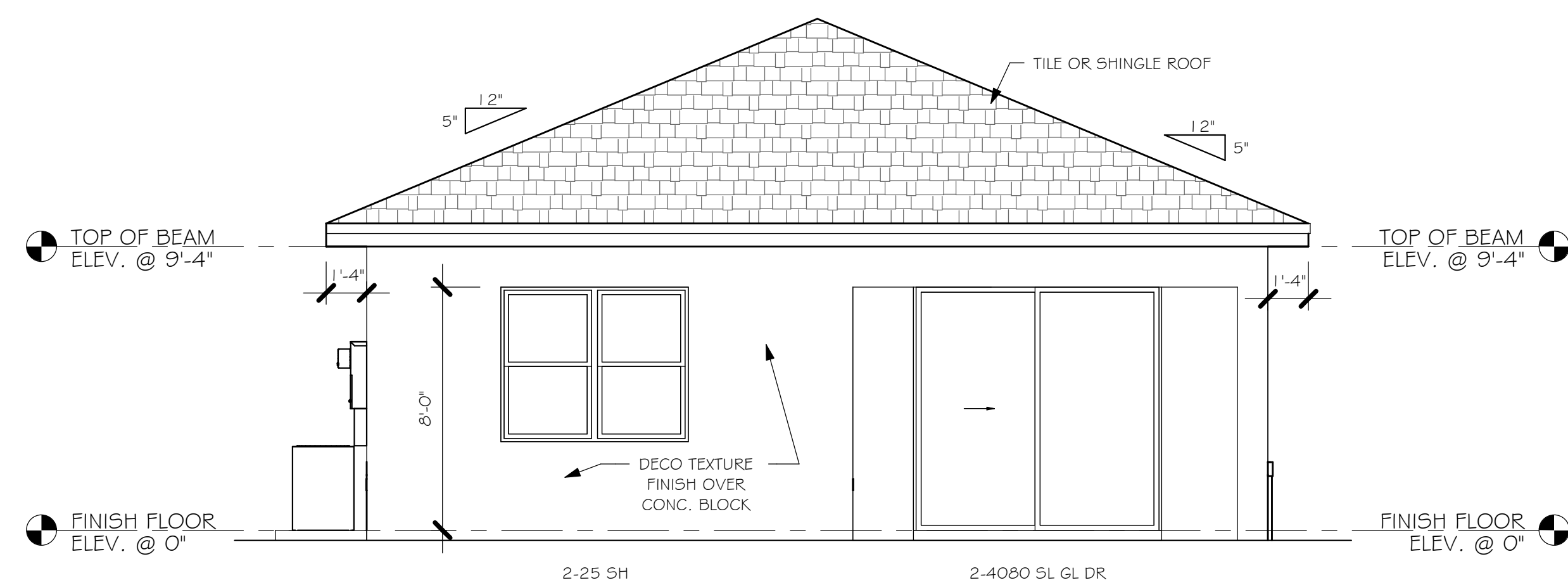
DRAWN BY:
KRISTY

JOB ADDRESS:
1763 ELEVATION E
GARAGE RIGHT
LEE/COLLIER/CHARLOTTE

CUSTOMER:
D.R. HORTON

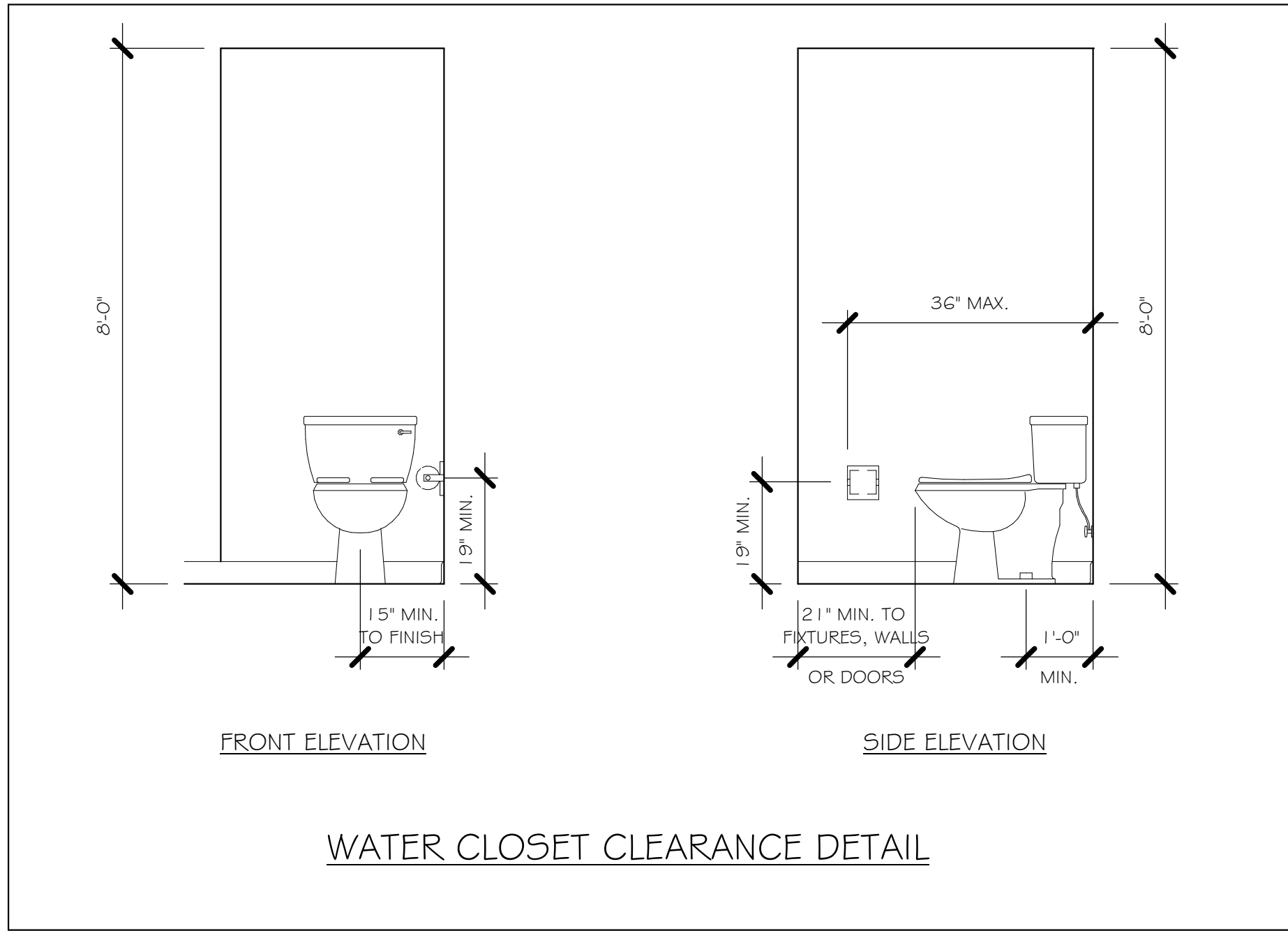
JOB #
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1 of 1

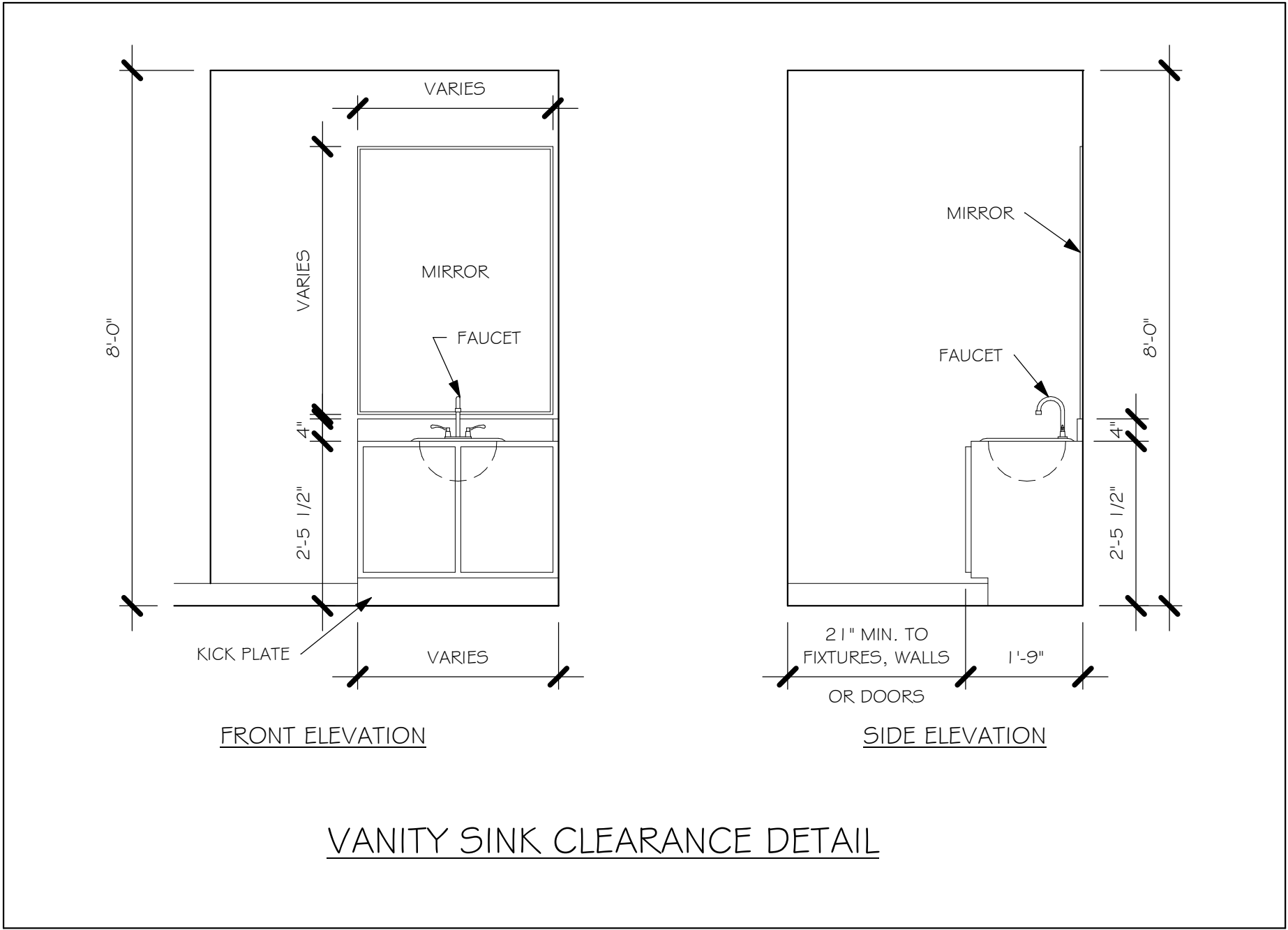


DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\SEASONS BONITA
50s\10536 LOT 280 1763 ER\REV110536 1763 ER.rvt

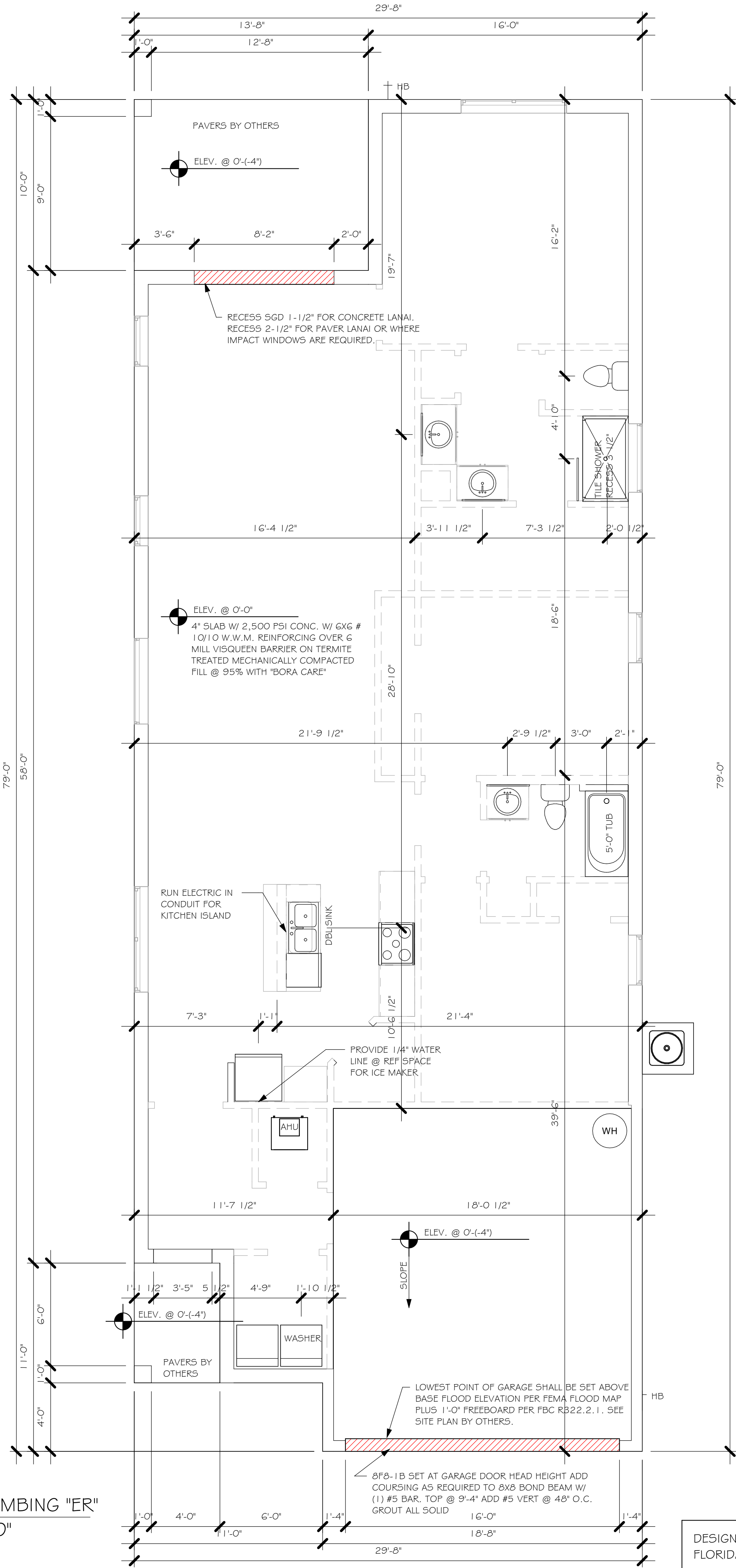


WATER CLOSET CLEARANCE DETAIL



VANITY SINK CLEARANCE DETAIL

SLAB & PLUMBING "ER"
1/4" = 1'-0"



DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
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D.R.HORTON America's Builder	
Gulf Coast Drafting & Design, Inc.	
EMAIL: PLANS@GULFCOASTDRAFTING.COM PHONE: 239-540-1822 1515 SE 47th ST. CAPE CORAL, FL 33904	
LOT: 280 SUBDIVISION: SEASONS BONITA 40's ADDRESS: 28276 SEASONS TIDE AVE D.R.H. #: 579210293	
MODEL 1763 GCD JOB # 10536	
DATE: 10/10/18	
DRAWN BY: JSL	
CHECKED BY: JWC	
REVISED:	
PLAN: SLAB & PLUMBING	
SCALE: As indicated	
A-2 ER	

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50s\10536 LOT 280 1763 ER\REVIT\10536 1763 ER.rvt

DOOR SCHEDULE						
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COMMENTS	QTY
1	16080 OHGD		8'-0"	16'-0"		1
2	3080 ENTRY		8'-0"	3'-0"		1
3	2-4080 SL. GL. DR.		8'-0"	8'-0"		1

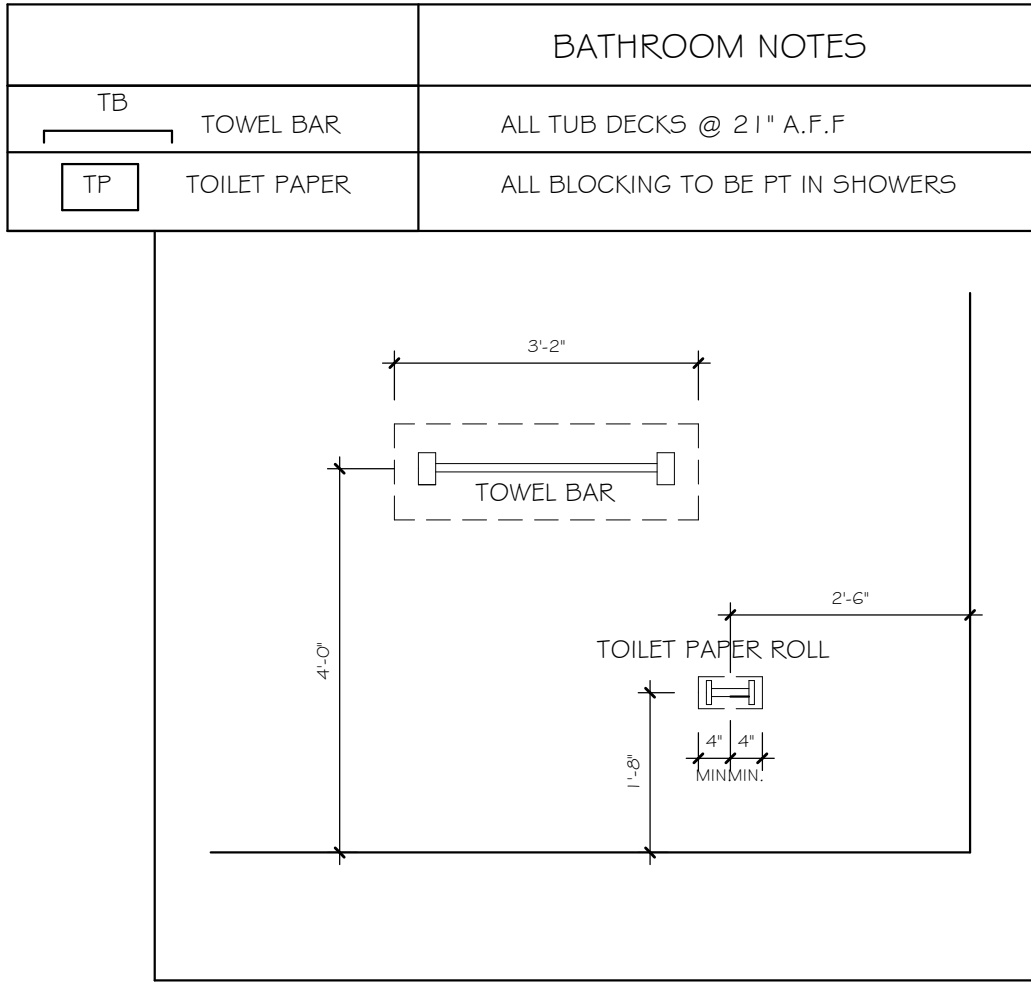
WINDOW SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COMMENTS	QTY
A	25 SH		5'-3"	3'-1"		4
B	2-25 SH		5'-3"	6'-4"		2
C	60" X 24"	FIXED GLASS	2'-2"	5'-2"		1
D	48" X 12"	FIXED GLASS	1'-2"	4'-2"	SAFETY GLAZED	1

OPT IMPACT GLASS MAY BE INSTALLED IN LIEU OF SHUTTERS VERIFY W/ CONTRACT

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

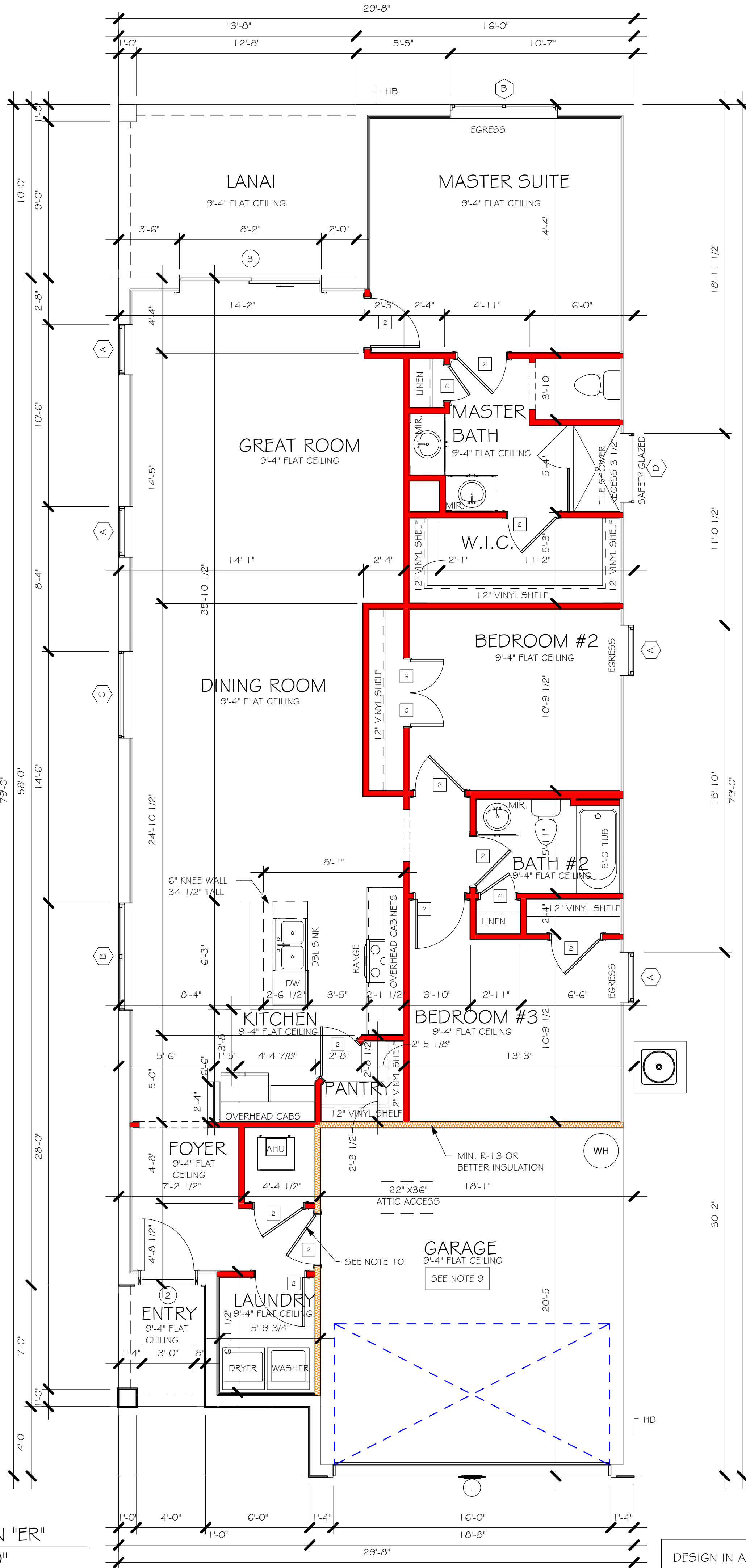
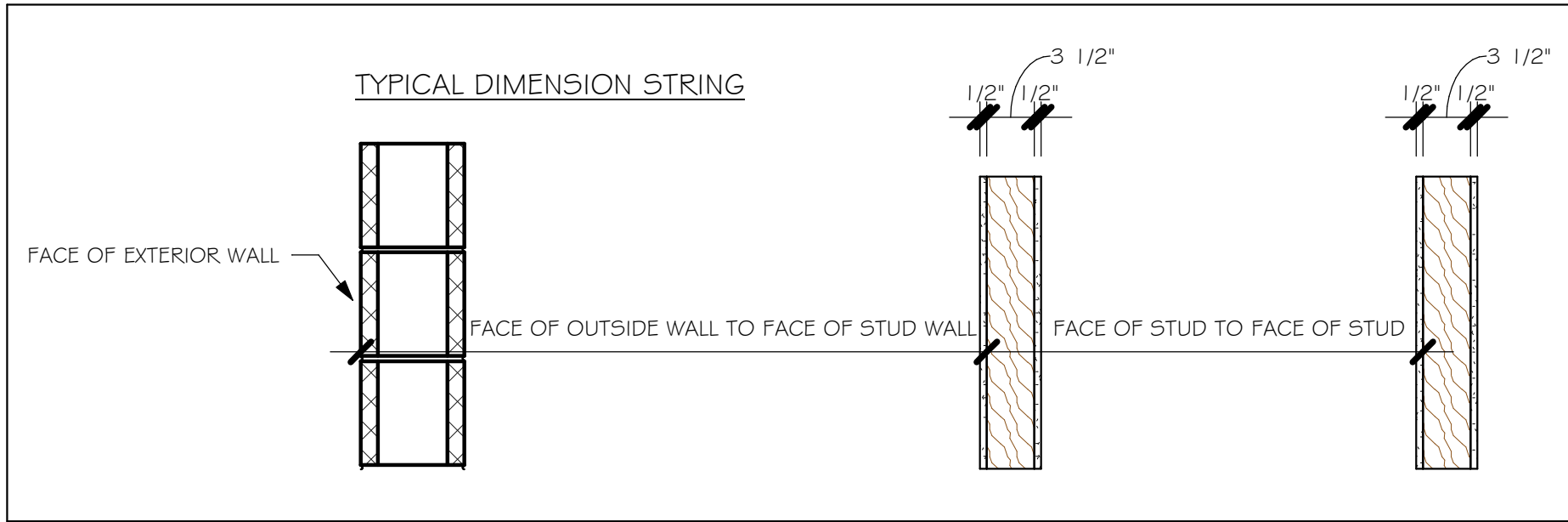
PLAN NOTES	
1)	VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
2)	PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
3)	PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
4)	NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
5)	PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
6)	KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
7)	INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
8)	WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" 5AG RESISTANT PER SEC. 702.3.5
9)	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD OR EQUIVALENT
10)	INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5.
11)	ALL WINDOWS INSTALLED 7'2" ABOVE GRADE MUST COMPLY WITH R61 2.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PRVENTION DEVICE
12)	ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.



INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-10"	B.F. = BI-FOLD DOOR
3	2'-8"	B.F. = BI-PASS DOOR
4	2'-6"	B.F. = BI-PASS DOOR
5	2'-4"	L.V. = LOUVERED DOOR
6	2'-0"	L.V. = LOUVERED DOOR
7	1'-8"	
8	1'-6"	

SQUARE FOOTAGE		
LANAI AREA		137 SF
LIVING AREA		1762 SF
GARAGE AREA		366 SF
ENTRY AREA		35 SF
TOTAL AREA		2300 SF



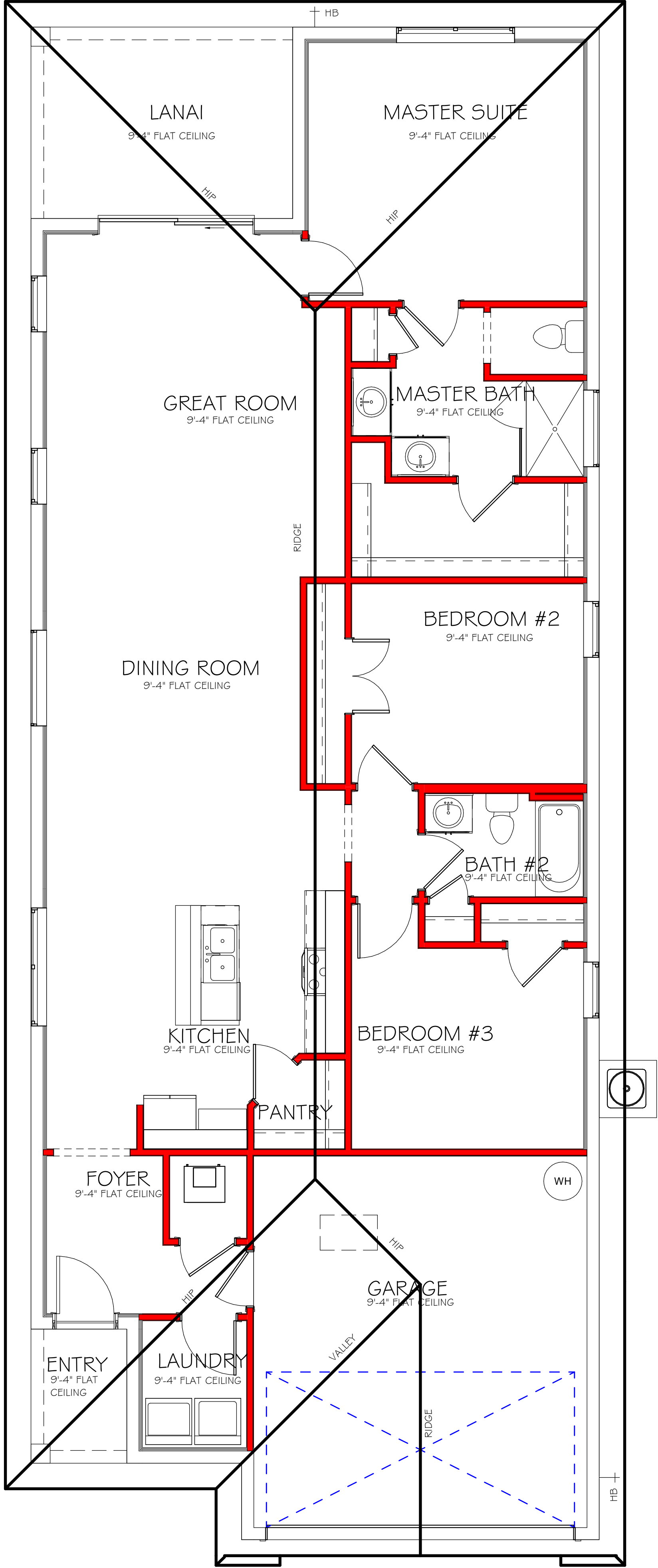
FLOOR PLAN "ER"
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

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50s\10536 LOT 280 1763 ER\REV1\0536 1763 ER.rvt

MODEL 1763 E: ATTIC VENTILATION FBCR R806									
COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS									
AREAS (SQ. FT.)			SOFFIT ONLY (1/150) (NO ROOF VENTS)			WITH ROOF VENTS (1/300) (R.V.)			
			ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED			
MARK	ATTIC	SOFFIT	ATTIC AREA/150	REQD AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT	
1st STORY	2268.1 SQ. FT.	268.4 SQ. FT.	15.12 SQ.FT.	5.59%	8.15%	7.77 SQ. FT.	-	1.1%	
			"SOFFIT ONLY" QUALIFIES			ROOF VENTS ARE NOT REQUIRED			
			SOFFIT MODEL			ROOF VENT MODEL			
			ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW			32" BASE 22-3/8" BASE LOMANCO 770-D 0.97 SQ. FT. FREE AIR			

BEARING HEIGHT	
<div></div>	= BEARING @ 9'-4"



ROOF PLAN "ER"
1/4" = 1'-0"

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50s\10536 LOT 280 1763 ER\REV110536 1763 ER.rvt

ELECTRICAL LEGEND

ELECTRICAL METER

ELECTRICAL PANEL

120 V JUNCTION BOX

SINGLE RECEPTACLE OUTLET

220 V RECEPTACLE OUTLET

4-PLEX RECEPTACLE OUTLET

DUPLEX RECEPTACLE OUTLET

1/2 SWITCHED DUPLEX OUTLET

DUPLEX RECEPTACLE AT ELEV. A.F.F.

DUPLEX RECEPTACLE - ABOVE COUNTER

SINGLE POLE SWITCH

3 WAY SWITCH

DIMMER SWITCH

MOTION SENSOR SWITCH

AC/DC SMOKE DETECTOR
TO BE INTERCONNECTED
ANY RESIDENT HAVING A FOSSIL-BURNING
HEATER OR APPLIANCE, A FIREPLACE, OR
AN ATTACHED GARAGE SHALL HAVE AN
OPERATIONAL CARBON MONOXIDE ALARM
INSTALLED WITHIN 10 FEET OF EACH
ROOM USED FOR SLEEPING PERPOSES.
PER RULE 9B-3.04.72
SD (SMOKE DETECTOR)
SCD (CARBON MONOXIDE/ SMOKE
DETECTOR)

TELEPHONE OUTLET

TELEVISION RECEPTION OUTLET

SURFACE MOUNTED CEILING LIGHT

RECESSED LIGHT

WALL MTD. BRACKET LIGHT

DUPLEX FLOOD LIGHT

EXHAUST FAN

TRACK MTD. LIGHTS

A/C DISCONNECT

PUSH BUTTON (PB) / DOOR BELL (DB)

INTERCOM

KEYPAD

4' FLUORESCENT LIGHT

2' UNDER COUNTER LIGHT

NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.

ELECTRICAL NOTES:

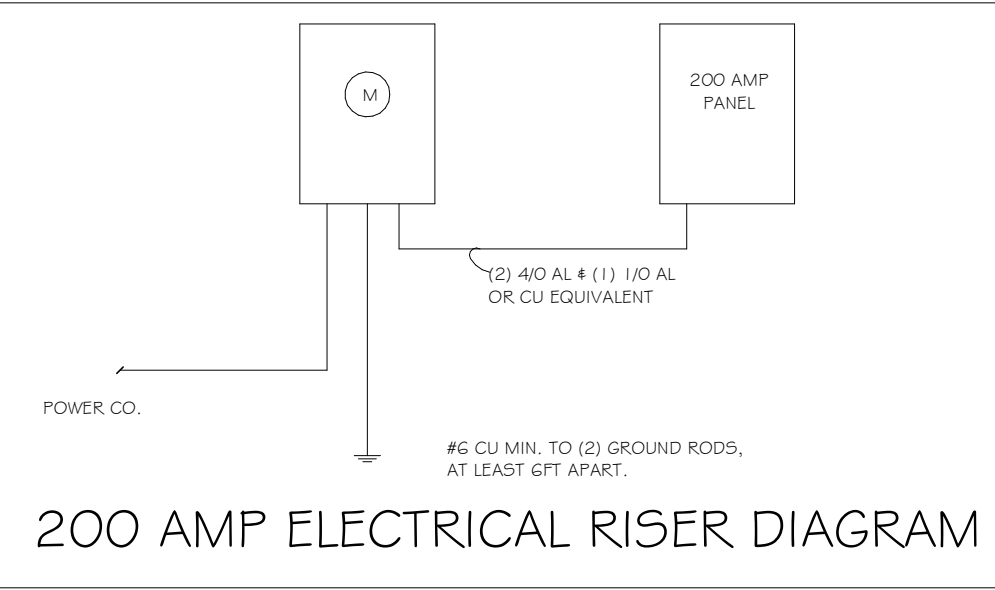
ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.11

ALL ELECTRICAL EQUIPMENT TO BE SET AT OR ABOVE BASE FLOOD ELEVATION.

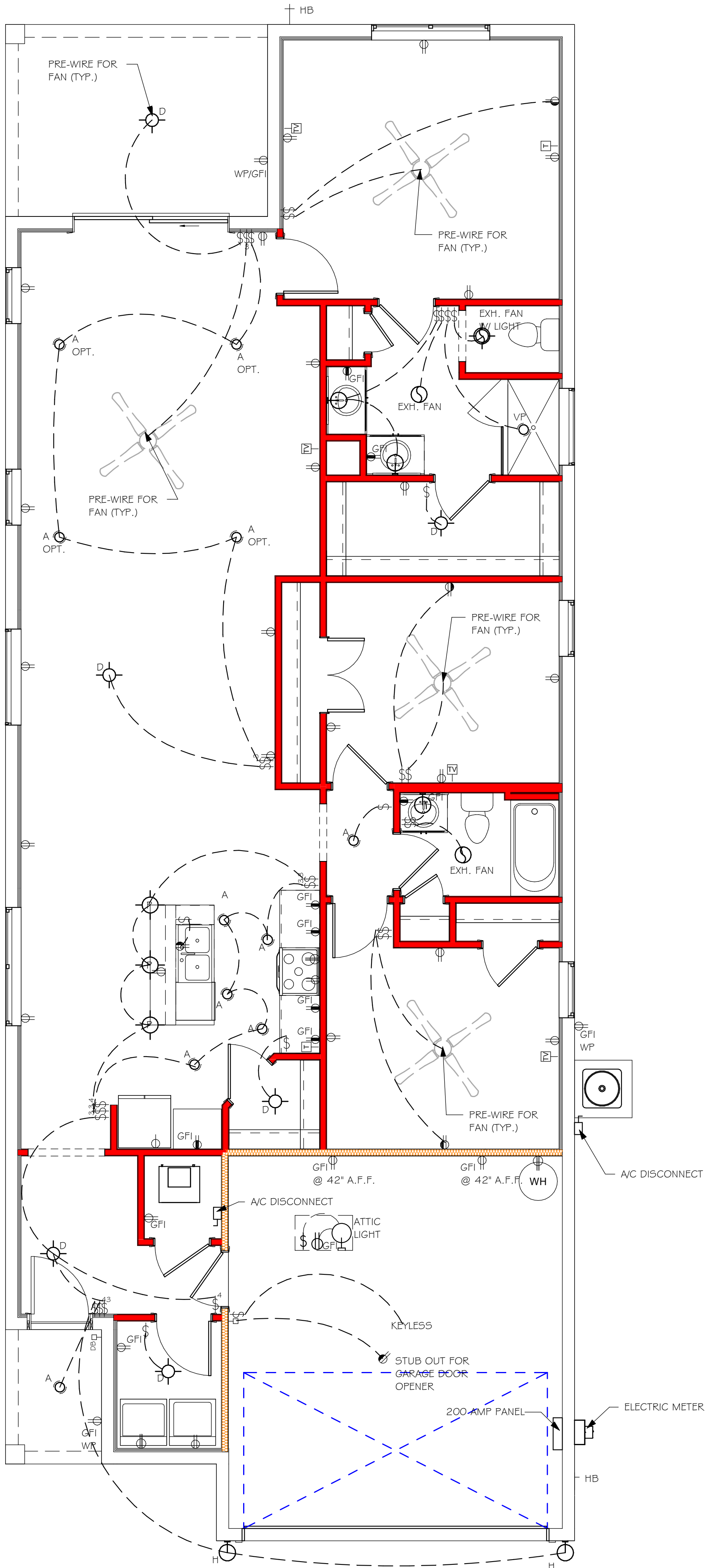
ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S.

INSTALL PHONE AND T.V PER CONTRACT.

INSTALL ALL ELECTRICAL PER NEC 2014



ELECTRICAL PLAN 1763		
200 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(9)	(RECESSED CANS)
B	(1)	(VAPORS)
C	(3)	(PENDANT LIGHT
D	(7)	(10" MUSHROOMS)
E	(3)	(24" 3 LT)
F	(X)	(36" 4 LT)
G	(X)	(NOT USED)
H	(2)	(COACH LIGHTS)
I	(X)	(COACH LIGHTS)
J	(X)	(J BOX)
K	(X)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(SLT CHANDELIER)
N	(X)	(3 LT.)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)



ELECTRICAL PLAN "ER"
1/4" = 1'-0"

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D-R HORTON
America's Builder

Gulf Coast
Drafting & Design, Inc.

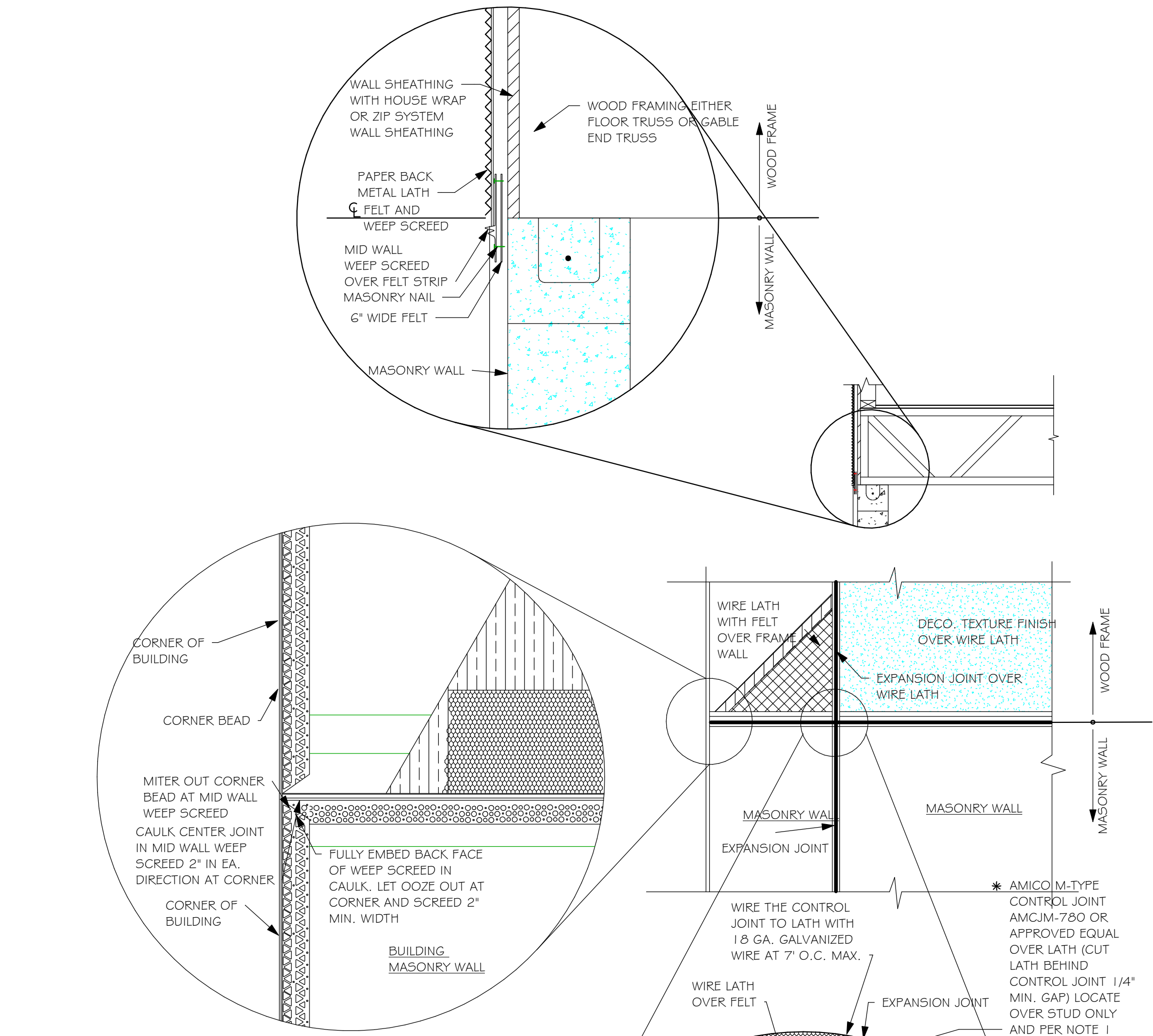
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-8222
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 280
SUBDIVISION: SEASONS BONITA 40's
ADDRESS: 28276 SEASONS TIDE AVE
D.R.H. #: 579210293

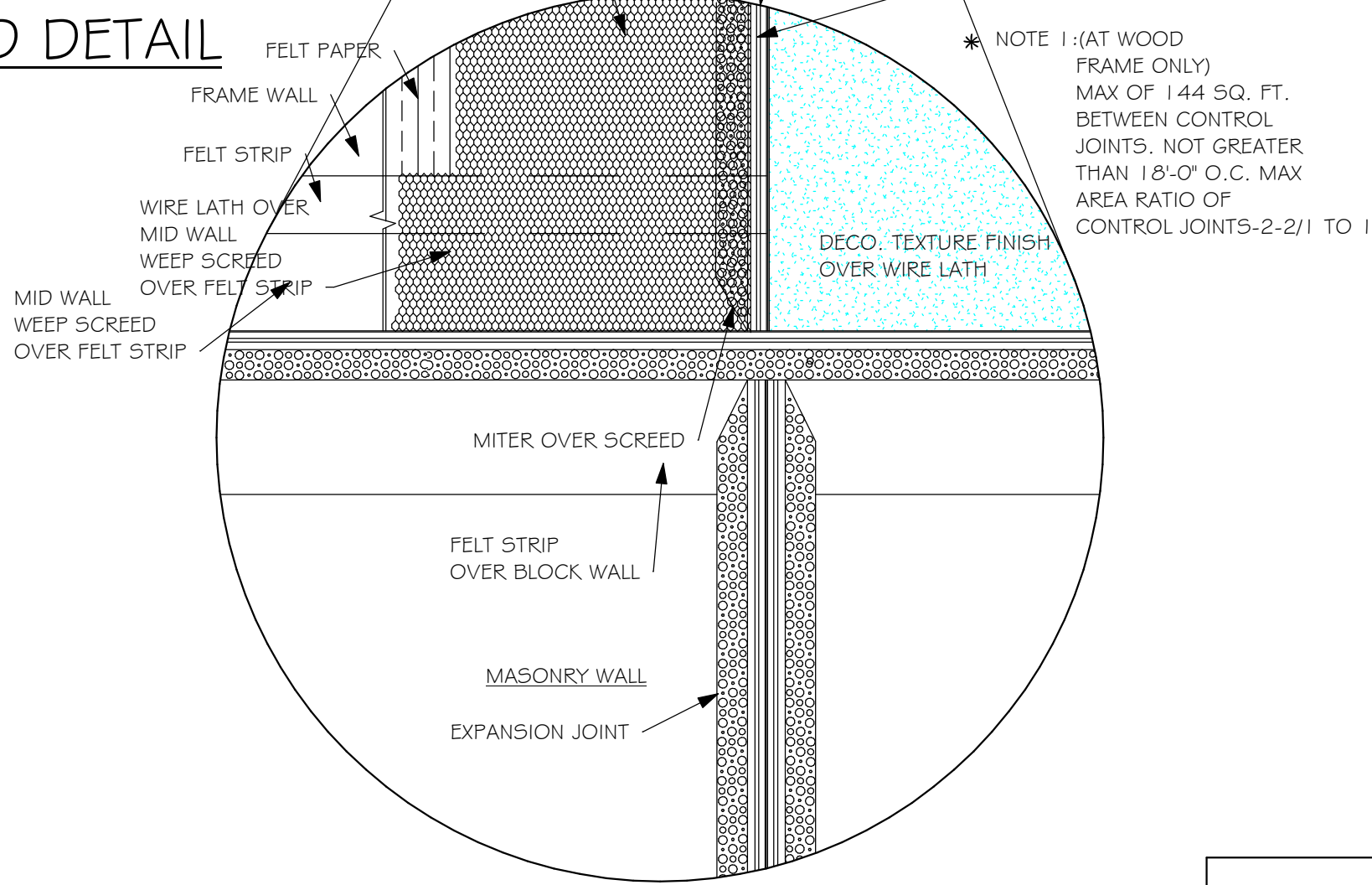
MODEL
1763
GCD JOB # 10536

DATE: 10/10/18
DRAWN BY: JSL
CHECKED BY: JWC
REVISED:
PLAN: ELECTRICAL
SCALE: As indicated
A-5 ER

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505\10536 LOT 280 1763 ERREV\10536 1763 ER.rvt

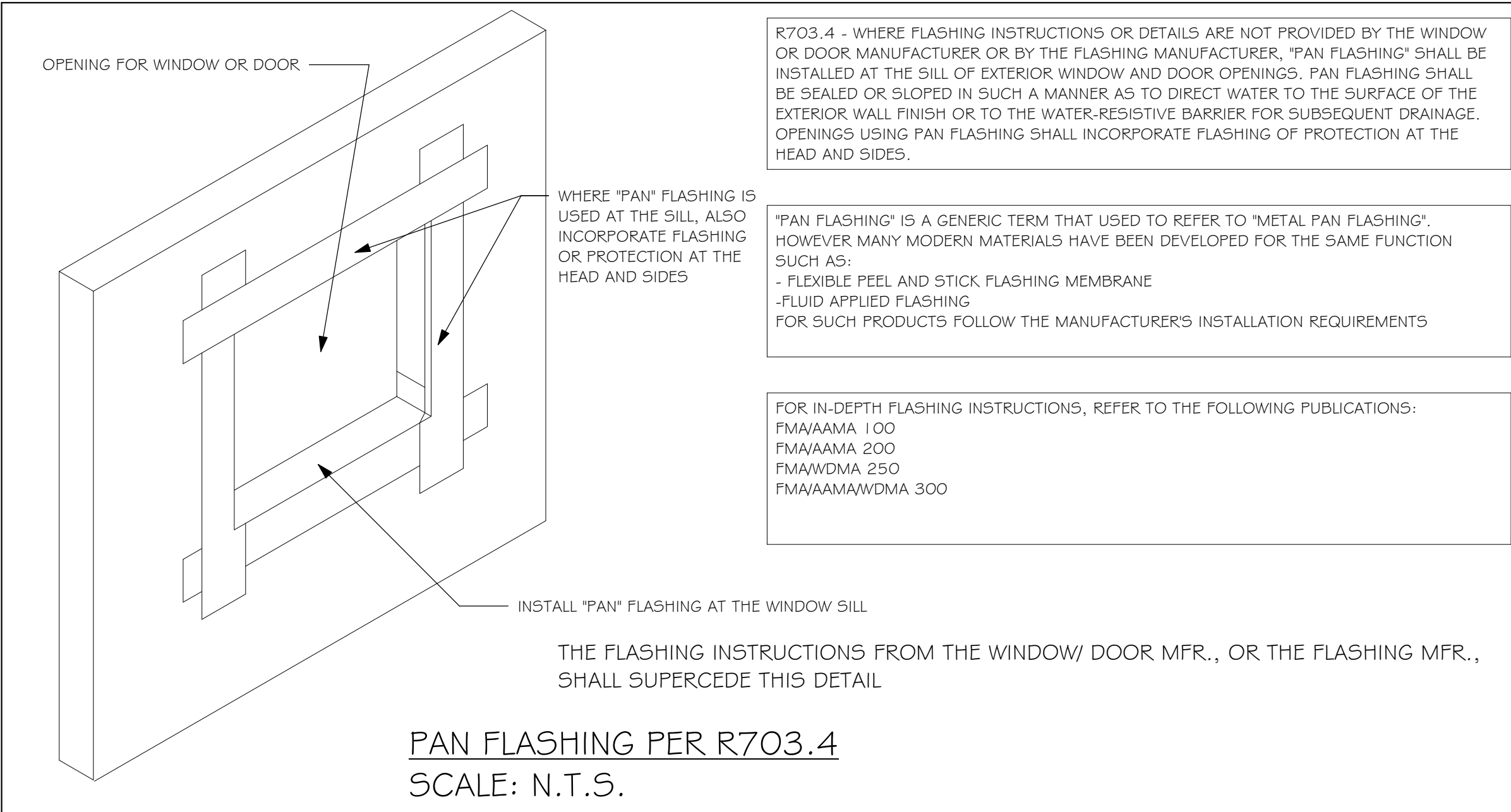
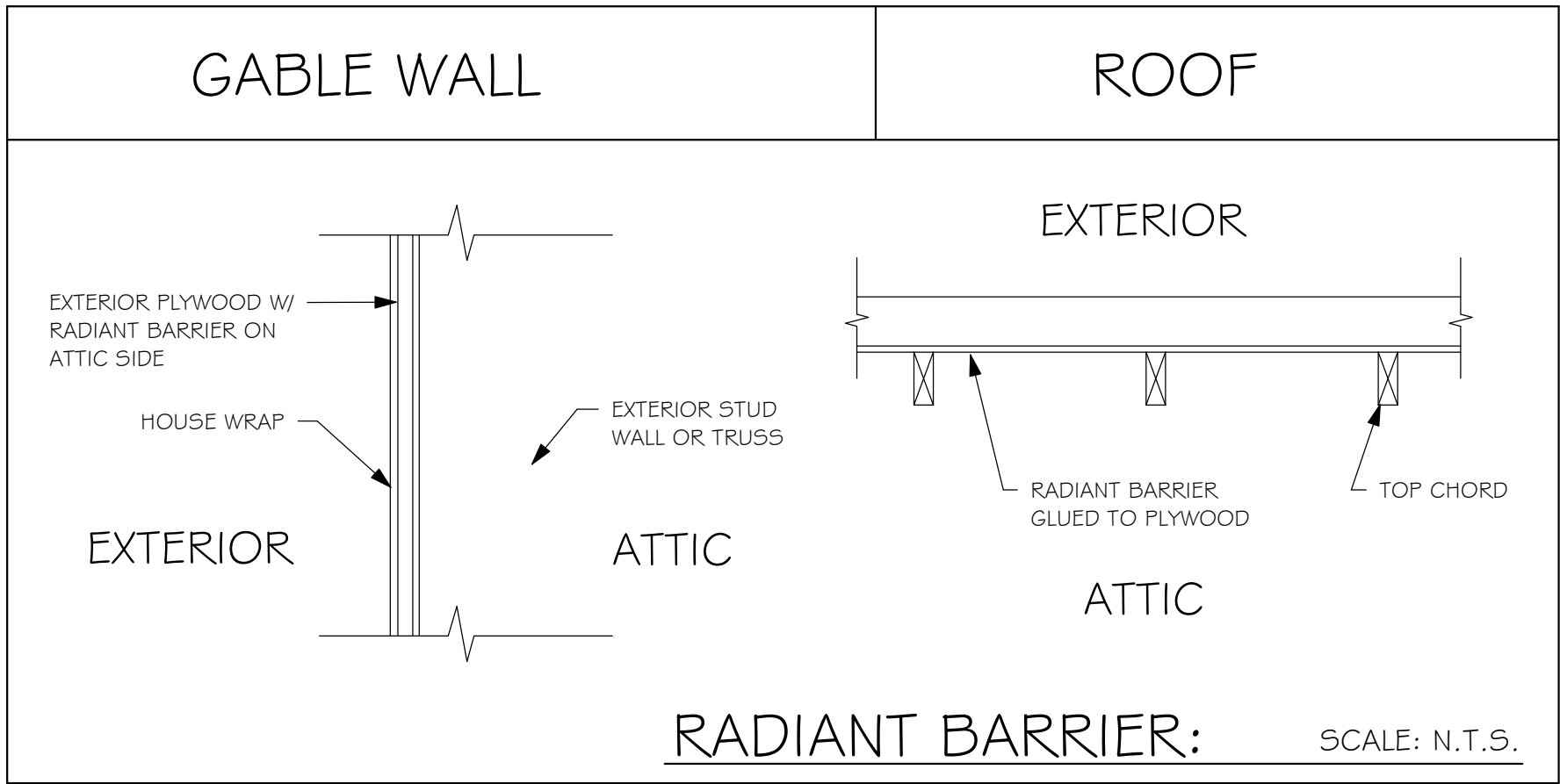


MID WALL WEEP SCREED DETAIL



WEEN SCREED DETAIL

INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE WOOD STUD FRAMING IS ABOVE MASONRY WALLS.



RESIDENTIAL SPECIFICATIONS

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
4. SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
5. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
6. ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING, THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT. ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
7. TREATED WOOD REQUIREMENTS:- ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
8. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
9. CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
10. LANAI CEILINGS & COVERED ENTRY CEILINGS 1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS. 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

2

GENERAL ROOF ASSEMBLY

ROOF SHEATHING
SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL "H" CLIPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 4" O.C. EDGE AND 6" O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK NAILS PER R803.2.3.1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.

FLASHING
FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE AZ50 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURERS PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).

DRIP EDGE
DRIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS. LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". DRIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.

3

ASPHALT SHINGLE ROOF SPECS

SHINGLES

15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3452, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF 2 FASTENERS PER SHINGLE TAB, AND SHALL IN NO CASE BE FASTENED WITH LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.

FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 12 GAUGE (0.105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL BE A LENGTH TO PENETRATE THE SHEATHING

THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND SHALL BE CORROSION RESISTANT BY ELECTRO GALVANIZATION, MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL

4

CLAY AND CONCRETE ROOF TILE SPECS

INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE LAYER APPLICATION UNDER TILE ROOF.

THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF R905.3 F.B.C. MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURER'S IDENTIFICATION MARK.

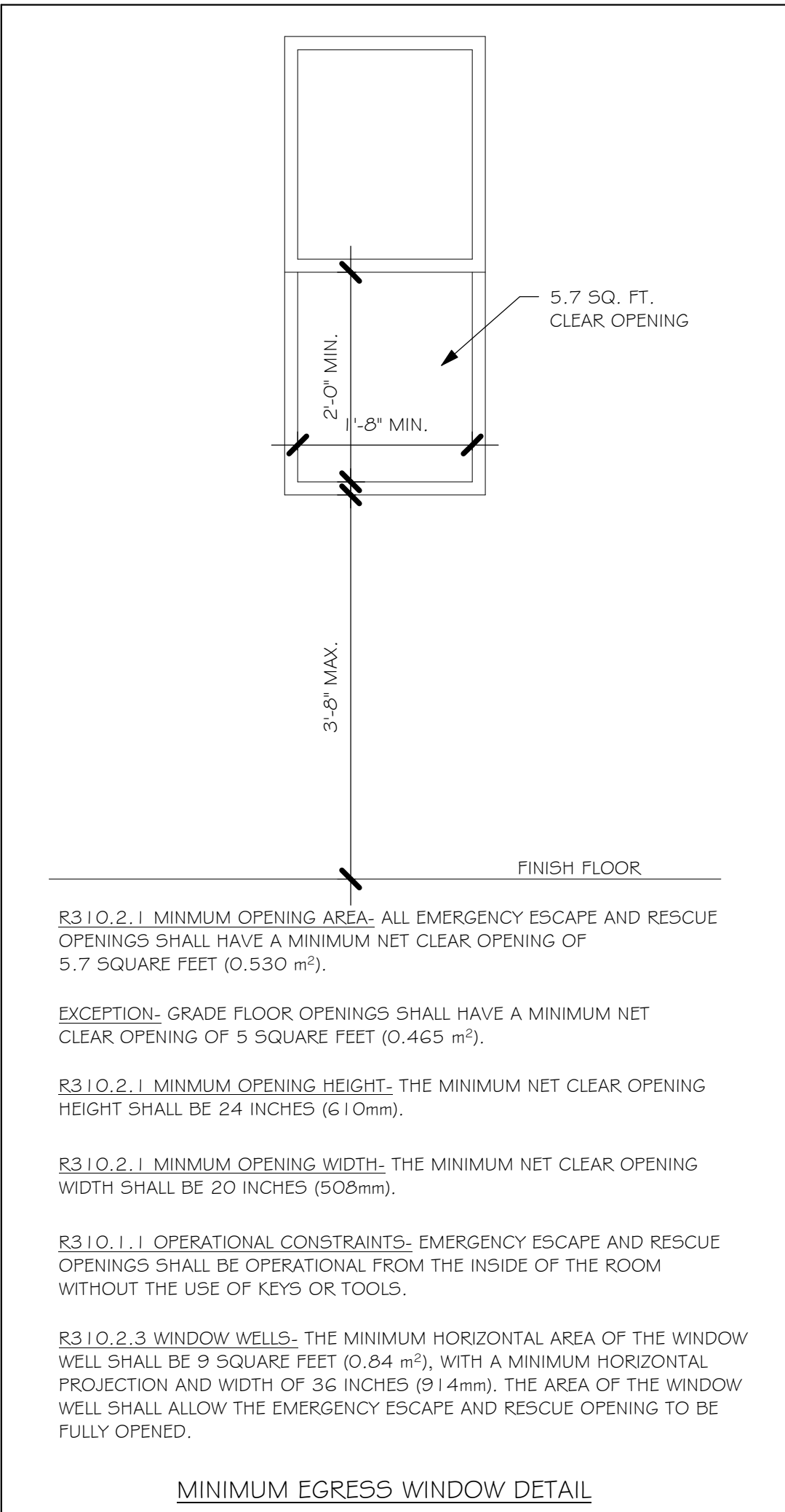
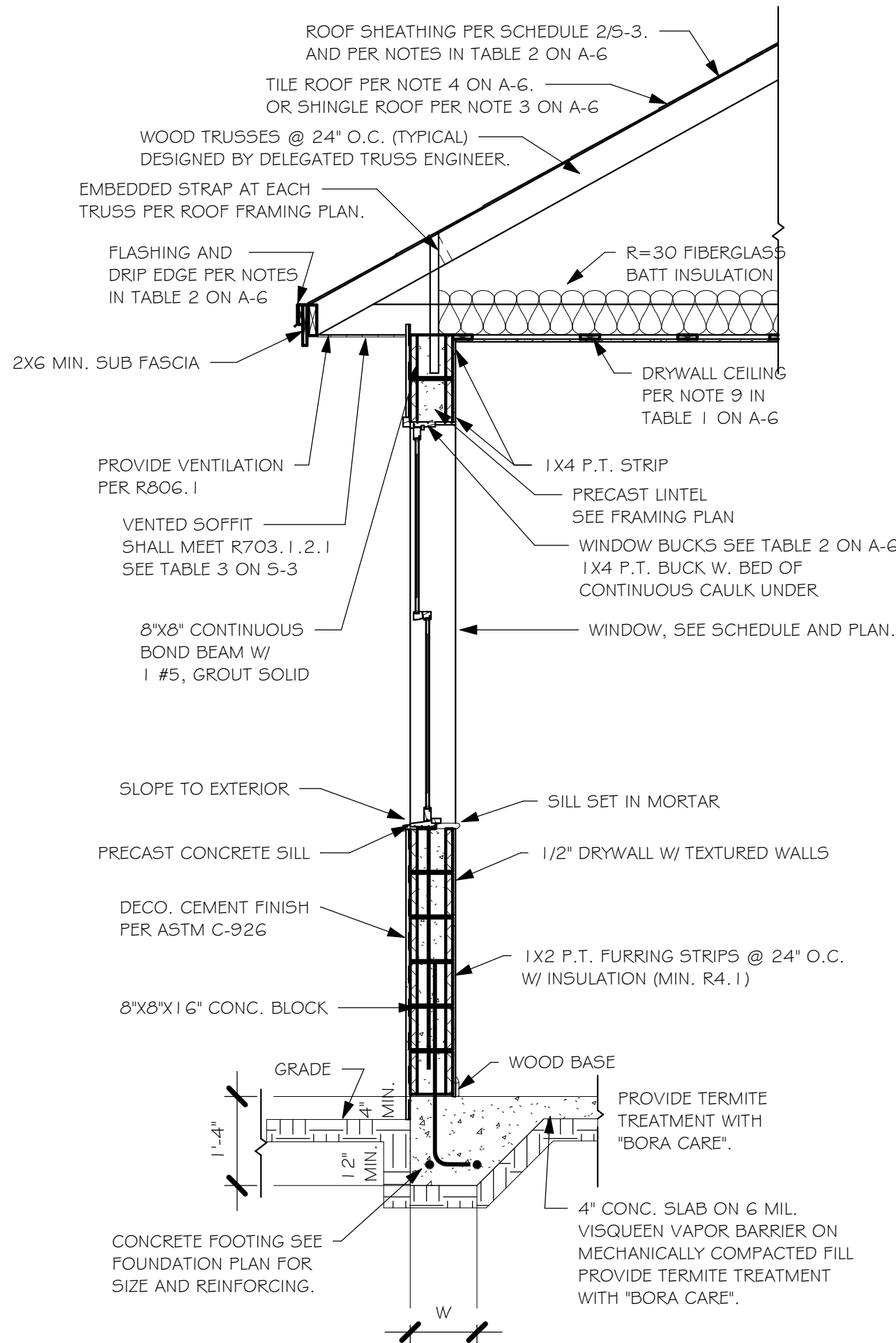
APPLICATION SPECIFICATIONS: THE TILE MANUFACTURER'S WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING:

1. TILE PLACEMENT AND SPACING,
2. ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CURRENT WIND CODE,
- A. AMOUNT AND PLACEMENT OF MORTAR
- B. AMOUNT AND PLACEMENT OF ADHESIVE
- C. TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS.
3. UNDERLAYMENT
4. SLOPE REQUIREMENT.

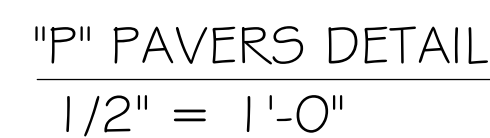
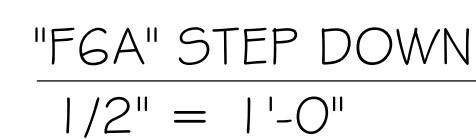
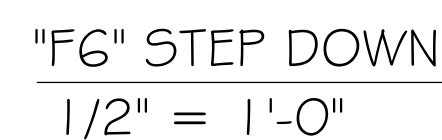
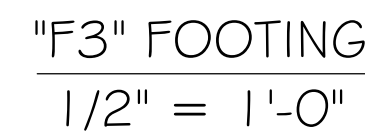
5

FLOOR SHEATHING AT 2ND FLOOR

A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATING 48/24 OR BETTER, GLUED AND NAILED











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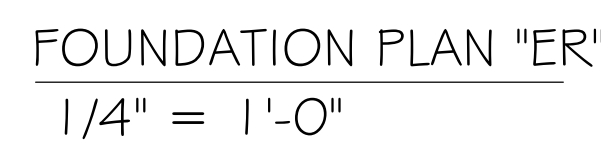
SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
2. "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
3. PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
4. ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
5. FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
6. PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/3-3.

WALL FOOTING SCHEDULE						
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING	SHAPE
	F1	CONT.	1'-4"	0'-8"	2-#5	
	F2	CONT.	1'-8"	0'-10"	2-#5	
X	F3	CONT.	1'-0"	1'-8"	2-#5	
	F4	CONT.	1'-4"	1'-8"	2-#5	
	F5	CONT.	1'-4"	1'-0"	2-#5	
	F6	CONT.	1'-4"	1'-0"	2-#5	
X	F6A	CONT.	0'-8"	0'-8"	1-#5	
TE	TE	CONT.	0'-8"	0'-8"	1-#5	

ADD CURB TO GARAGE, SEE DETAIL.



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NOTES:

1. F
F
T
C
2. C
S
I
E
P
3. V
P
4. I

PROVIDE A STRAP FROM THE ABOVE LIFT AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED, ENGINEER'S DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP INTO 1'-0" OF WALL.

CONNECTORS ARE USP STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.

WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER 2/5.4.

ATR* = ALLTHREND. DRILL AND EPOXY WITH USP EPOXY PER MFR. INSTRUCTIONS.

REV

NOTES:

1. P
P
T

2. C
S
IN

PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED RUSS DESIGN PACKAGE.

CONNECTORS ARE USP STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS.

PRECAST LINTEL SCHEDULE

AT SWING DOORS, USE 2" RECESS STYLE
LINTEL IF NEEDED FOR ROUGH OPENING.

TRUSS BEARING CONDITIONS AND
STRAPPING IS BASED ON TRUSS
LAYOUT PREPARED BY SCOSTA JOB#
44119CANT DATED: 09/14/18
REVISED: NONE

= BEARING @ 9'-4"

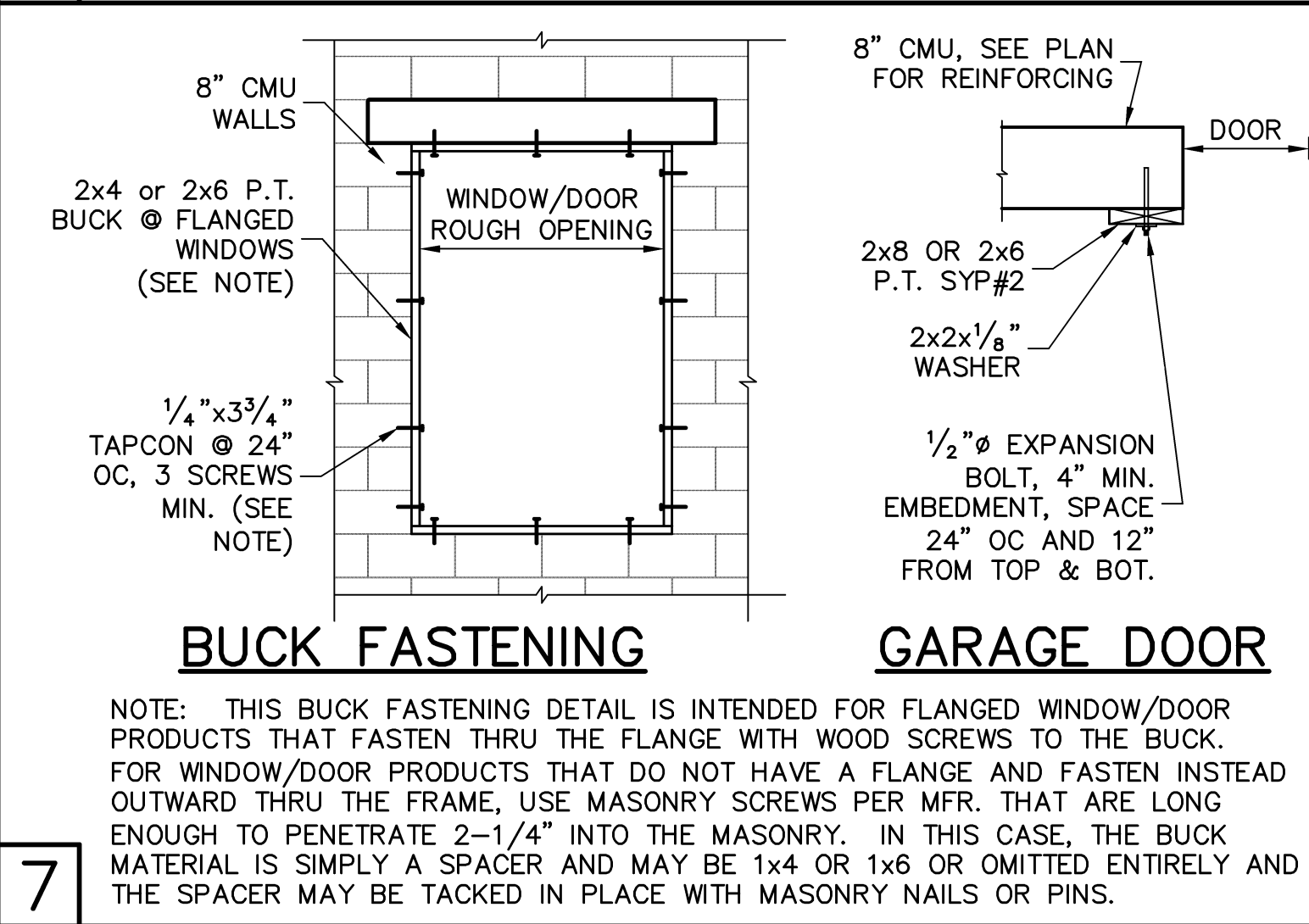
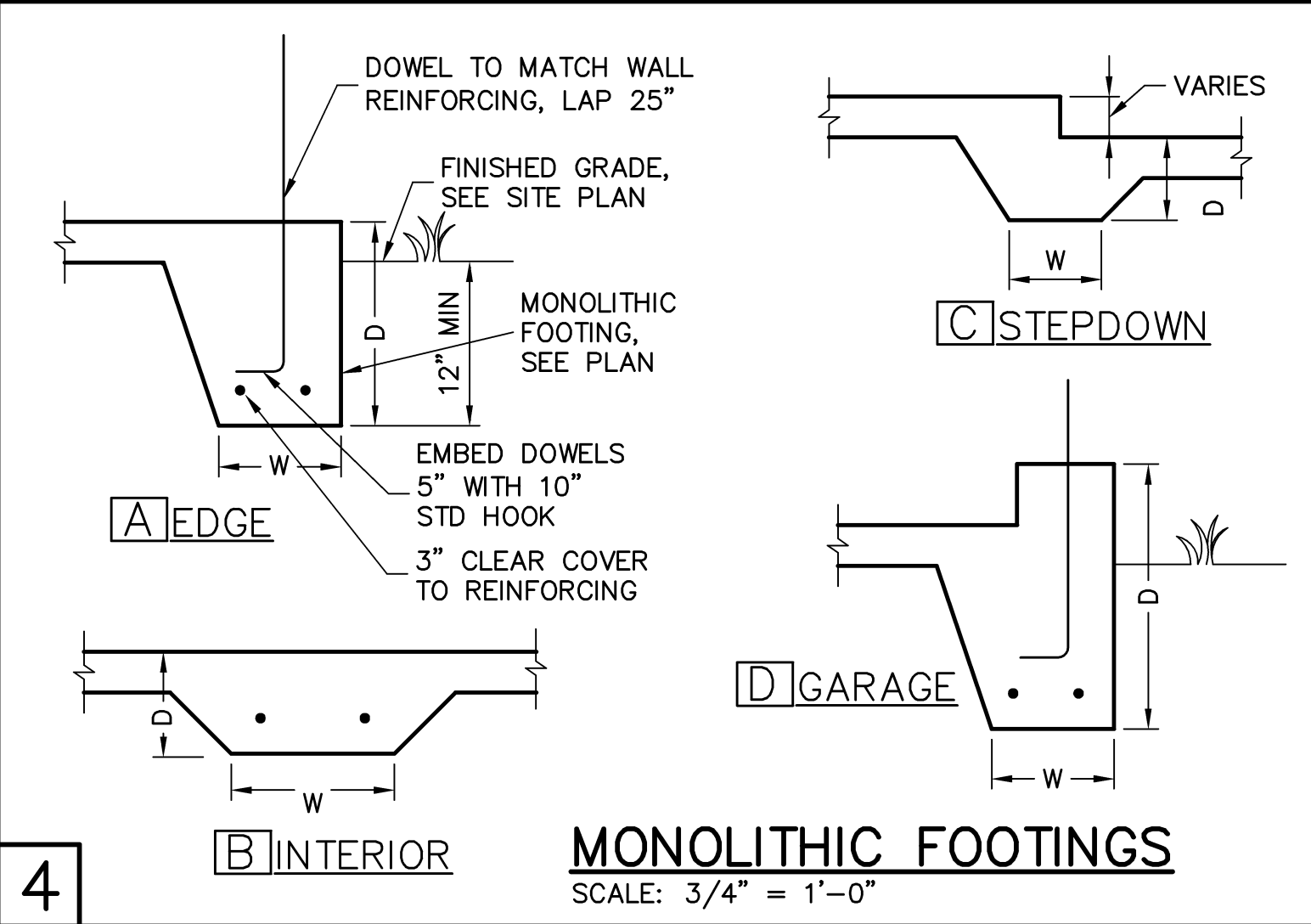
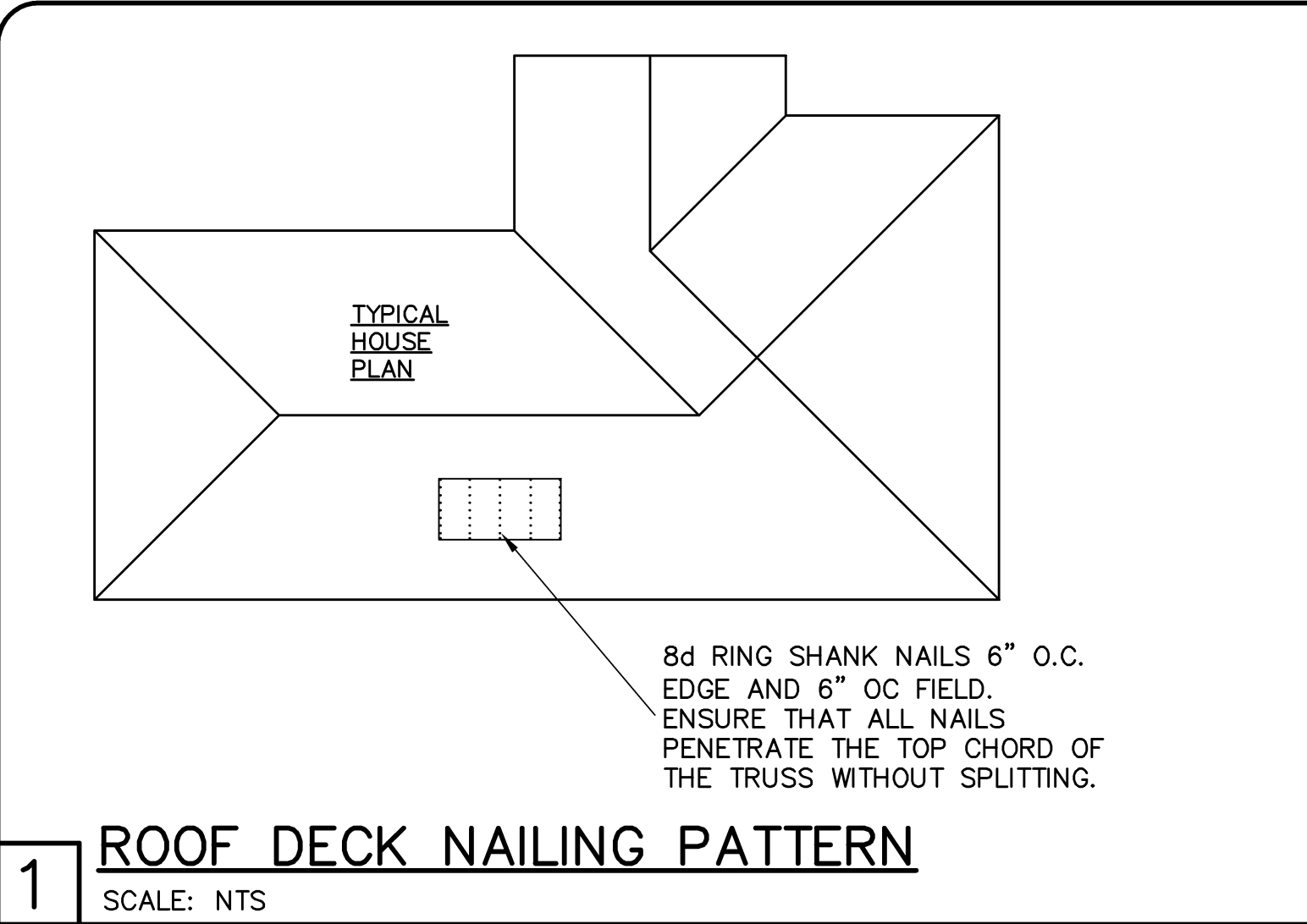
Diagram illustrating the roof truss assembly details:

- ROOF SHEATHING
- 8d RING SHANK @ 6" O.C.
- 16d NAILS @ 8" O.C.
- 2" X 10 BLOCKING W/ BEVEL CUT TOP
- ROOF TRUSS

ROOF FRAMING PLAN "S2" "ER"

1/4" = 1'-0"

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RETROFIT STRAPS TO CONCRETE/MASONRY			
TRUSS UPLIFT (LBS) @ 24" OC	CONNECTOR		
TO 1145	1-HTWM16 or 20	8-10dx1 1/2"	4-1/2"x2 1/4" CONCRETE SCREW
TO 1145	1-HTWM16 or 20	8-10dx1 1/2"	4-1/2"x2 1/4" CONCRETE SCREW
TO 2290	2-HTWM16 or 20	8-10dx1 1/2"	4-1/2"x2 1/4" CONCRETE SCREW
TO 4520	2-LUGT2	16-16d,	7-1/4"x2 1/4" CONCRETE SCREW
TO 3610	HTT16	18-10d,	5/8"Ø ALLTHREAD, DRILL
			& EPOXY 10" EMBED w/ USP SET.
TO 9790	HGT-2/3	TWO 3/4"Ø ALLTHREAD, DRILL & EPOXY 12" EMBED WITH USP SET.	

NOTES:

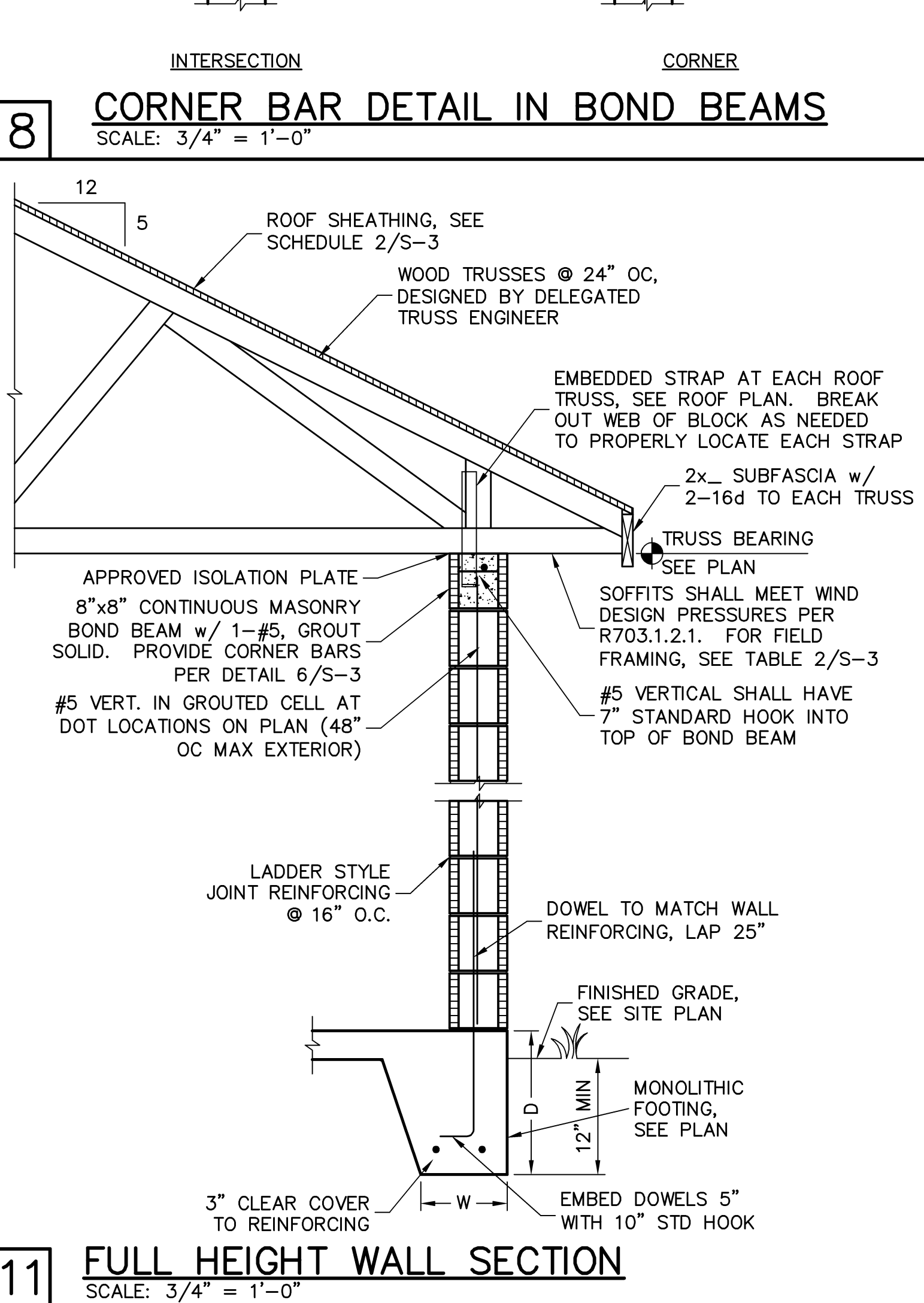
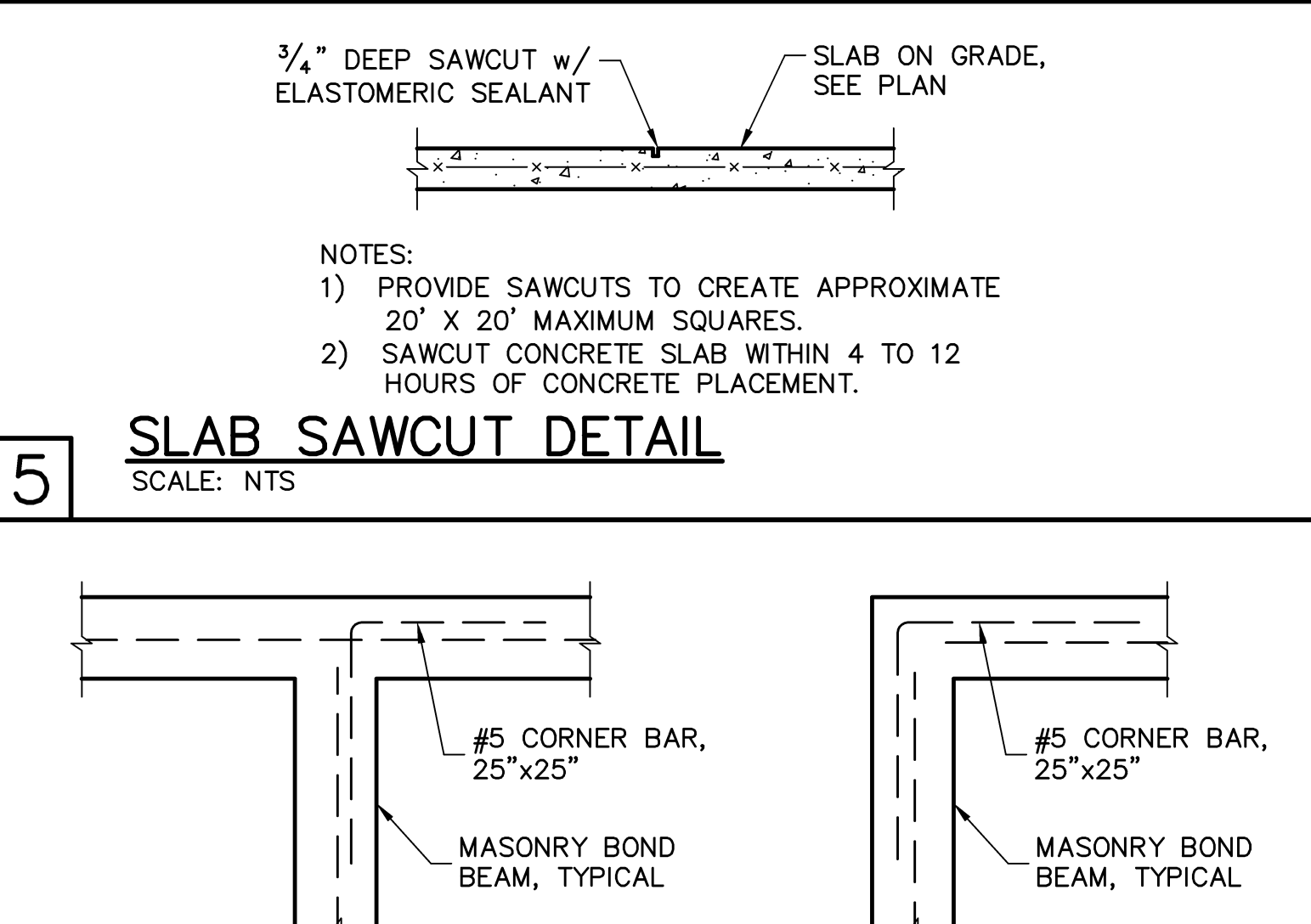
- 1) WHERE EMBEDDED STRAP IS MISSING OR MIS-LOCATED, PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.
- 2) CONNECTORS ARE USP. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS.
- 3) CONCRETE SCREW SHALL BE WEDGE-BOLT+, TITEN, TAPCON OR EQUIVALENT.

10

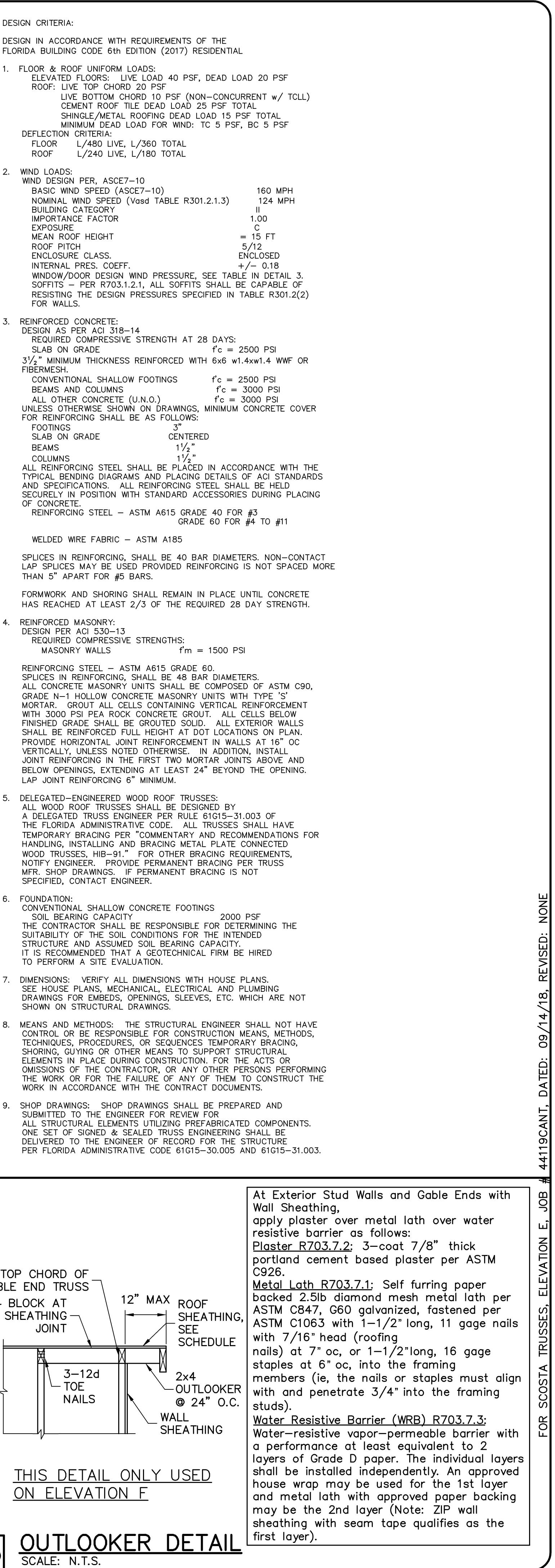
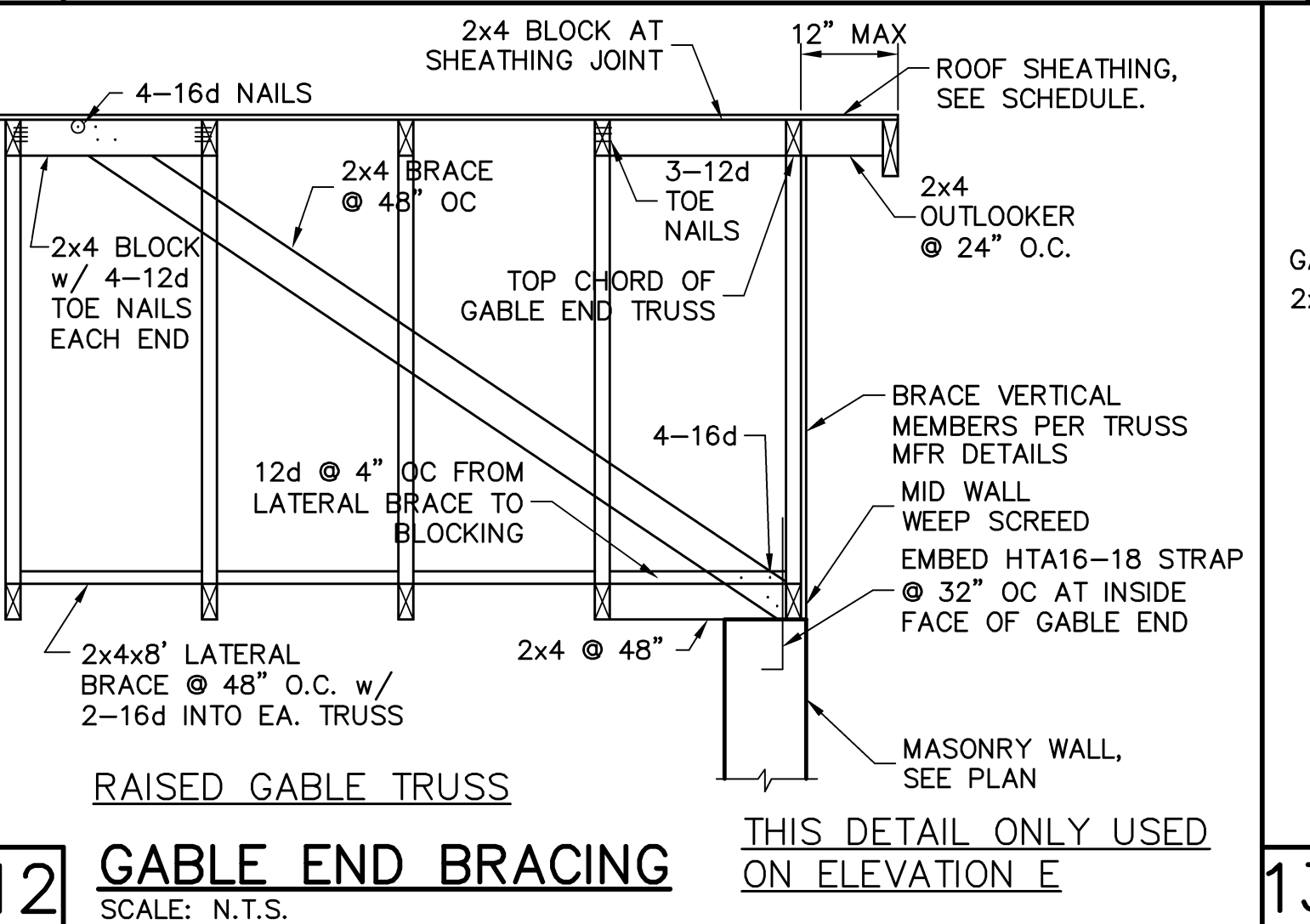
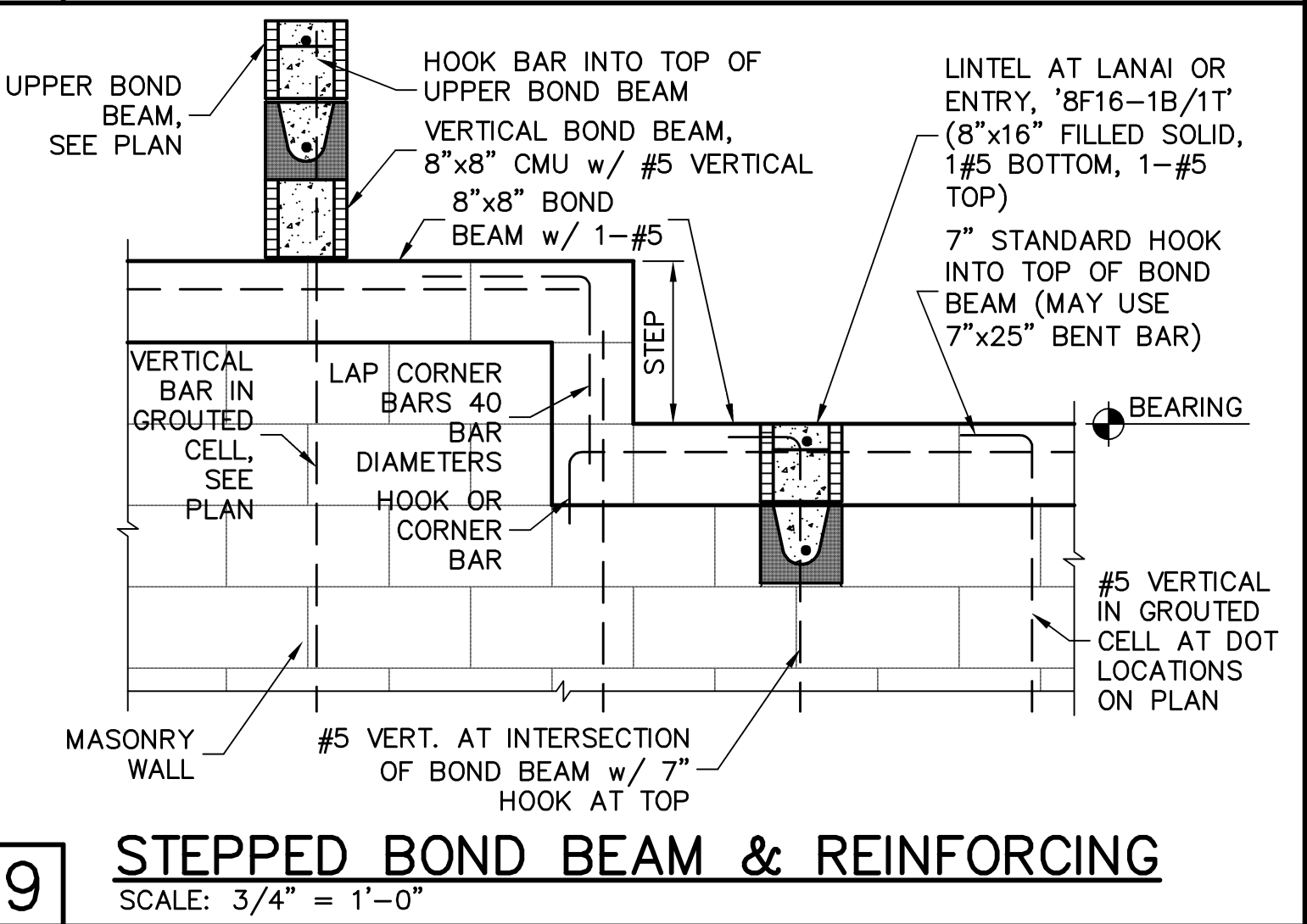
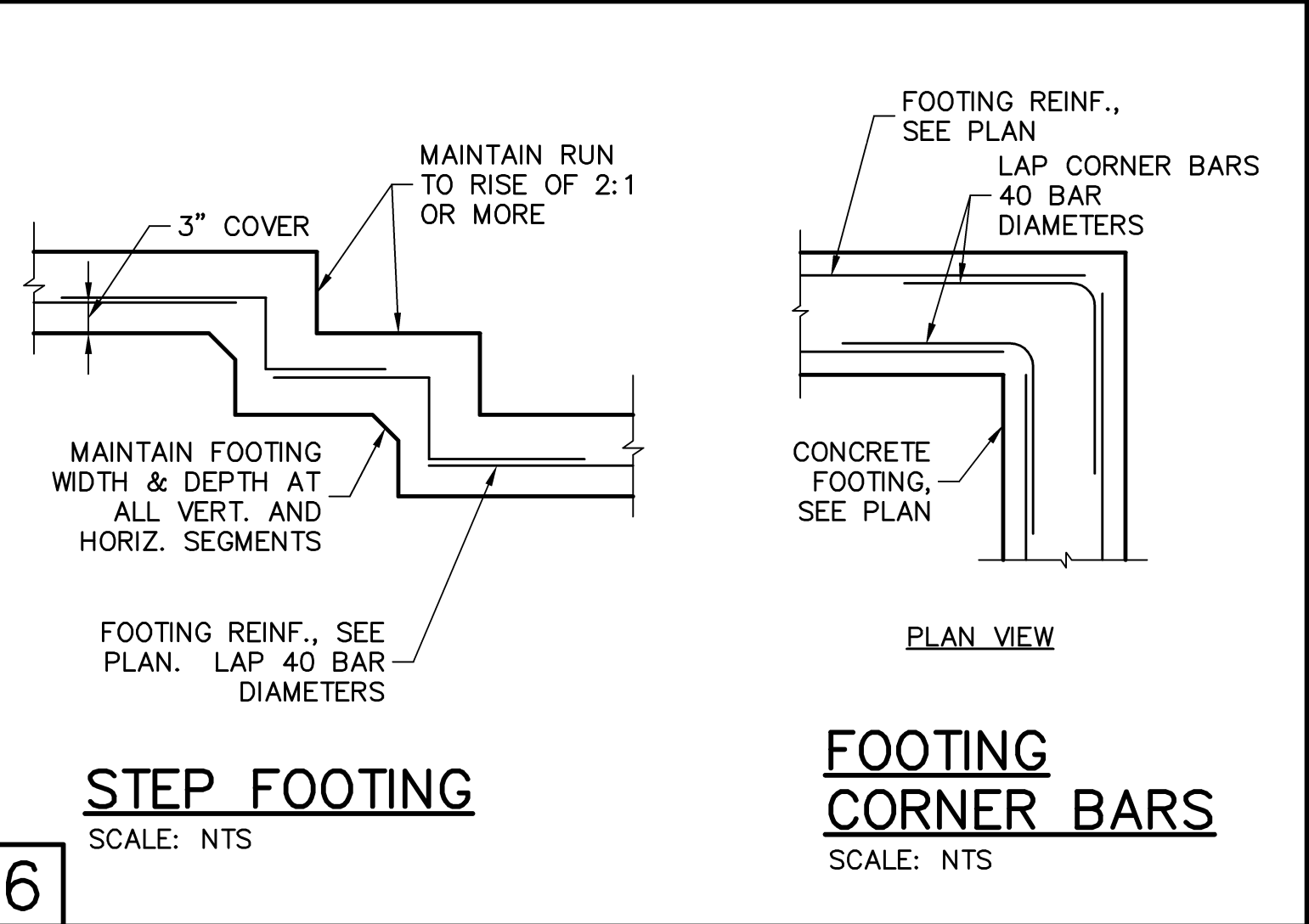
RETROFIT UPLIFT CONNECTOR SCHEDULE



SHEATHING SCHEDULE	
EXTERIOR STUD WALL	FLOOR
7/16\"/>	N/A
ROOF	EXTERIOR CEILING AND SOFFIT
A.P.A. RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. FASTEN WITH 8d RING SHANK NAILS @ 6\"/>	OPTIONS: 1) 1x4 STRIPPING @ 16\"/>



WINDOW/DOOR/SOFFIT DESIGN WIND PRESSURES			
WIND PRESSURES PER ASCE7-10, 160 MPH, EXPOSURE C, AND CONVERTED TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR. (Vw=124 MPH, RISK CAT II, ENCLOSED, Kd=0.85, H=15')			
TYPE	INTERIOR ZONE 4	END ZONE 5	
SOFFIT	+33.5 -36.3	+33.5 -44.8	
TYPICAL WINDOWS & DOORS	+33.5 -36.3	+28.4 -33.3	
8' OR 9' GARAGE DOORS		+28.2 -31.5	
16' OR 18' GARAGE DOORS			



REVISIONS

BY

STRUCTURAL ENGINEERING:

STRUCTURAL SYSTEMS OF NORTH FLORIDA

1634 S.E. 47th STREET, SUITE #3
CAPE CORAL, FL 33904
(239) 549-4554
CA# 8829

DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL

BUILDER:

DR. HOUGHTON
America's Builder

STRUCTURAL DETAILS

MODEL 1763 E

28276 SEASONS TIDE AVENUE
BONITA SPRINGS, FLORIDA
LOT: 280 SUBDIVISION: SEASONS BONITA

DESIGN/DRAWN

DWB/DWB

CHECKED

DWB

DATE

10/03/18

SCALE

VARIABLES

JOB NO.

DR10536

SHEET

S-3

SHEET 3 OF 3