









****UNLESS NOTED****

REACTION VALUES ARE UNDER 5000#

UPLIFT VALUES ARE UNDER 1000#

BEARING WALL & BEAM HEIGHTS

	0'-0"	ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

*****ATTENTION*****

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS, PITCH, OVERHANGS, ELEVATIONS, CEILING & BEARING CONDITIONS. SCOSTA CORPORATION IS RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH PLANS AND/OR INFORMATION PROVIDED BY CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN. CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF INFORMATION AND PLANS PROVIDED TO SCOSTA CORPORATION, AND TO OBTAIN CONFORMANCE TO FIELD CONDITIONS, AND/OR OWNER CHANGES. TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE APPROVED LAYOUT.


APPROVED BY: _____

DATE: _____ REQUESTED DELIVERY DATE: _____

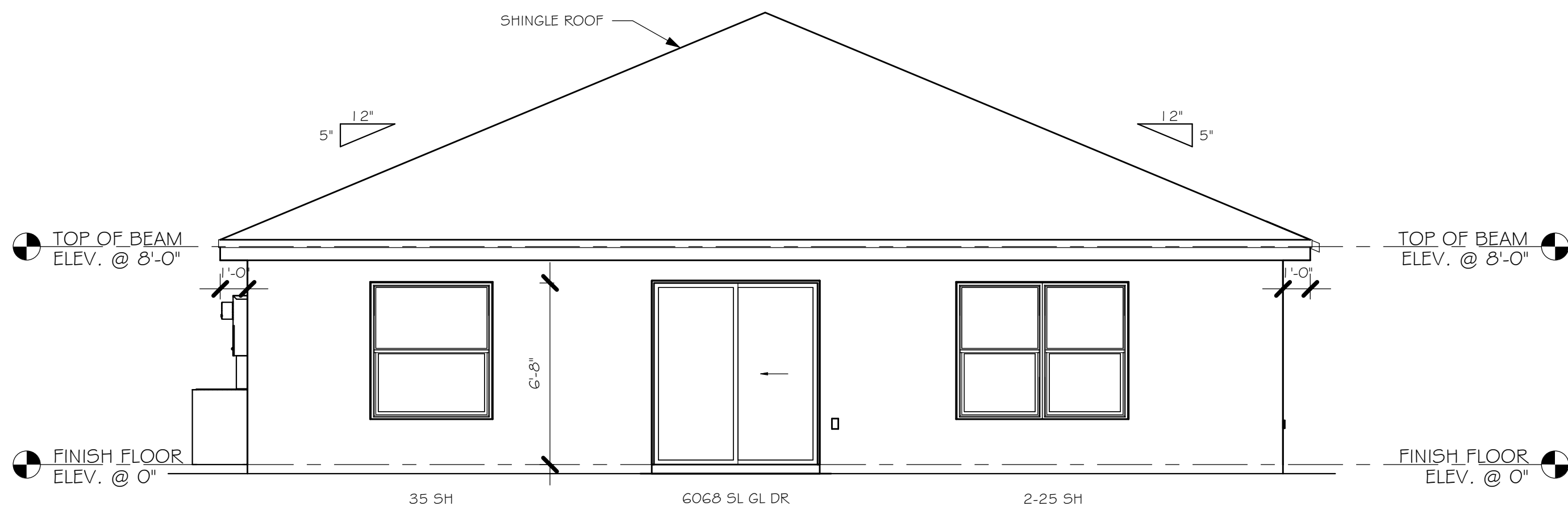
JOB/SITE CONTACT NAME: _____

PHONE #: _____

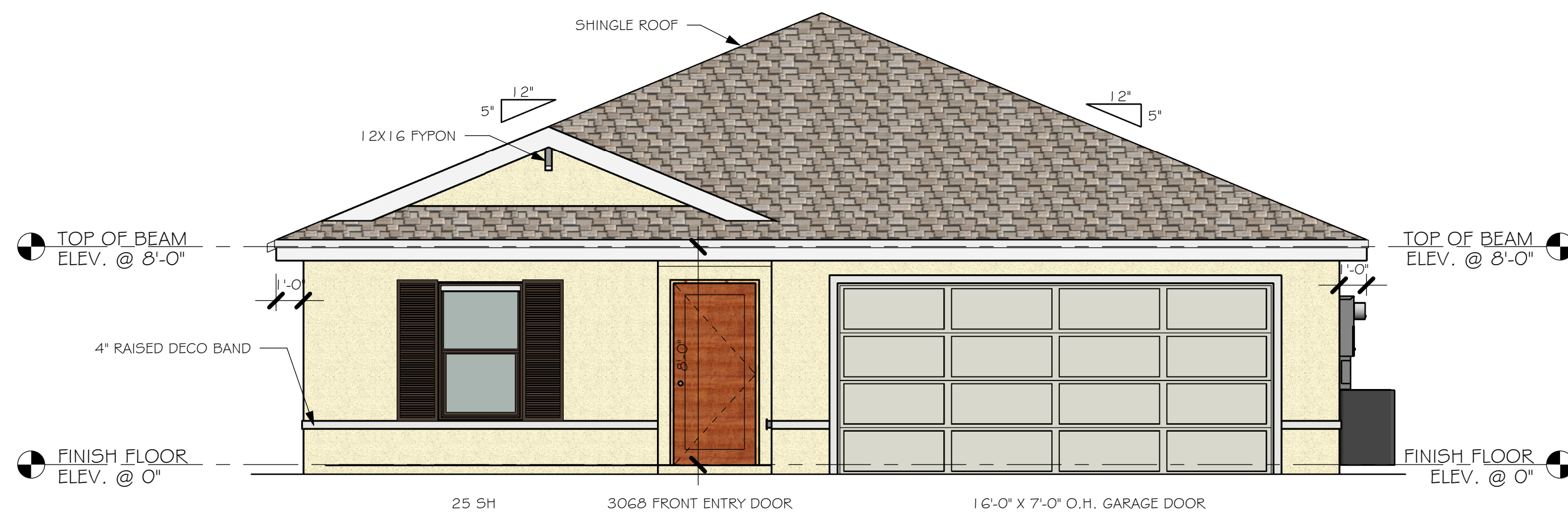
E-MAIL: _____

<h1 style="color: red; margin: 0;">SCOSTA CORP.</h1>			
			
WOOD, STEEL OR TIMBER ROOF & FLOOR TRUSSES			
<p>3670 COMMERCE CENTER DRIVE SEBRING, FL 33870 (863) 385-8242</p>			
SCALE: 1/4"=1'-0"	DATE: 05/21/18	REVISED BY: KD 06/10/18	DRAWN BY: KRISTY
JOB ADDRESS: 1389 A GARAGE CHART LEE			1 of 1
CUSTOMER: D.R. HORTON			JOB # 44115

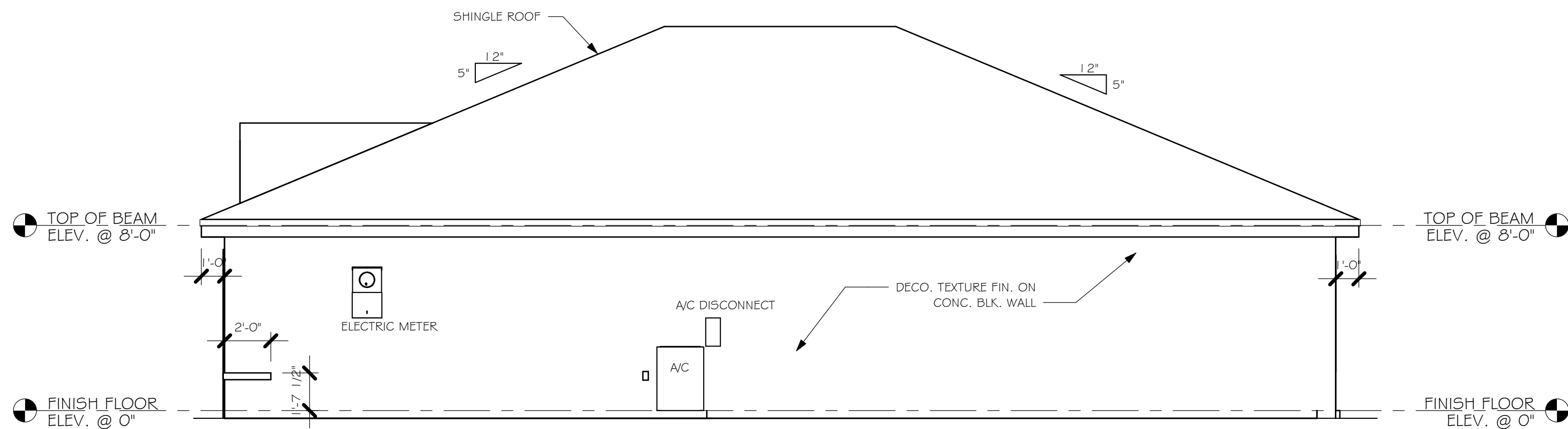
Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\GULF COVE SPOT
LOT\51 0777 LOT 3 BLK 1792 1389 ARREV\1 0777 1389 ARREV.dwg



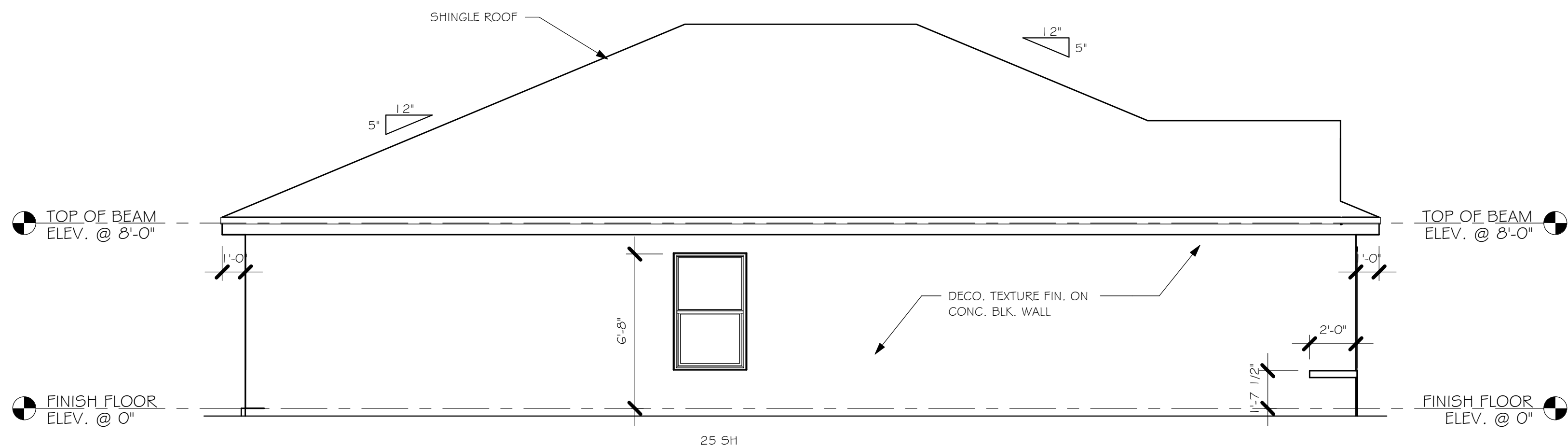
REAR ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

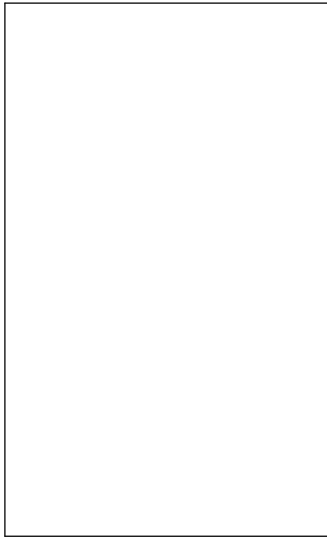


LEFT ELEVATION
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



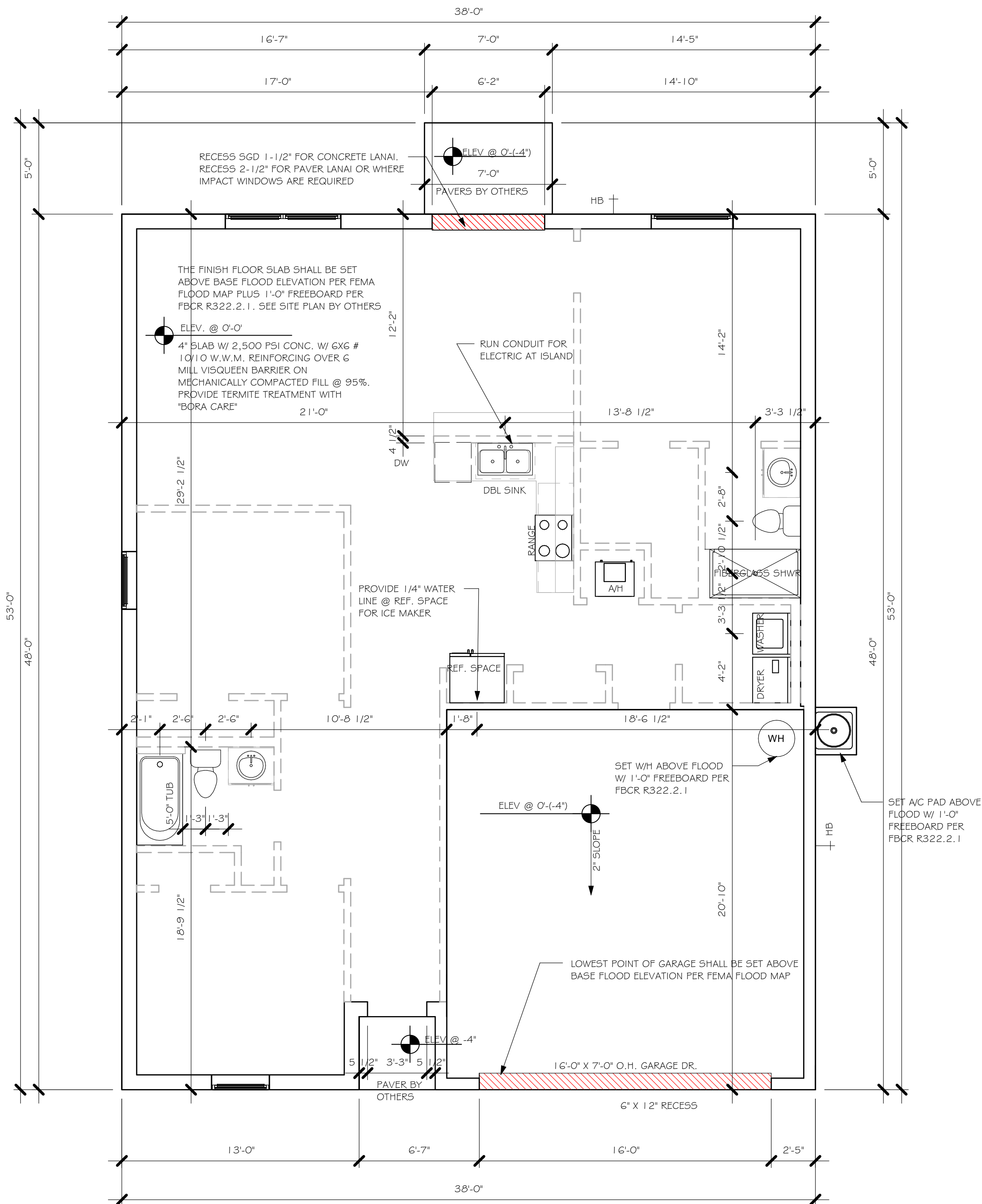
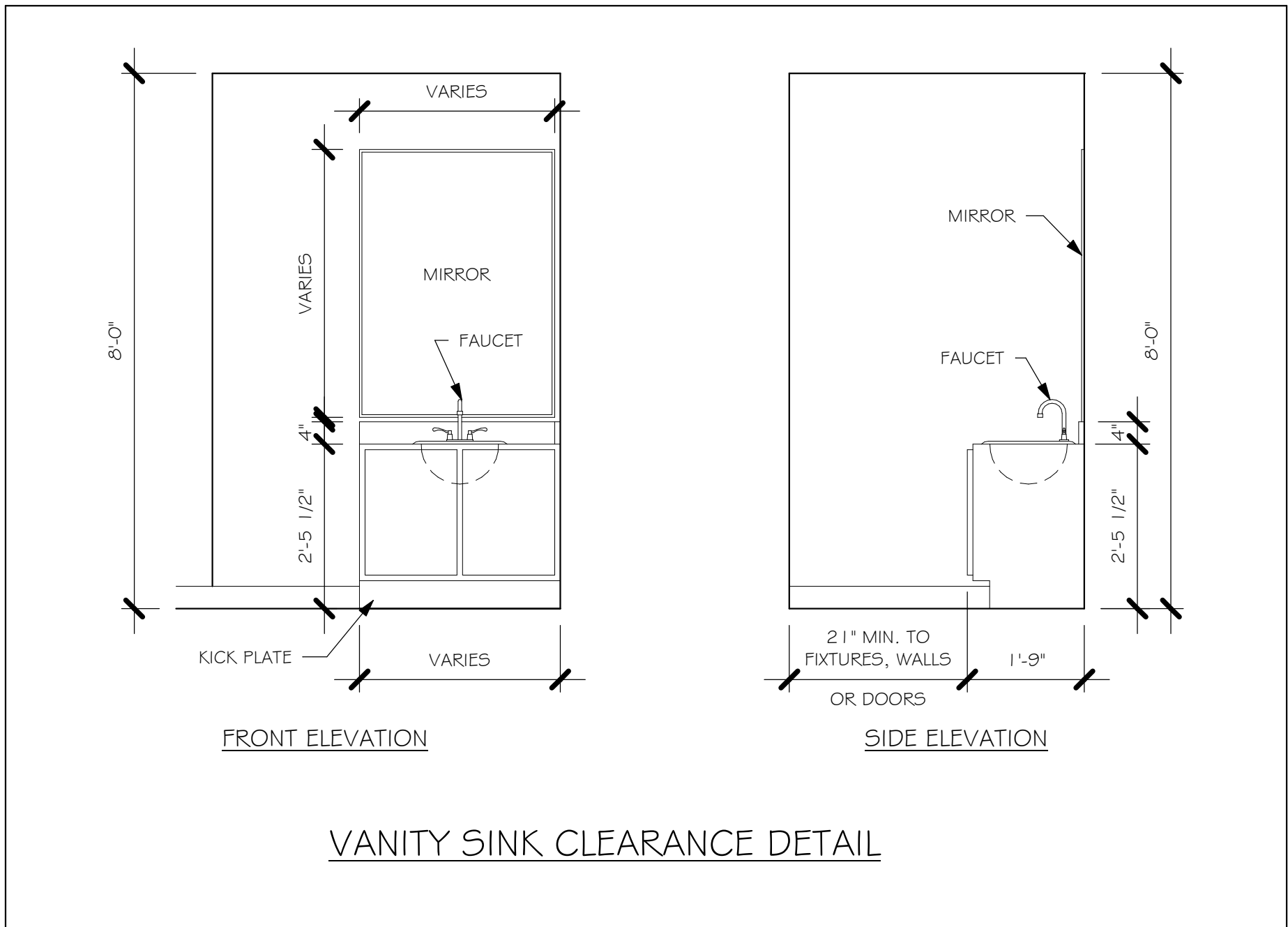
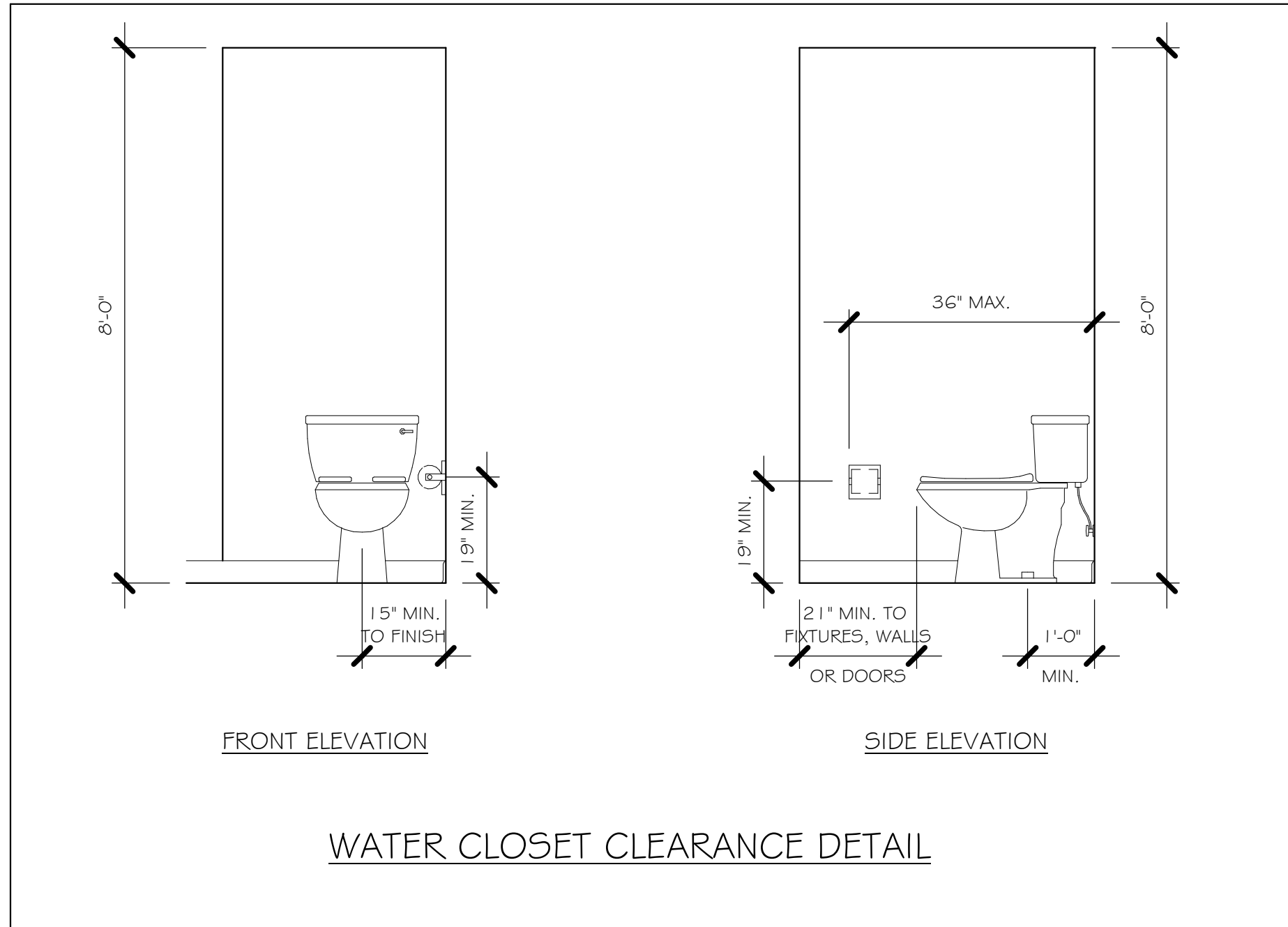
Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-8222
1515 SE 47th ST. CAPE CORAL, FL 33904



LOT: 3	BLOCK: 1792
SUBDIVISION: GULF COVE	
ADDRES: 5348 RILEY LN	
D.R.H. #: 579500012	

MODEL # 1389 A	GCD JOB # 10777
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DATE: 02/22/19
DRAWN BY: JSL
CHECKED BY: JWC
REVISED:
PLAN: ELEVATION
SCALE: 1/4" = 1'-0"
A-1



SLAB & PLUMBING
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\GULF COVE 5POT
-LOT\10777 LOT 3 BLK 1792 1389 ARREV\10777 1389 ARREV.dwg

DOOR SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COUNT
1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	2-3068 SL. GL. DR.	DISTINCTION	6'-8"	6'-0"	1
3	16070 OHGD	GARAGE DOOR	7'-0"	16'-0"	1

WINDOW SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	COUNT	HEIGHT	WIDTH
A	2-25 SH		1	5'-3"	6'-4"
B	25 SH		2	5'-3"	3'-2"
C	35 SH		1	5'-3"	4'-6"

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

- PLAN NOTES
- 1)

VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS

2)

PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.

3)

PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.

4)

NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)

5)

PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE

6)

KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.

7)

INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS

8)

WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5

9)

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT

10)

INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5.

11)

ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PRVENTION DEVICE

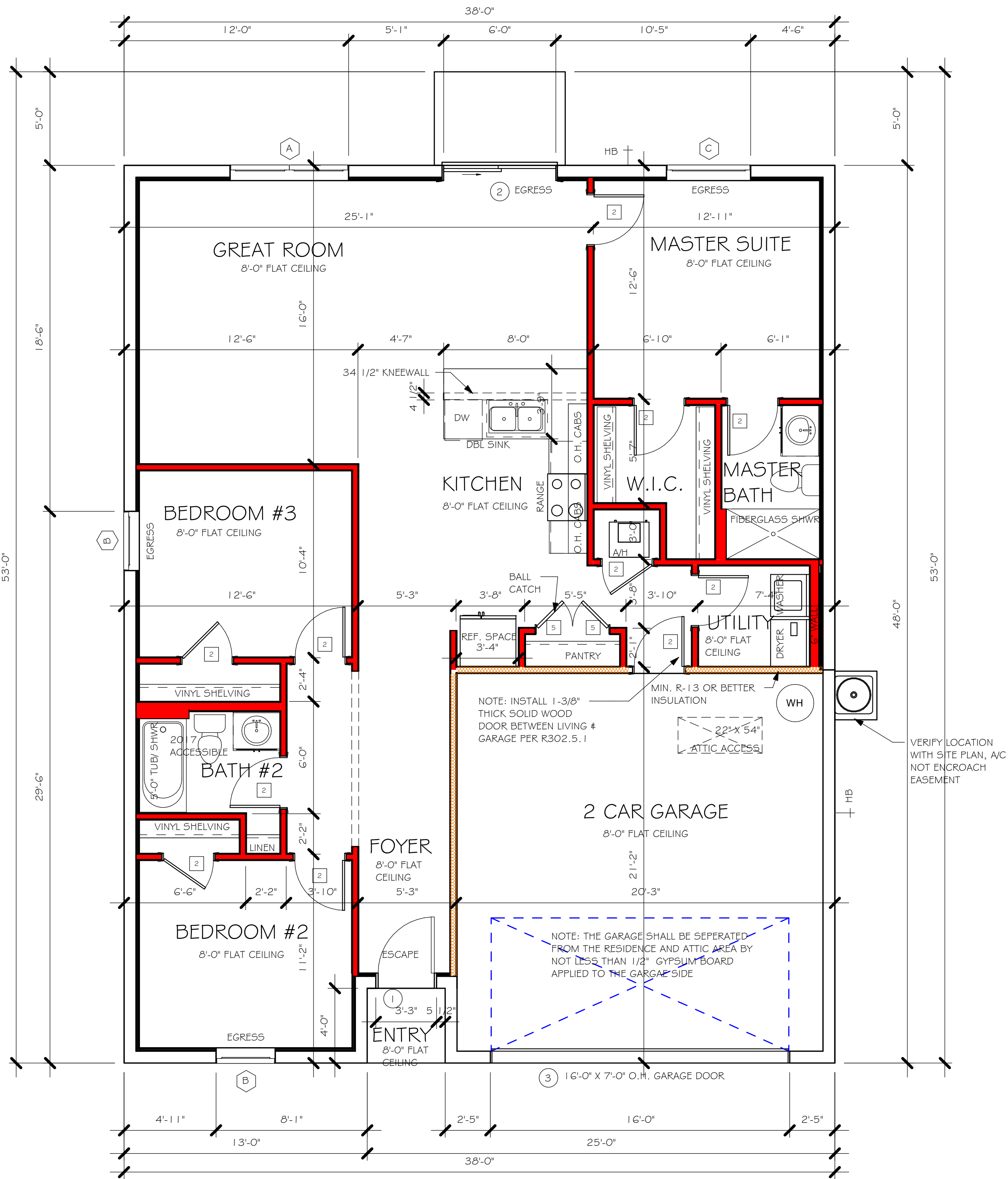
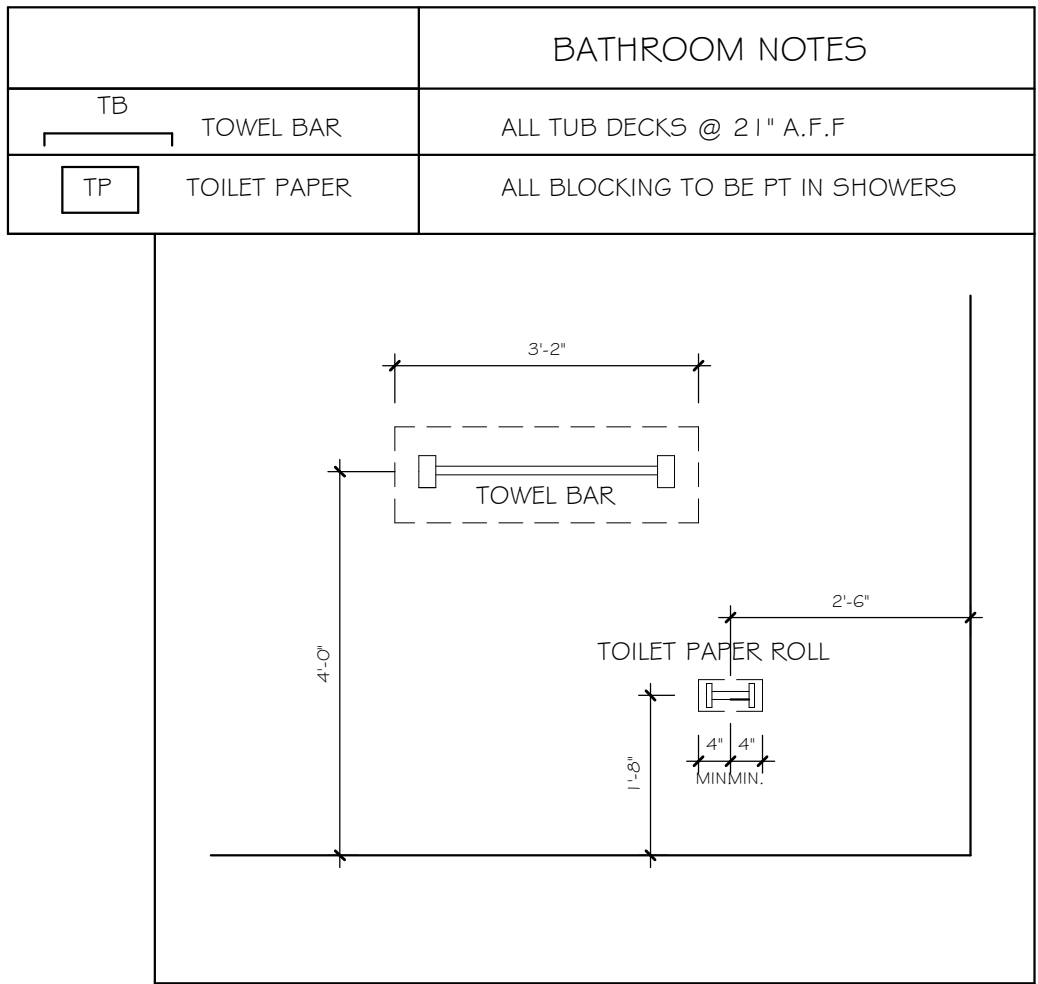
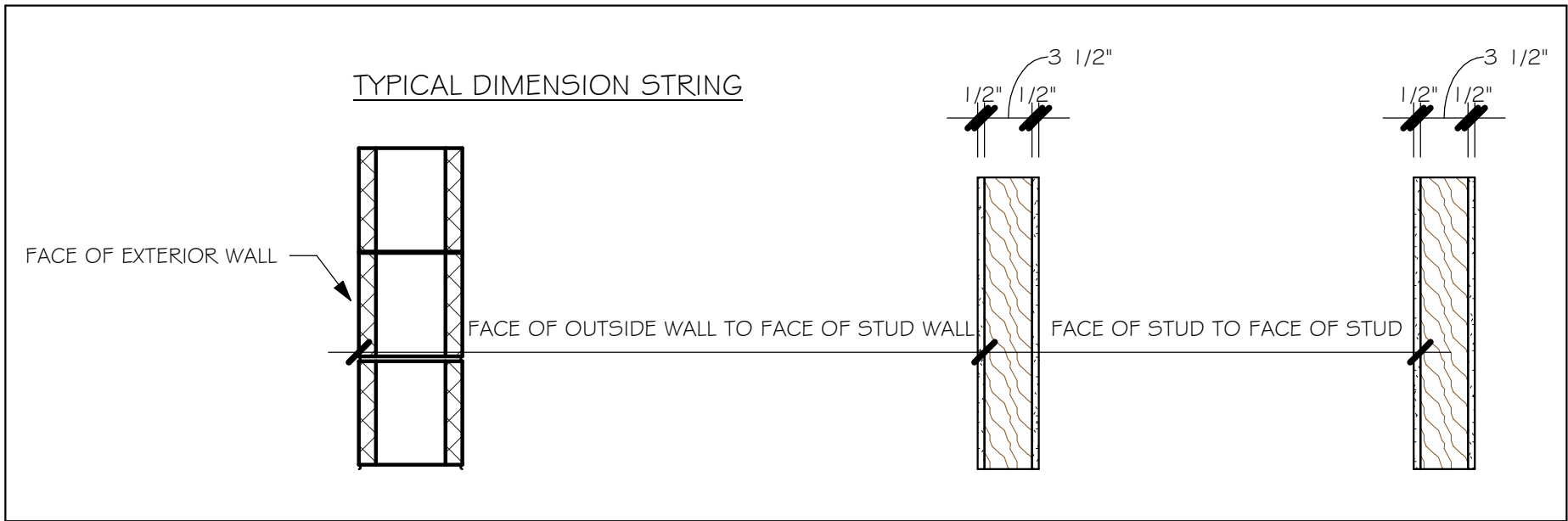
12)

ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.

INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	
3	2'-6"	B.F. = BI-FOLD DOOR
4	2'-4"	B.P. = BI-PASS DOOR
5	2'-0"	
6	1'-8"	L.V. = LOUVERED DOOR
7	1'-6"	
8	2'-11"	

SQUARE FOOTAGE	
LIVING AREA	1,389
GARAGE AREA	419
FRONT PORCH/ ENTRY AREA	16
TOTAL SQUARE FOOTAGE	1,824

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE



FLOOR PLAN
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



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LOT: 3	BLOCK: 1792
SUBDIVISION: GULF COVE	
ADDRES: 5348 RILEY LN	
D.R.H. #: 579500012	

MODEL	
# 1389 A	
GCD JOB # 10777	

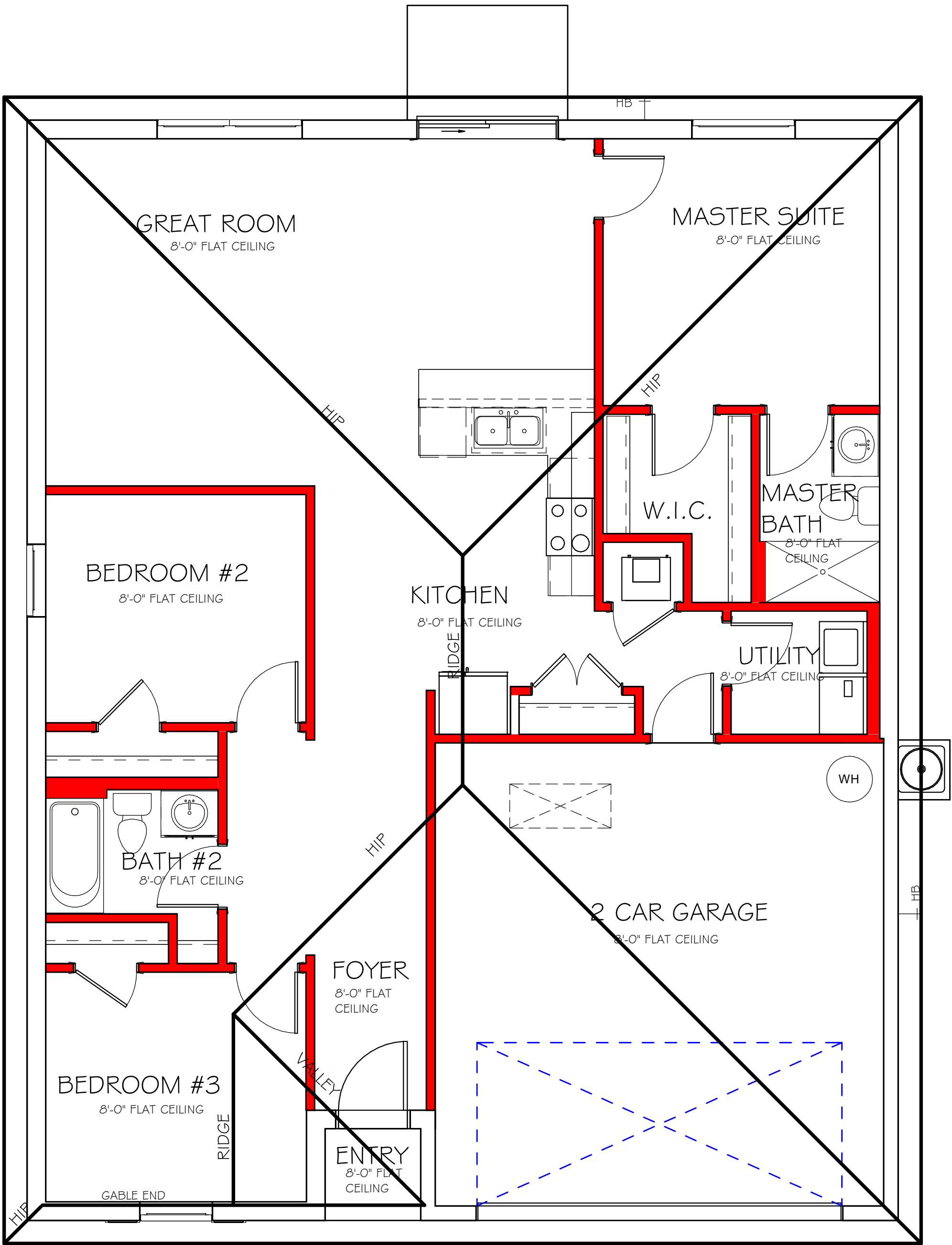
DATE:	02/22/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	
PLAN:	FLOOR
SCALE:	As indicated

A-3

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LOT\51 0777 LOT 3 BLK 1792 1389 ARREV\1 0777 1389 ARREV.dwg

MODEL 1389 A: ATTIC VENTILATION FBCR R806									
COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS									
AREAS (SQ. FT.)			SOFFIT ONLY (1/150) (NO ROOF VENTS)			WITH ROOF VENTS (1/300) (R.V.)			
AREAS (SQ. FT.)			ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED			
MARK	ATTIC	SOFFIT	ATTIC AREA/150	REQ'D AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT	
1st STORY	2000.0 SQ. FT.	176.0 SQ. FT.	13.33%	7.57%	8.15%	--- SQ. FT.	-	---%	
"SOFFIT ONLY" QUALIFIES						ROOF VENTS ARE NOT REQUIRED			
SOFFIT MODEL						ROOF VENT MODEL			
ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW									

BEARING HEIGHT	
	= BEARING @ 8'-0"



ROOF PLAN
1/4" = 1'-0"

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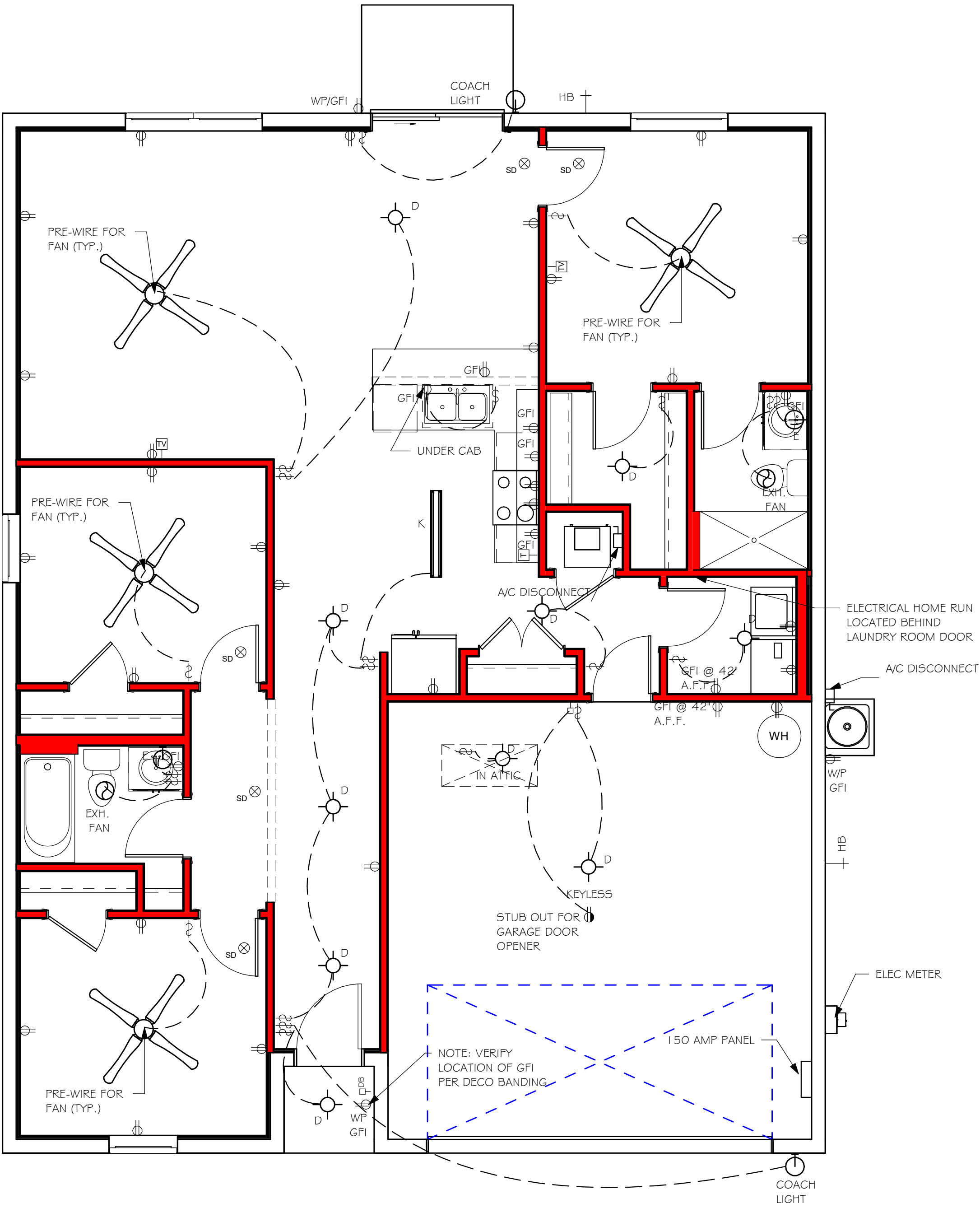
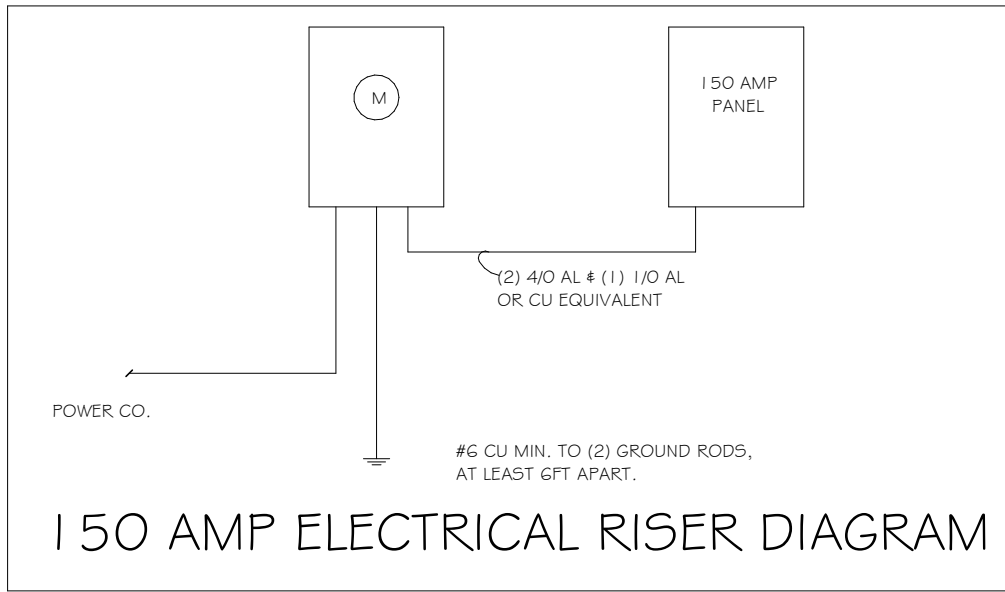
MODEL # 1389 A	GCD JOB # 10777
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DATE:	02/22/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	
PLAN:	ROOF
SCALE:	As indicated

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-LOT\51 0777 LOT 3 BLK 1792 1389 ARREV\1 0777 1389 AR-14

ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE AT ELEV. A.F.F.
	DUPLEX RECEPTACLE - ABOVE COUNTER
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES. PER RULE 9B-3.04.72 SD (SMOKE DETECTOR) SCD (CARBON MONOXIDE/ SMOKE DETECTOR)
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	RECESSED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON (PB) / DOOR BELL (DB)
	INTERCOM
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT
NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.	
ELECTRICAL NOTES: ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.11 ALL ELECTRICAL EQUIPMENT TO BE SET AT OR ABOVE BASE FLOOD ELEVATION. ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S. INSTALL PHONE AND T.V. PER CONTRACT. INSTALL ALL ELECTRICAL PER NEC 2014	

ELECTRICAL PLAN 1389		
150 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(X)	(RECESSED CANS)
B	(X)	(VAPORS)
C	(X)	(PENDANT LIGHT
D	(10)	(10" MUSHROOMS)
E	(2)	(24" 3 LT)
F	(X)	(36" 4 LT)
G	(X)	(NOT USED)
H	(2)	(COACH LIGHTS)
I	(X)	
J	(X)	(J BOX)
K	(1)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(SLT CHANDELIER)
N	(X)	(3 LT.)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)



ELECTRICAL PLAN
1/4" = 1'-0"

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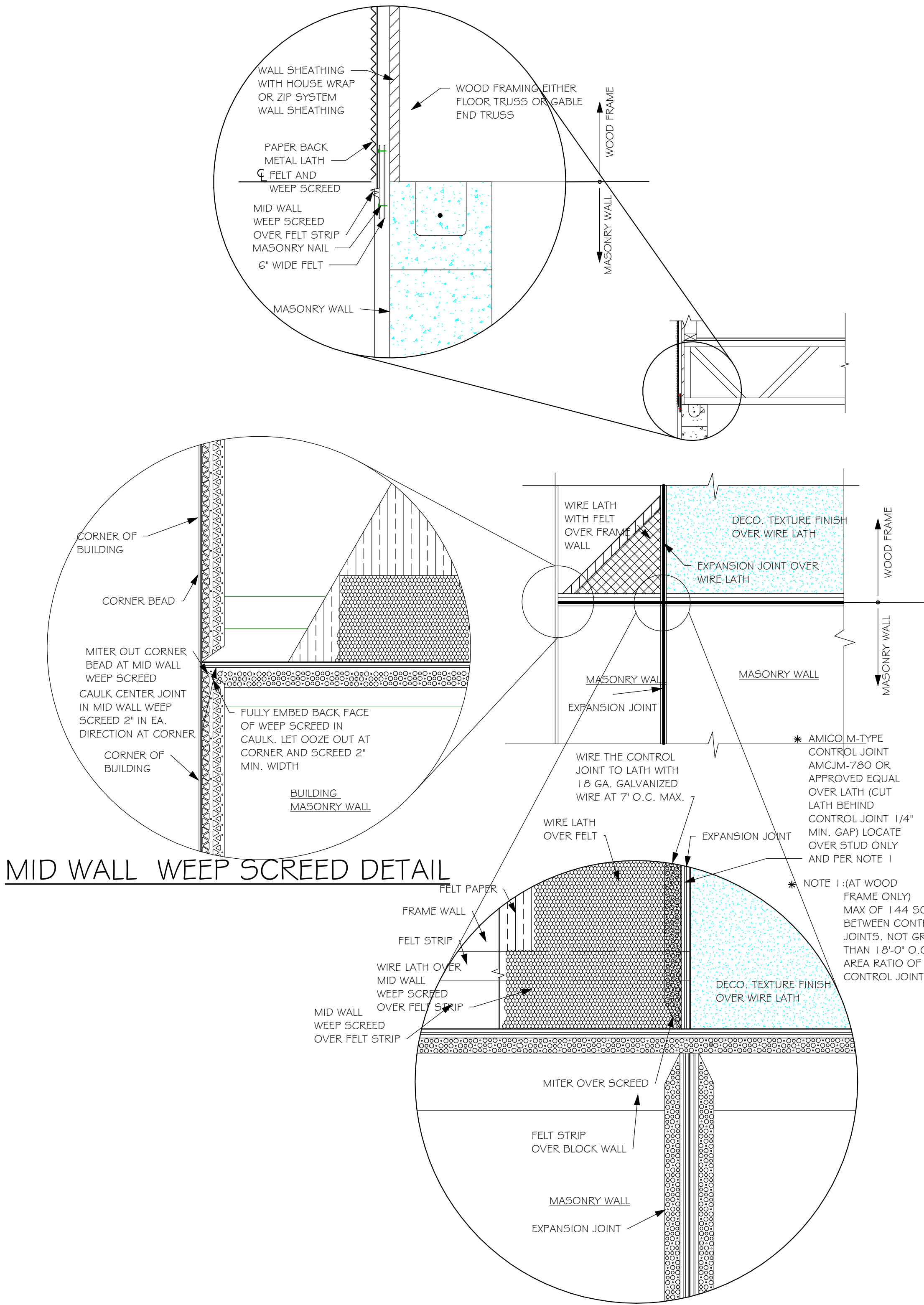
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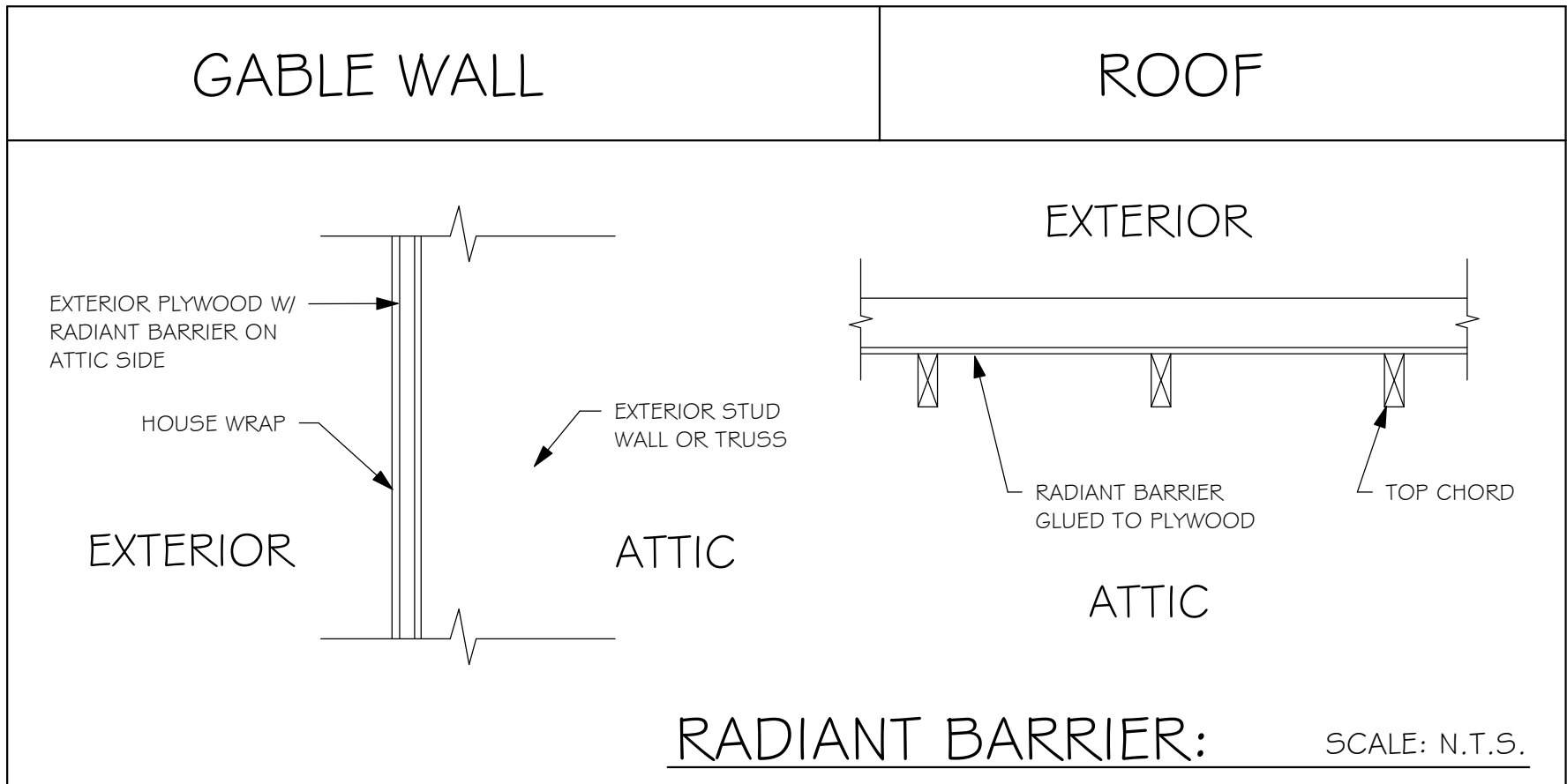
MODEL
1389 A

DATE:	02/22/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	
PLAN:	ELECTRICAL
SCALE:	As indicated

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-LOT\10777 LOT 3 BLK 1792 1389 ARREV\10777 1389 AR-14



WEEP SCREED DETAIL
INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE
WOOD STUD FRAMING IS ABOVE MASONRY WALLS.



NOTE: EXTERIOR WALLS ADJACENT TO ATTIC SPACE, INCLUDING KNEEWALLS AND GABLE END WALLS, MUST HAVE RADIANT BARRIER AND HOUSE WRAP.

RESIDENTIAL SPECIFICATIONS

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING, THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT. ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT MOPED DIPPED GALVANIZED OR STAINLESS STEEL CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
- TREATED WOOD REQUIREMENTS:- ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
- CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
- LANAI CEILINGS & COVERED ENTRY CEILINGS 1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS, 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

DOOR AND WINDOW ANCHORAGE

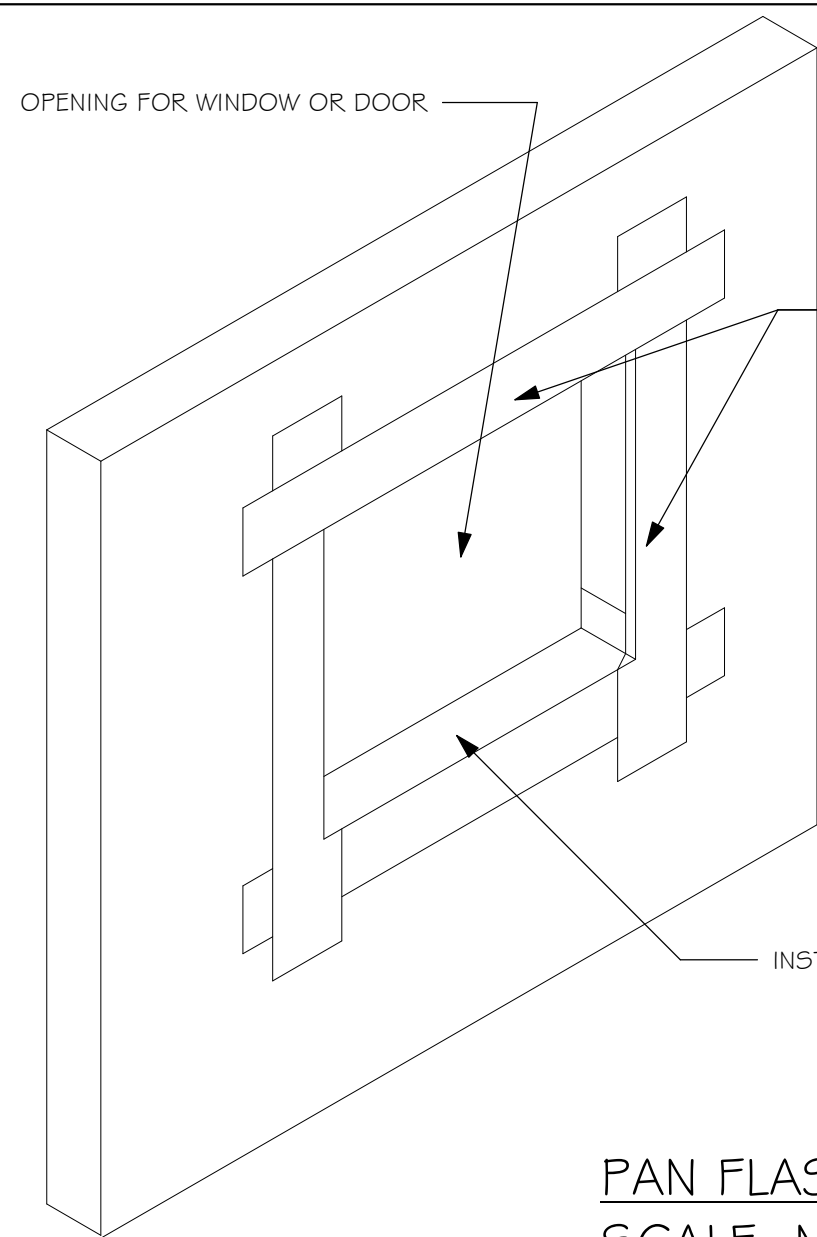
ANCHORAGE REQUIREMENTS- ALL PASS AND SLIDING GLASS DOORS AND ALL WINDOW ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A MANNER SPECIFIED BY THE PUBLISHED MANUFACTURERS LITERATURE. THERE SHALL BE NO SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER.

MASONRY OPENING

WHERE WINDOW FRAME IS DESIGN TO FASTEN WITH SCREWS THROUGH THE FRAME AND INTO THE MASONRY, THE BUCK MATERIAL IS SIMPLY A SPACER. THE BUCK MAY BE FASTENED WITH THE T NAILS OR ANY SUITABLE FASTENER TO TACK IT INTO POSITION PRIOR TO WINDOW INSTALLATION. FASTEN WINDOW FRAME PER MFR INSTRUCTIONS. A WINDOW FASTENER SHALL PENETRATE MASONRY BY 2 1/4" MIN.

WHERE WINDOW FRAME IS DESIGNED TO FASTEN ONLY TO THE WOOD BUCK (IE, FLANGED FRAME WITH WOOD SCREWS) THE BUCKS SHALL BE 2X WOOD WITH STRUCTURAL FASTENING TO THE MASONRY WITH 1/4 X 3 3/4 MASONRY SCREWS @ 24" OC AND 6" FROM EACH END.

WOOD FRAMED OPENING- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURERS LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE OF RESISTING THE APPLIED LOADS AND SHALL BE LOCATED NEAR EACH FRAME FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE TIGHTENED .



WHERE "PAN" FLASHING IS USED AT THE SILL, ALSO INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES

THE FLASHING INSTRUCTIONS FROM THE WINDOW/ DOOR MFR., OR THE FLASHING MFR., SHALL SUPERCEDE THIS DETAIL

PAN FLASHING PER R703.4
SCALE: N.T.S.

GENERAL ROOF ASSEMBLY

ROOF SHEATHING

SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL "H" CLIPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 4" O.C. EDGE AND 6" O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK NAILS PER R803.2.3.1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.

FLASHING

FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE A250 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURERS PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).

DRIP EDGE

DRIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS, LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". DRIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.

4

ASPHALT SHINGLE ROOF SPECS

SHINGLES

15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF 2 FASTENERS PER SHINGLE TAB, AND SHALL IN NO CASE BE FASTENED WITH LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. INSTALLATION SHALL COMPLY WITH MANUFACTURERS REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.

FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 12 GAUGE (0.105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL BE A LENGTH TO PENETRATE THE SHEATHING

THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND SHALL BE KORROSION RESITANT BY ELECTRO GALVANIZATION, MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL

5

CLAY AND CONCRETE ROOF TILE SPECS

INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE LAYER APPLICATION UNDER TILE ROOF. THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF R905.3 F.B.C. MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURER'S IDENTIFICATION MARK. APPLICATION SPECIFICATIONS: THE TILE MANUFACTURER'S WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING:

- TILE PLACEMENT AND SPACING.
- ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CURRENT WIND CODE.
 - AMOUNT AND PLACEMENT OF MORTART
 - AMOUNT AND PLACEMENT OF ADHESIVE
- C TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS.
- UNDERLAYMENT
- SLOPE REQUIREMENT.

6

FLOOR SHEATHING AT 2ND FLOOR

A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATING 48/24 OR BETTER, GLUED AND NAILED

ROOF SHEATHING PER SCHEDULE 2/5-1 AND PER NOTES IN TABLE 3 ON A-6

TILE ROOF PER NOTE 6 ON A-6. OR SHINGLE ROOF PER NOTE 5 ON A-6

WOOD TRUSSES @ 24" O.C. (TYPICAL.) DESIGNED BY DELEGATED TRUSS ENGINEER.

EMBEDDED STRAP AT EACH TRUSS PER ROOF FRAMING PLAN.

FLASHING AND DRIP EDGE PER NOTES IN TABLE 2 ON A-6

2X6 MIN. SUB FASCIA

PROVIDE VENTILATION PER R806.1

VENTED SOFFIT SHALL MEET R703.1.2.1 SEE TABLE 3 ON S-3

8X8 CONTINUOUS BOND BEAM W/ #5, GROUT SOLID

SLOPE TO EXTERIOR

PRECAST CONCRETE SILL

DECO. CEMENT FINISH PER ASTM C-926

CONC. FOOTING SEE FOUNDATION PLAN FOR SIZE AND REINFORCING.

GRADE

WOOD BASE

4" CONC. SLAB ON 6 MIL. VISQUEEN VAPOR BARRIER ON MECHANICALLY COMPACTED FILL @ 95%.

1/2" DRYWALL W/ TEXTURED WALLS

1X2 P.T. FURRING STRIPS @ 24" O.C. W/ INSULATION (MIN. R4.1)

PROVIDE TERMITE TREATMENT WITH "BORA CARE".

SILL SET IN MORTAR

1X4 P.T. BUCK W. BED OF CONTINUOUS CAULK UNDER

PRECAST LINTEL SEE FRAMING PLAN

R=30 FIBERGLASS BATT INSULATION

DRYWALL CEILING PER NOTE 9 IN TABLE 1 ON A-6

1X4 P.T. STRIP

5.7 SQ. FT. CLEAR OPENING

2'-0" MIN.

1'-8" MIN.

3'-0" MAX.

FINISH FLOOR

R310.2.1 MINIMUM OPENING AREA- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²).

EXCEPTION- GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.5 SQUARE FEET (0.465 m²).

R310.2.1 MINIMUM OPENING HEIGHT- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm).

R310.2.1 MINIMUM OPENING WIDTH- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508mm).

R310.1.1 OPERATIONAL CONSTRAINTS- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

R310.2.3 WINDOW WELLS- THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (0.84 m²), WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (914mm). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

MINIMUM EGRESS WINDOW DETAIL

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION



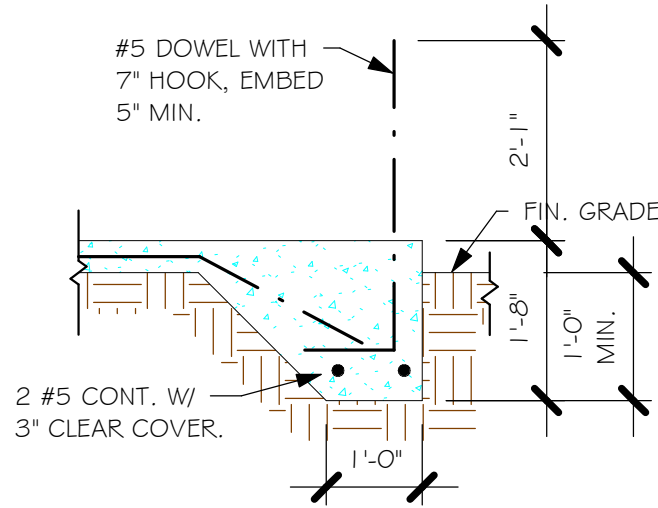
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SUBDIVISION: GULF COVE	
ADDRES: 5348 RILEY LN	
D.R.H. #: 579500012	

MODEL # 1389 A	GCD JOB # 10777
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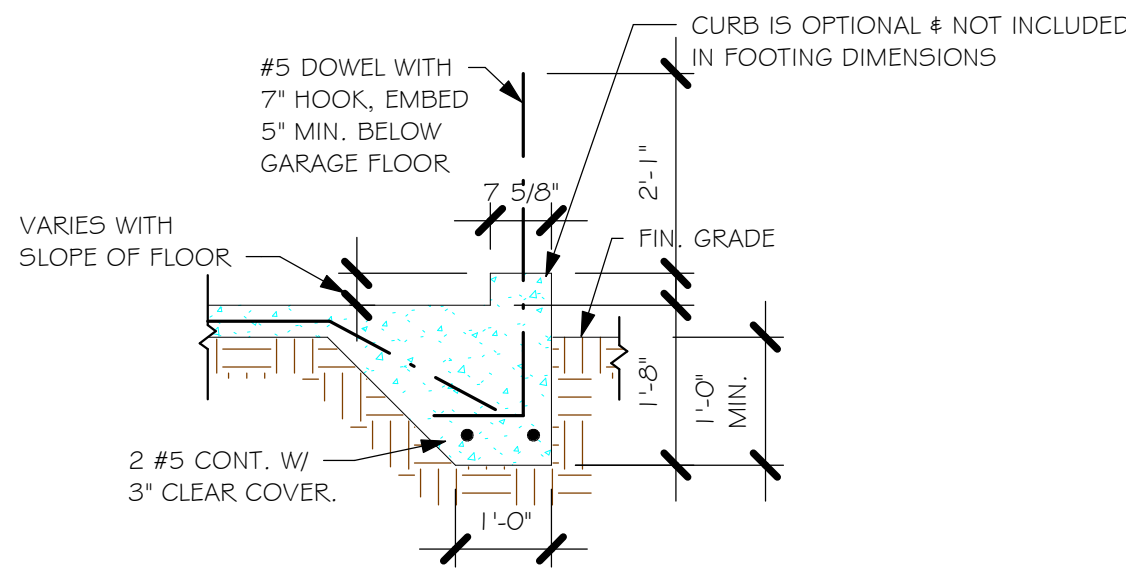
DATE:	02/22/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	
PLAN:	SECTIONS
SCALE:	As indicated

A-6

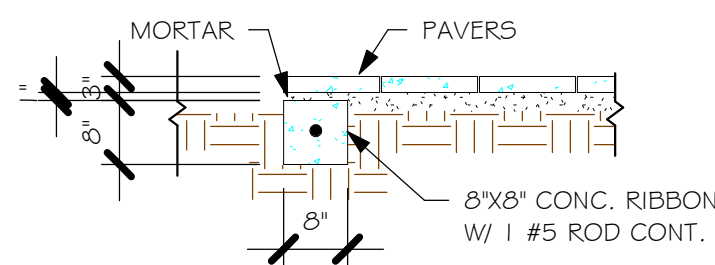
Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\GULF COVE SPOT
LOT5\10777 LOT 3 BLK 1792\1389 ARREV\10777 1389 AR.rvt



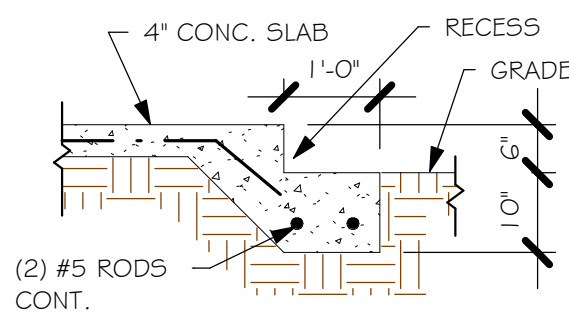
"F3" FOOTING
1/2" = 1'-0"



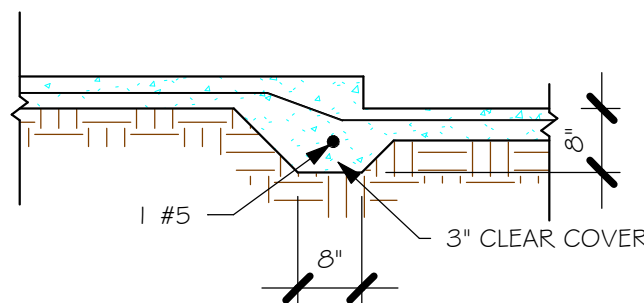
"F3" WITH CURB AT GARAGE
1/2" = 1'-0"



"P" PAVERS DETAIL ENTRY/ LANAI
1/2" = 1'-0"



GARAGE DOOR RECESS
1/2" = 1'-0"



"FGA" STEP DOWN
1/2" = 1'-0"

PAD FOOTING SCHEDULE							
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINF.		REMARKS
					LONG WAY	SHORT WAY	
X	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5	-
X	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5	-
X	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5	-
X	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5	-
X	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5	-

WALL FOOTING SCHEDULE

USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING	SHAPE
X	F1	CONT.	1'-4"	0'-8"	2-#5	
X	F2	CONT.	1'-8"	0'-10"	2-#5	
X	F3	CONT.	1'-0"	1'-8"	2-#5	
X	F4	CONT.	1'-4"	1'-8"	2-#5	
X	F5	CONT.	1'-4"	1'-0"	2-#5	
X	F6	CONT.	1'-4"	1'-0"	2-#5	
X	F6A	CONT.	0'-8"	0'-8"	1-#5	
X	TE	CONT.	0'-8"	0'-8"	1-#5	

PROVIDE CORNERS BARS PER G/S-3

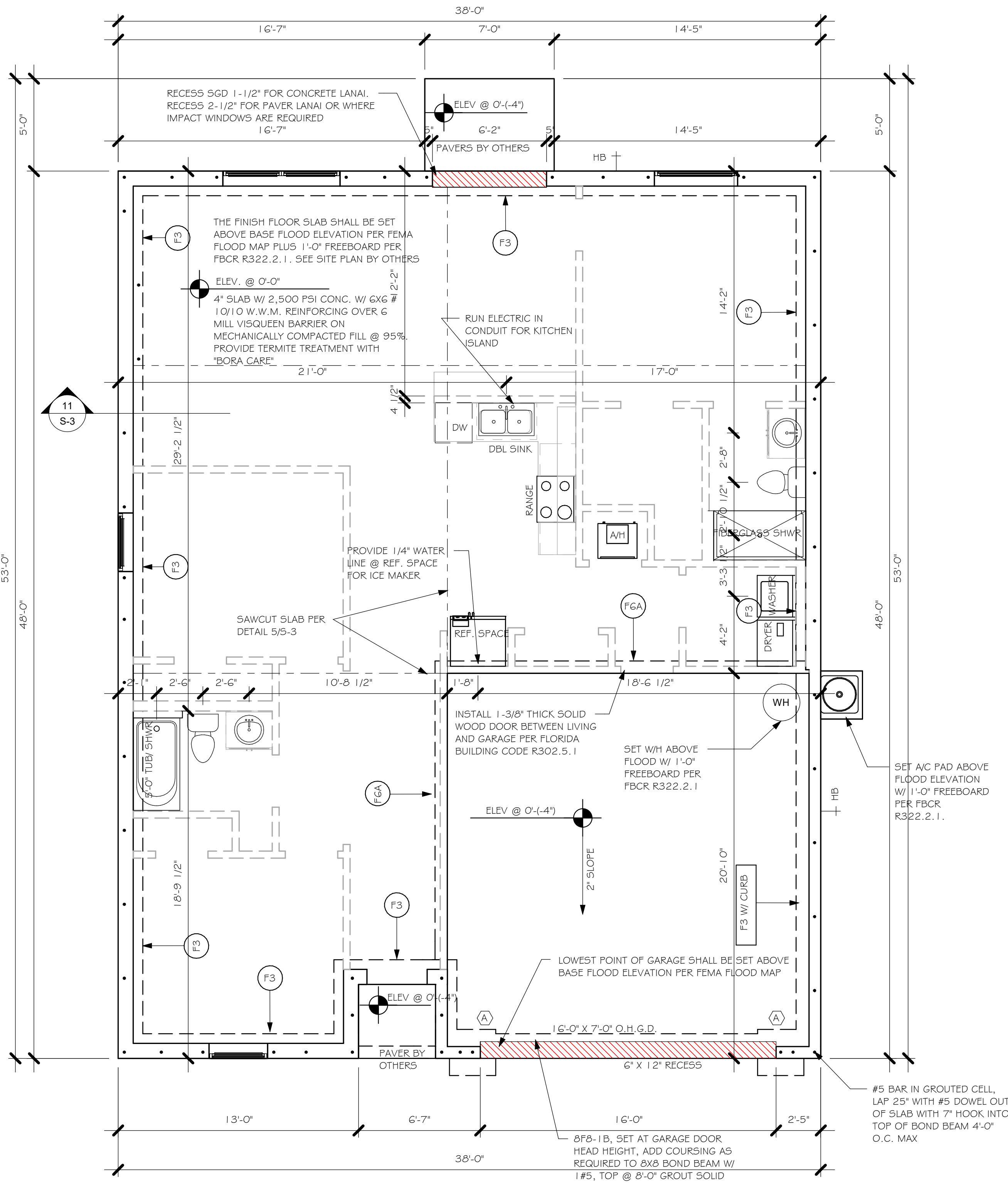
ADD CURB TO GARAGE, SEE DETAIL.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
2. "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
3. PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
4. ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
5. FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
6. PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.



FOUNDATION
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

Gulf Coast
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PHONE: 239-540-1822
1515 SE 47th ST. CAPE CORAL, FL 33904

STRUCTURAL
SYSTEMS
OF NORTH FLORIDA

1515 SE 47th ST. CAPE CORAL, FL 33904
(239) 549-4554
CIVIL 8889

LOT: 3
BLOCK: 1792
SUBDIVISION: GULF COVE
ADDRESS: 5348 RILEY LN
D.R.H. #: 579500012
GCD JOB # 10777

MODEL
1389 A

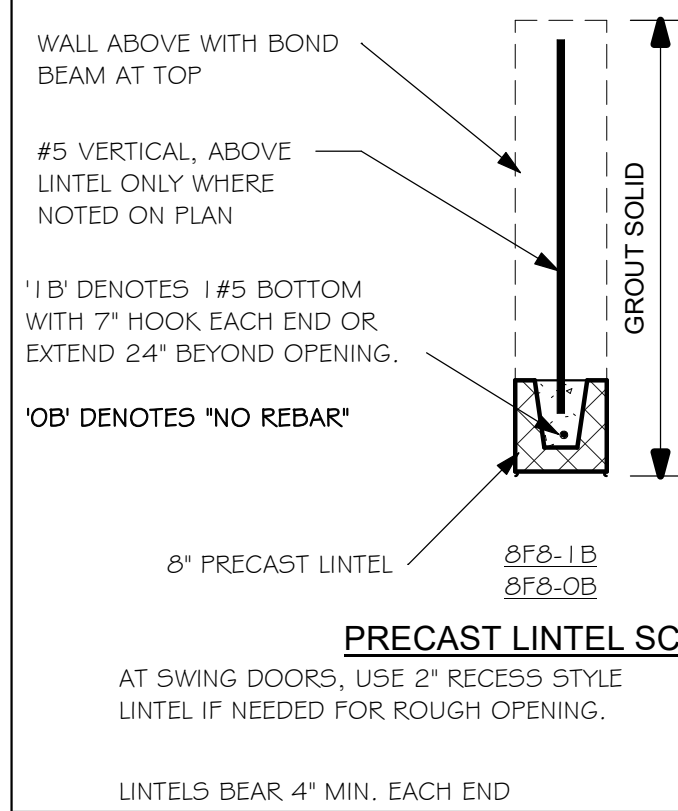
DATE: 02/22/19
DRAWN BY: JSL
CHECKED BY: JWC
REVISED:
PLAN: FOUNDATION PLAN
SCALE: As indicated

S-1

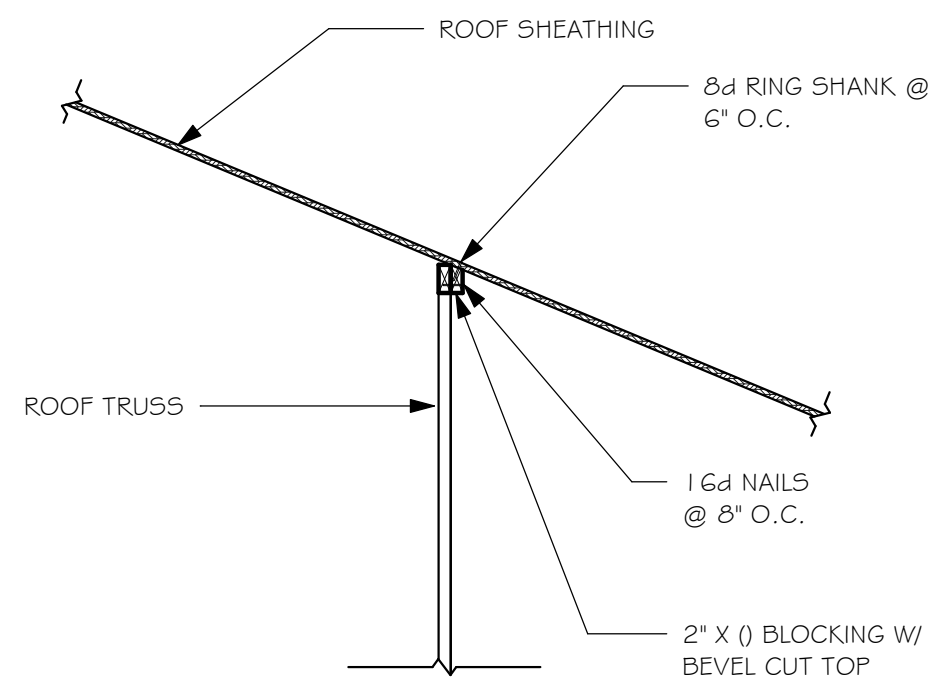
NOTES:

1. PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON -CL OF WALL.
2. CONNECTORS ARE USP STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.
3. WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER 2/S-4.
4. 'ATR' = ALLTHREAD. DRILL AND EPOXY WITH USP EPOXY PER MFR. INSTRUCTIONS.

REV



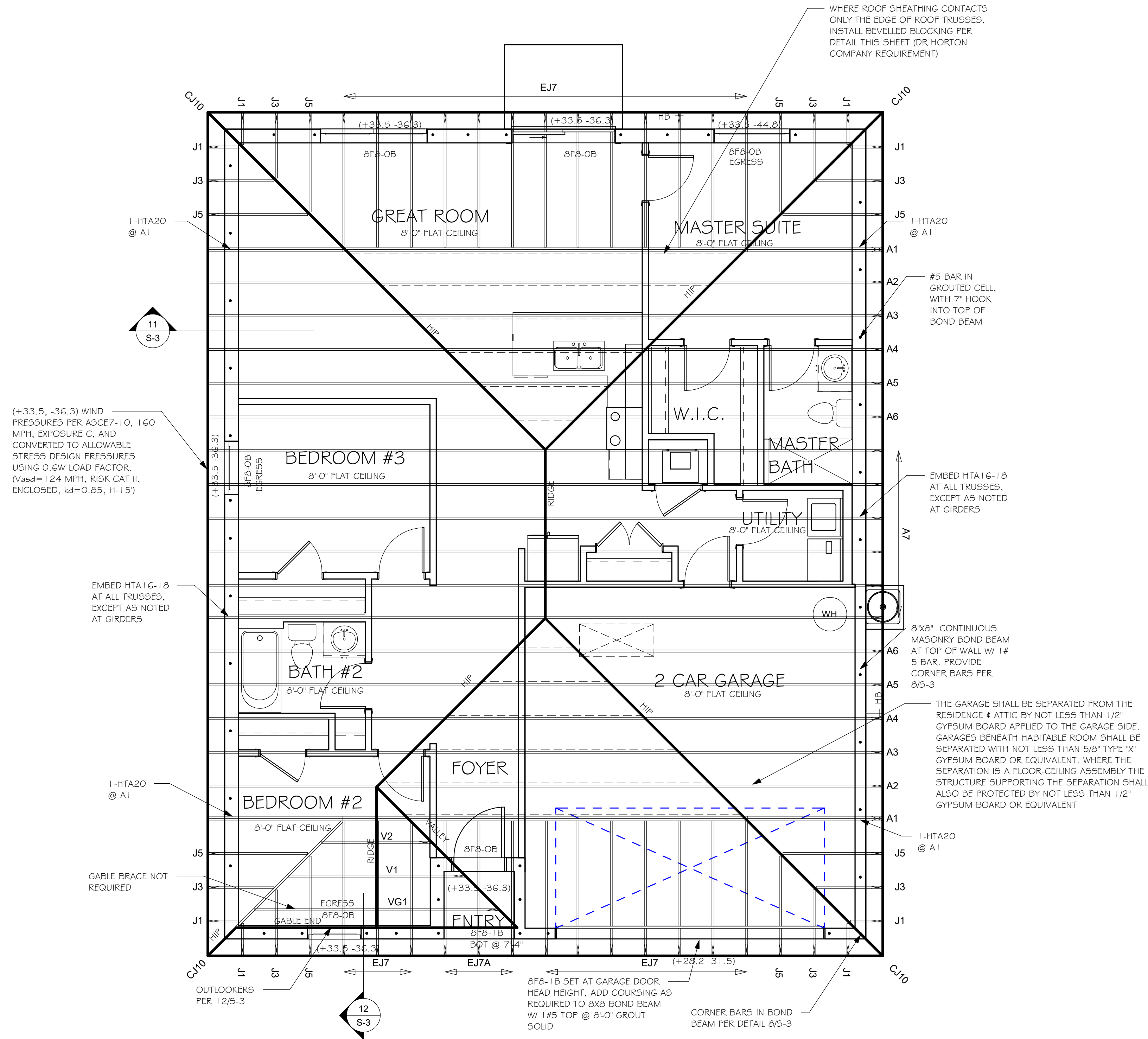
1. ROOF TRUSS BEARING @ 8'-0".
2. ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET 5-3.
3. PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET.
4. FOR NAILING OF ROOF AND FLOOR DECK, SEE 1 AND 2 ON 5-3.
5. **[6F-B]** etc., DENOTES PRECAST LINTEL ABOVE DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET.
6. AT TRUSS BEARING, PROVIDE 6x6 MASONRY BOND BEAM W/ #5 CONTINUOUS, SEE DETAIL 11/5-3.



BEVELLED BLOCKING DETAIL

TRUSS BEARING CONDITIONS AND
STRAPPING IS BASED ON TRUSS LAYOUT
PREPARED BY SCOSTA JOB# 44115
DATED: 05/21/18 REVISED: 06/10/18

= BEARING @ 8'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



2 NOTE: EXTERIOR CEILINGS AND SOFFITS 1) AND 2) SPECIFIED
HERE MEET THE DESIGN WIND PRESSURES PER R703.1.2.1.

THERE IS NO GUIDANCE IN THE CODE FOR HOW FAR A CORNER MUST PROTRUDE FROM THE MAIN BUILDING TO BE CONSIDERED 'ZONE 5'. WE HAVE CHOSEN '5%', THIS IS SUBJECT TO JUDGEMENT CALL BY THE AUTHORITY HAVING JURISDICTION.

IN ZONE 5, MANUFACTURED SOFFIT PRODUCTS MAY REQUIRE ADDITIONAL BATONS OR FASTENING PER MFR ENGINEERING SPEC SHEETS TO MEET THE PRESSURE REQUIREMENTS.

END ZONE 5 PRESSURES OCCUR AT "PRIMARY" OUTSIDE CORNERS OF BUILDING (BOLD LINES)

INTERIOR ZONE 4 PRESSURES

END ZONE WIDTH = 5'-0" MEASURED FROM FACE OF WALL

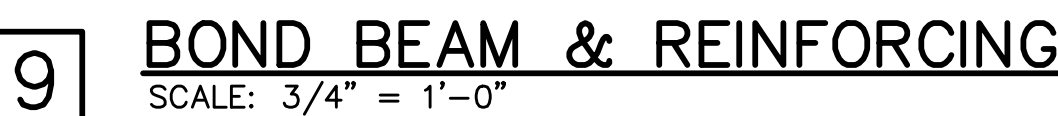
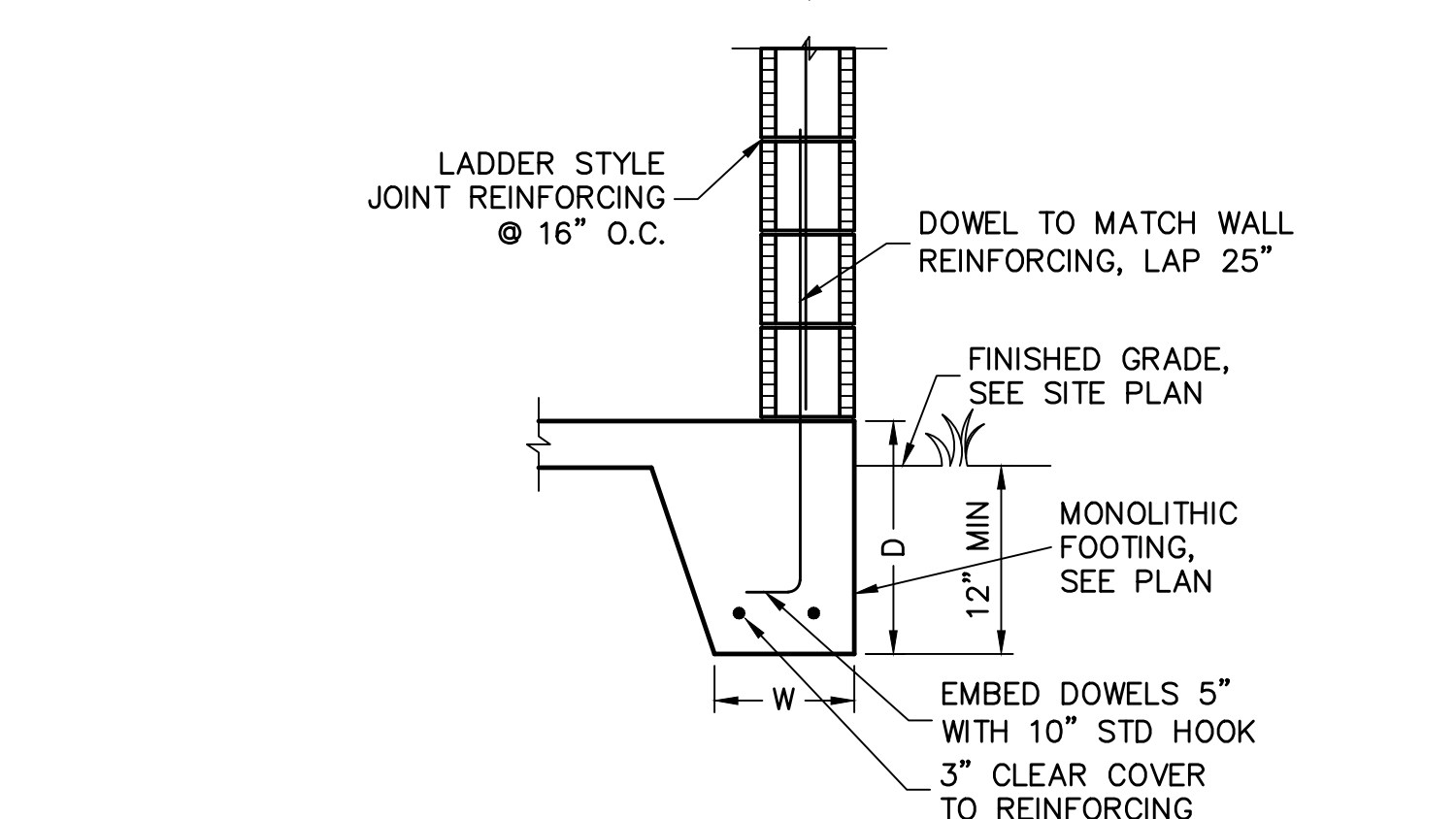
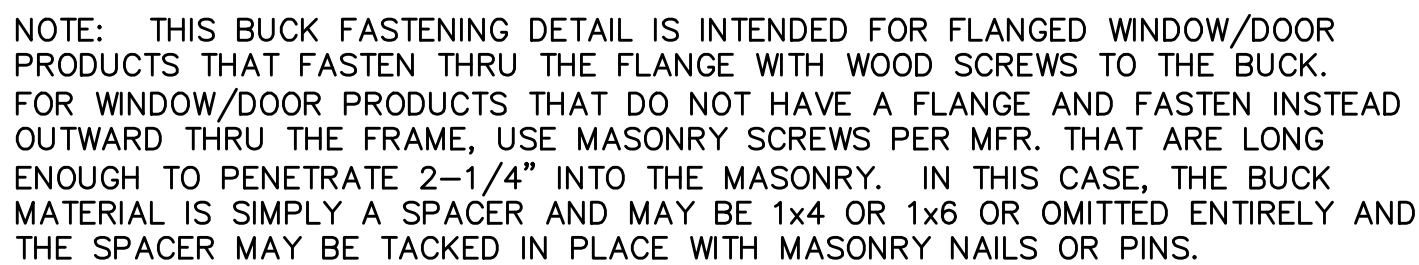
* $X > 5\%$

TYPICAL HOUSE PLAN

9 BOND BEAM & REINFORCING

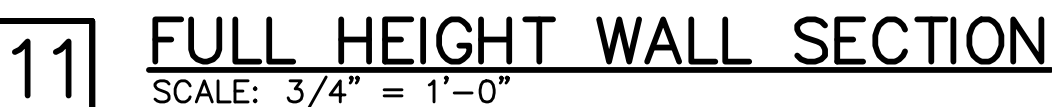


12 OUTLOOKER DETAIL
SCALE: N.T.S.



NOTES:

- 1) WHERE EMBEDDED STRAP IS MISSING OR MIS-LOCATED, PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.
- 2) CONNECTORS ARE USP. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS.
- 3) CONCRETE SCREW SHALL BE WEDGE-BOLT+, TITEN, TAPCON OR EQUIVALENT.



SHEET 3 OF 3