

UNLESS NOTED

REACTION VALUES ARE UNDER 5000#
UPLIFT VALUES ARE UNDER 1000#

DO NOT ATTEMPT TO ERECT TRUSSES WITH—OUT REFERRING TO THE ENGINEERING DWGS.

IT IS NECESSARY TO REFER TO THE ENGINEERING DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION,

ORIENTATION AND WEB BRACING

REFER TO WTCA/TPI BSCI-B1 SUMMARY
SHEET FOR HANDLING METHODS & TEMPORARY

BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA CORP. "+/-" BEARING DIFFERENCES SHOWN ARE CRITICAL. IF ANY HEIGHTS DEVIATE - INFORM SCOSTA CORP.

BRACING, WHICH IS ALWAYS REQUIRED

IF ANY HEIGHTS DEVIATE - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS

0'-0" ELEV.

ELEV.

ELEV.

ELEV.

ELEV. ELEV.

HANGER SCHEDULE C USP HUS 26 M USP THDH 28-3

- F USP HUS 28 N USP THD 48
- H USP THDH 28 P USP JUS 24

 I USP THDH 28-2 B USP MSH 422
- W USP HJC 26

 HANGER VALUES HAVE BEEN BASED ON 16D
 COMMON NAILS EXCEPT THE FOLLOWING
 LUS24 10D COMMON THJA26 10D x 1-1/2

******ATTENTION*****

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS, PITCHES, OVERHANGS, ELEVATIONS, CEILING & BEARING CONDITIONS. SCOSTA CORPORATION IS RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH PLANS AND/OR INFORMATION PROVIDED BY CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN. CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF INFORMATION AND PLANS PROVIDED TO SCOSTA CORPORATION, AND TO VERIFY CONFORMANCE TO FIELD CONDITIONS, AND/OR OWNER CHANGES. TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE APPROVED LAYOUT.

APPROVED BY: ______

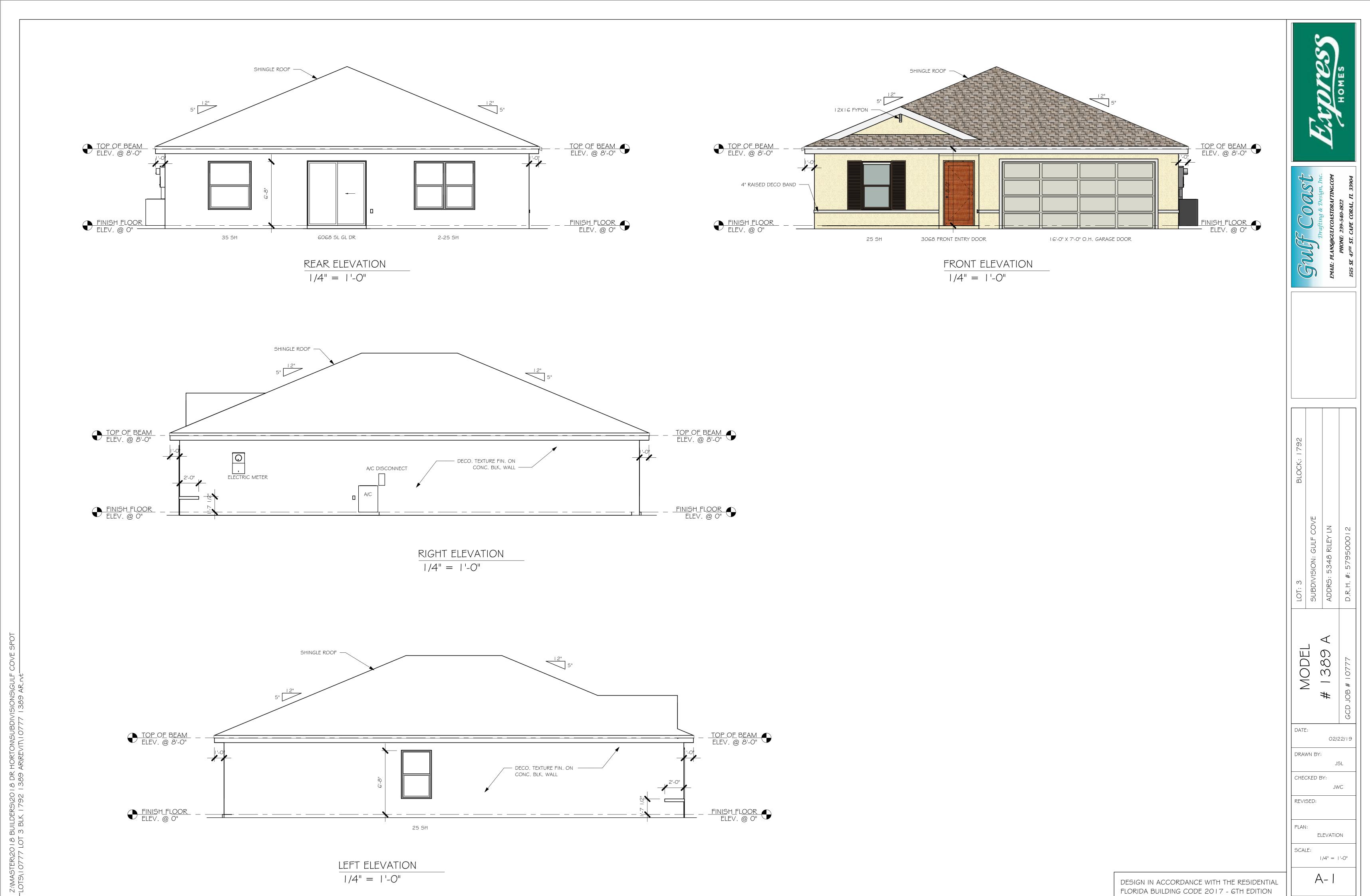
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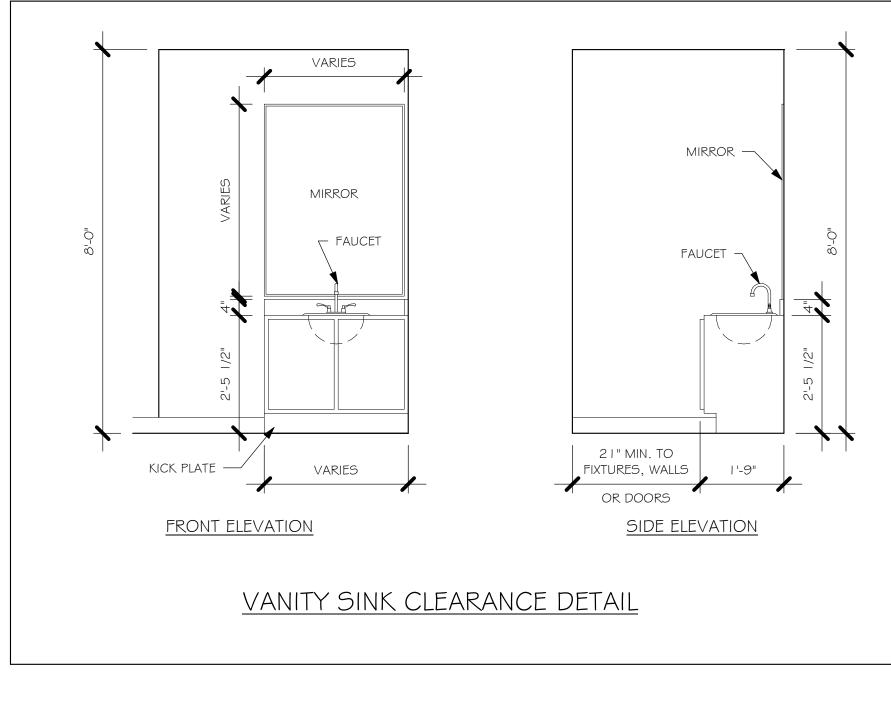
JOBSITE CONTACT NAME: _____

PHONE #: ______

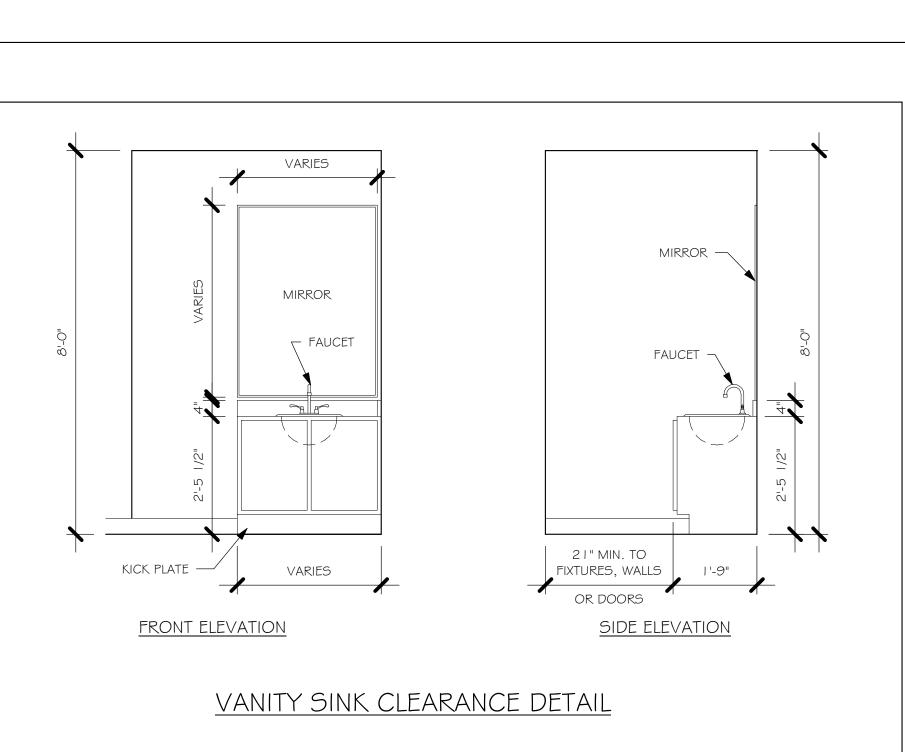
SCOSTA CORP.

WOOD, STEEL OR TIME ROOF & FLOOR TRUSS		
	DRIVE	
SCALE: DATE: REVISED BY: 1/4"=1'-0" 05/21/18 KD 06/10	F	RAWN BY: KRISTY
JOB ADDRESS: 1389 A GARAGE RIGHT LEE		1 of 1
CUSTOMER:	JOB #	
D.R. HORTON	44	115





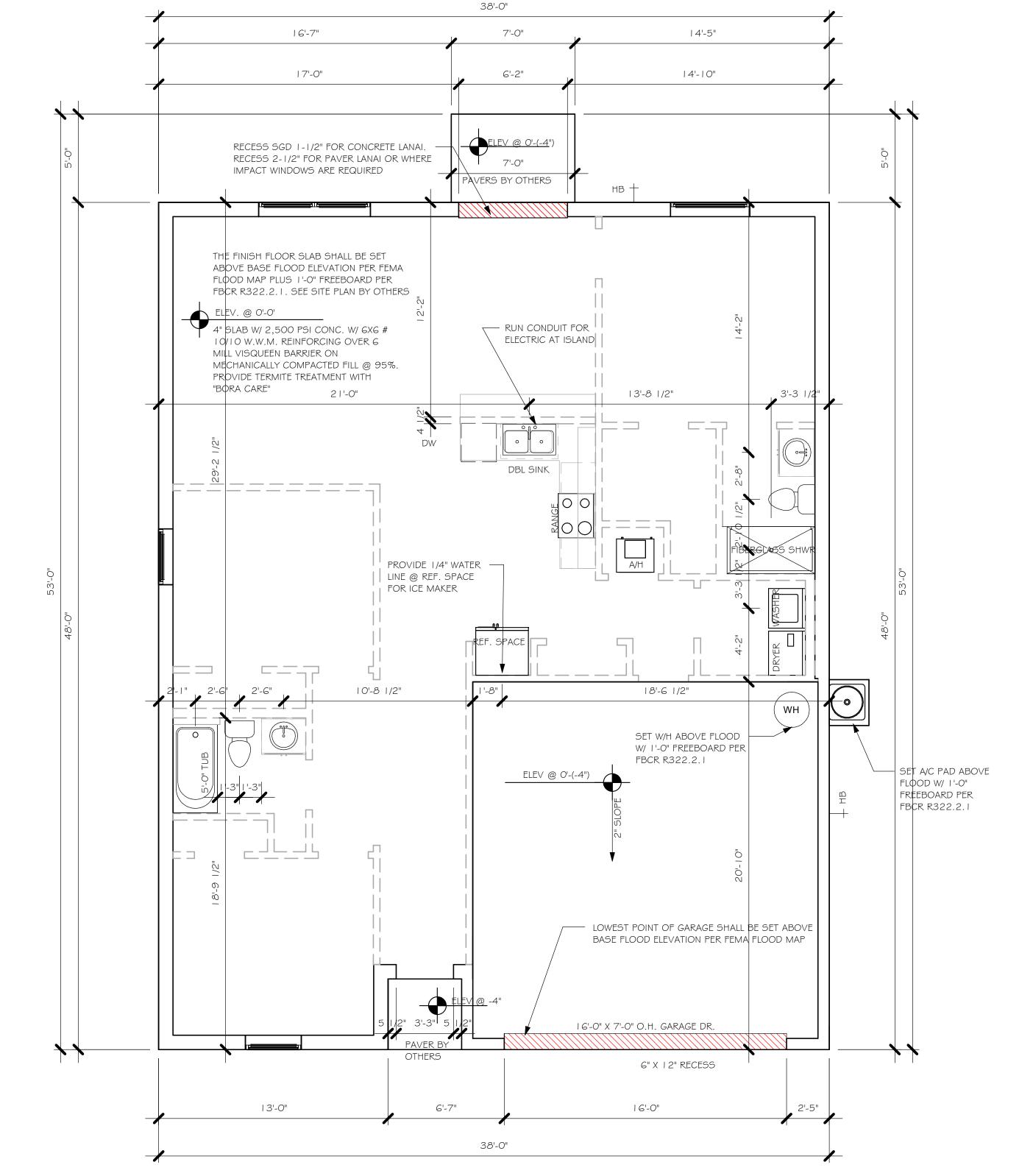
FRONT ELEVATION



WATER CLOSET CLEARANCE DETAIL

36" MAX.

SIDE ELEVATION



SLAB & PLUMBING

1/4" = 1'-0"

MODEL DATE: 02/22/19 DRAWN BY: CHECKED BY: JWC REVISED:

SLAB & PLUMBING

As indicated

SCALE:

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION



1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	2-3068 SL. GL. DR.	DISTINCTION	6'-8"	6'-0"	1
3	16070 OHGD	GARAGE DOOR	7'-0"	16'-0"	1

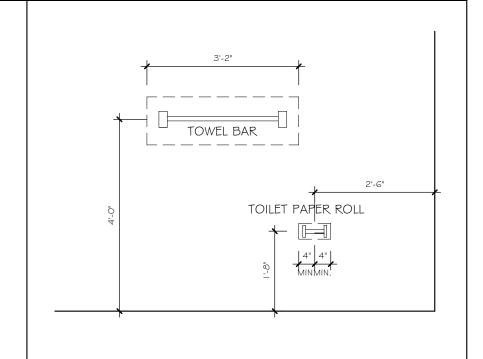
WINDOW SCHEDULE						
MARK	DESCRIPTION	COUNT	HEIGHT	WIDTH		

Α	2-25 SH	1	5'-3"	6'-4"
В	25 SH	2	5'-3"	3'-2"
С	35 SH	1	5'-3"	4'-6"

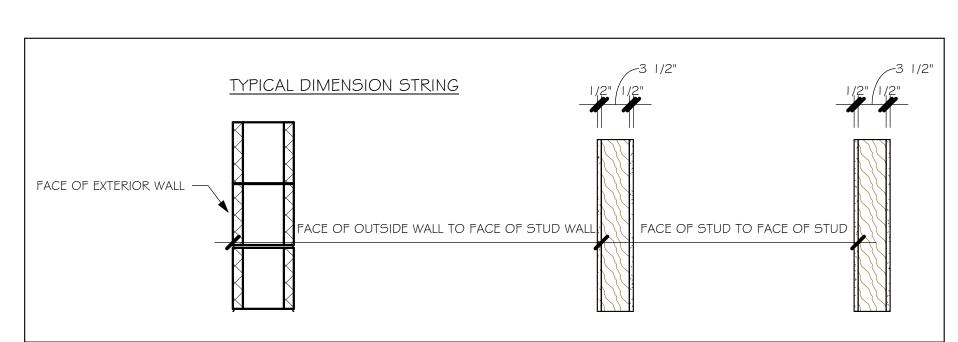
DOOR HEADERS					
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.			
6'-8" SWING	HEADER HEIGHT	82 I/2" A.F.F.			
8'-0" SWING	HEADER HEIGHT	98 I/2" A.F.F.			

PLAN NOTES

	BATHROOM NOTES
TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS



PLAN NOTES		GREAT ROOM MASTER SUITE
VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS		8'-O" FLAT CEILING
2) PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.	INTERIOR DOOR SCHEDULE	0 0 <t< td=""></t<>
3) PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.	MARK DOOR WIDTH NOTES 1 3'-0" P.K. = POCKET DOOR	34 1/2" KNEEWALL 6-1
4) NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)	2 2'-8" B.F. = BI-FOLD DOOR 2 2'-4" B.P. = BI-PASS DOOR	
5) PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE	5 2'-0" L.V. = LOUVERED DOOR	DBL SINK
6) KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.	7 1'-6" 8 2'-11"	KITCHEN BOOK W.I.C.
7) INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS		BEDROOM #3 SO BI-O" FLAT CEILING SO DE DROOM #3 BEDROOM #3 SO BI-O" FLAT CEILING SO DE DROOM #3
8) WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5		BALL ONTCH CATCH
9) THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE \$ ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES		12'-6" 5'-3" 3'-8" CAICH 5'-5" 7'-415 9 1
BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A	SQUARE FOOTAGE LIVING AREA 1,389	REF. SPACE S'-O" FLAT S'-O" FLAT S'-O" FLAT CEILING
FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARTION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD	GARAGE AREA 419 FRONT PORCH/ ENTRY AREA 16	MIN. R-13 OR BETTER NOTE: INSTALL 1-3/8" MIN. R-13 OR BETTER WH WH
OR EQUIVALENT 10) INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5,	TOTAL SQUARE FOOTAGE 1,824	THICK SOLID WOOD DOOR BETWEEN LIVING & GARAGE PER R302.5.1 VERIFY LOCATION WITH SITE PLAN, A/C NOT ENCROACH EASEMENT
II) ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH RGI2.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PRVENTION DEVICE		2 CAR GARAGE VINYL SHELVING VINYL SHELVING NOTE: A COUNTY OF LAT CELLING
12) ALL CLOSET SHELVES TO BE 12". ALL PANTRY \$ LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.		EINEN FOYER 8'-0" FLAT CEILING 5'-3" 20'-3"
		BEDROOM #2 NOTE: THE GARAGE SHALL BE SEPERATED
CABINET BACKING		BUROON #2 8'-0" FLAT CEILING
KITCHEN UPPER TOP @ 84" BASE TOP @ 35" MASTER BATH UPPER BASE TOP @ 35" GUEST BATH UPPER BASE TOP @ 31"		
LAUNDRY ROOM UPPER TOP @ 84" BASE		EGRESS TO FLAT
		B 3 I G'-O" X 7'-O" O.H. GARAGE DOOR
TYPICAL DIMENSION STRING	3 1/2" 1/2"	4'-11" 8'-1" 16'-0" 2'-5" 15'-0"
		38'-0"



 $\frac{\text{FLOOR PLAN}}{1/4" = 1'-0"}$

38'-0"

5'-1"

25'-1"

6'-0"

2 EGRESS

12'-0"

10'-5"

EGRESS

12'-11"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

02/22/19

FLOOR

As indicated

DRAWN BY:

CHECKED BY:

REVISED:

SCALE:

PLAN:

ROOF

SCALE:

As indicated

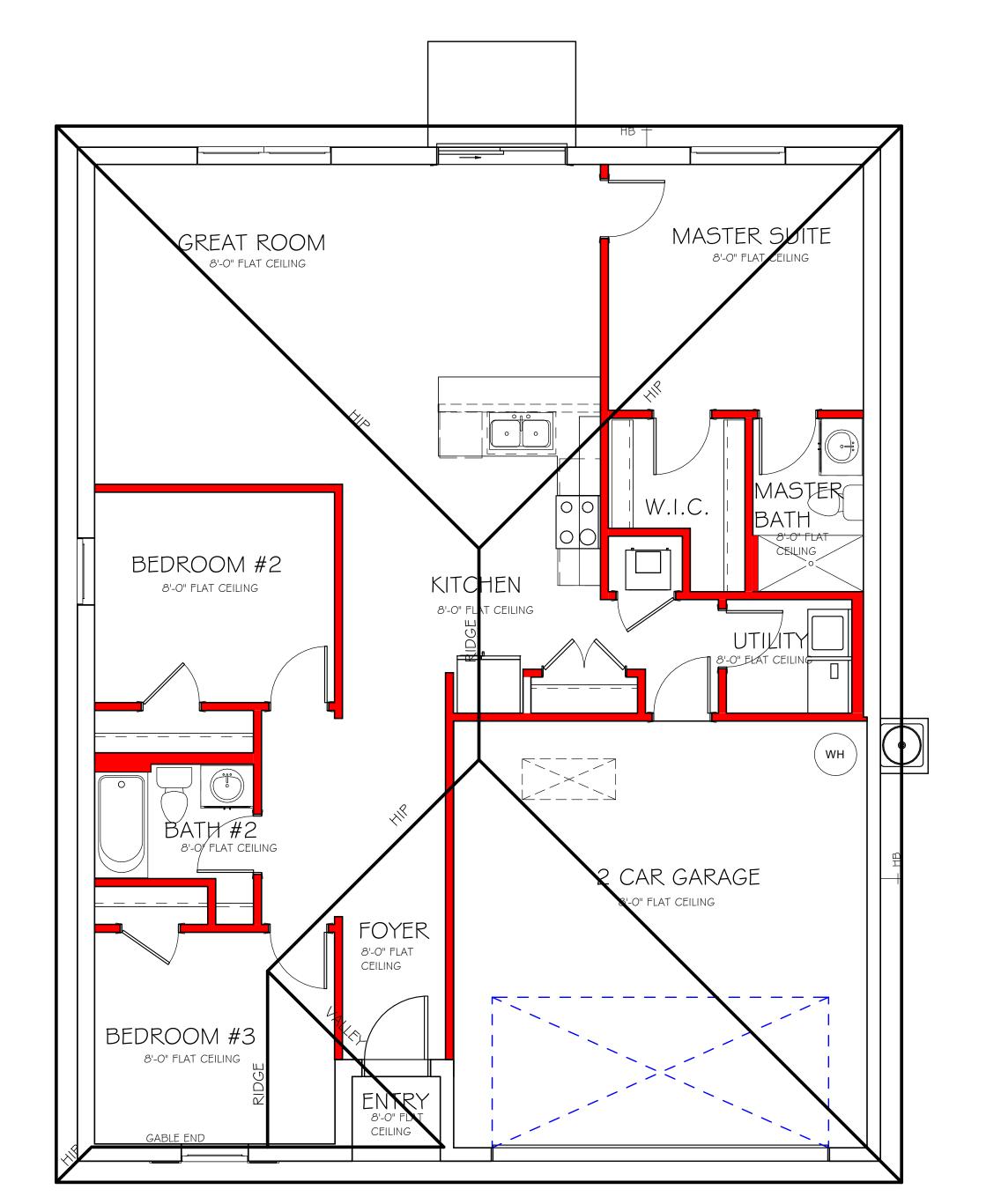
DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

MODEL 1389 A: ATTIC VENTILATION FBCR R806 COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS SOFFIT ONLY (1/150) WITH ROOF VENTS (1/300) (NO ROOF VENTS) (R.V.) AREAS (SQ. FT.) ATTIC VENTILATION REQUIRED ATTIC VENTILATION REQUIRED ATTIC AREA/150 REQ'D AIR FLOW QUAD 4 SOFFIT HAS ATTIC AREA/300 QUANTITY OF ROOF VENTS MIN AIR FLOW OF SOFFIT MARK ATTIC SOFFIT 1st STORY 2000.0 SQ. FT. 176.0 SQ. FT. 13.33% 7.57% 8.15% ROOF VENTS ARE NOT REQUIRED "SOFFIT ONLY" QUALIFIES ROOF VENT MODEL SOFFIT MODEL ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW LOMANCO 770-D

0.97 SQ. FT. FREE AIR

BEARING HEIGHT

= BEARING @ 8'-0"



 $\frac{\text{ROOF PLAN}}{1/4" = 1'-0"}$

AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES. PER RULE 9B-3.04.72 SD (SMOKE DETECTOR) SCD (CARBON MONOXIDE/ SMOKE DETECTOR) -T TELEPHONE OUTLET -TV TELEVISION RECEPTION OUTLET SURFACE MOUNTED CEILING LIGHT RECESSED LIGHT WALL MTD. BRACKET LIGHT DUPLEX FLOOD LIGHT EXHAUST FAN <u>✓ </u> TRACK MTD. LIGHTS ☐ A/C DISCONNECT H☐ PUSH BUTTON (PB) / DOOR BELL (DB) (IC) INTERCOM 4' FLUORESCENT LIGHT 2' UNDER COUNTER LIGHT NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT. ELECTRICAL NOTES: ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.11 ALL ELECTRICAL EQUIPMENT TO BE SET AT OR ABOVE BASE FLOOD ELEVATION. ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S. INSTALL PHONE AND T.V PER CONTRACT.

INSTALL ALL ELECTRICAL PER NEC 2014

ELECTRICAL LEGEND

ELECTRICAL METER

ELECTRICAL PANEL

 $(\ ,\)$ | 120 V JUNCTION BOX

SINGLE RECEPTACLE OUTLET

220 V RECEPTACLE OUTLET

4-PLEX RECEPTACLE OUTLET

DUPLEX RECEPTACLE OUTLET

SINGLE POLE SWITCH

3 WAY SWITCH

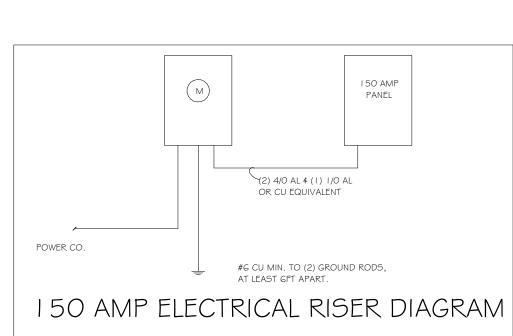
DIMMER SWITCH

MOTION SENSOR SWITCH

1/2 SWITCHED DUPLEX OUTLET

DUPLEX RECEPTACLE AT ELEV. A.F.F.

DUPLEX RECEPTACLE - ABOVE COUNTER



ELECTRICAL PLAN 1389

(RECESSED CANS)

(PENDANT LIGHT

(COACH LIGHTS)

(4' FLUORESCENT)

(2' FLUORESCENT) (5LT CHANDELIER)

(PENDANT/ NOOK)

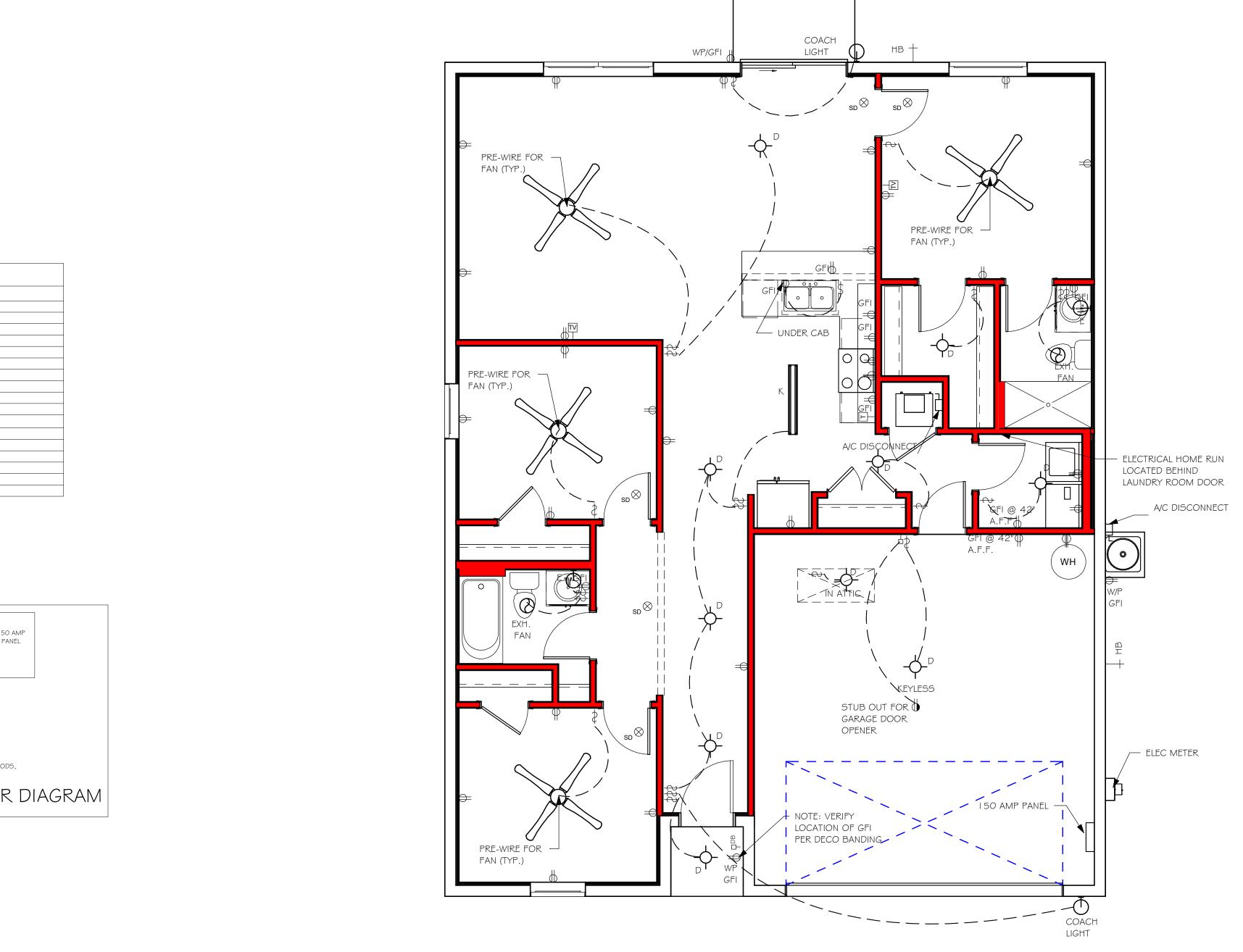
(10" MUSHROOMS)

(VAPORS)

(24" 3 LT) (36" 4 LT) (NOT USED)

150 AMP SERVICE

TAG QUANTITY PRODUCT



ELECTRICAL PLAN

1/4" = 1'-0"

DATE: 02/22/19 DRAWN BY: CHECKED BY:

JWC

ELECTRICAL

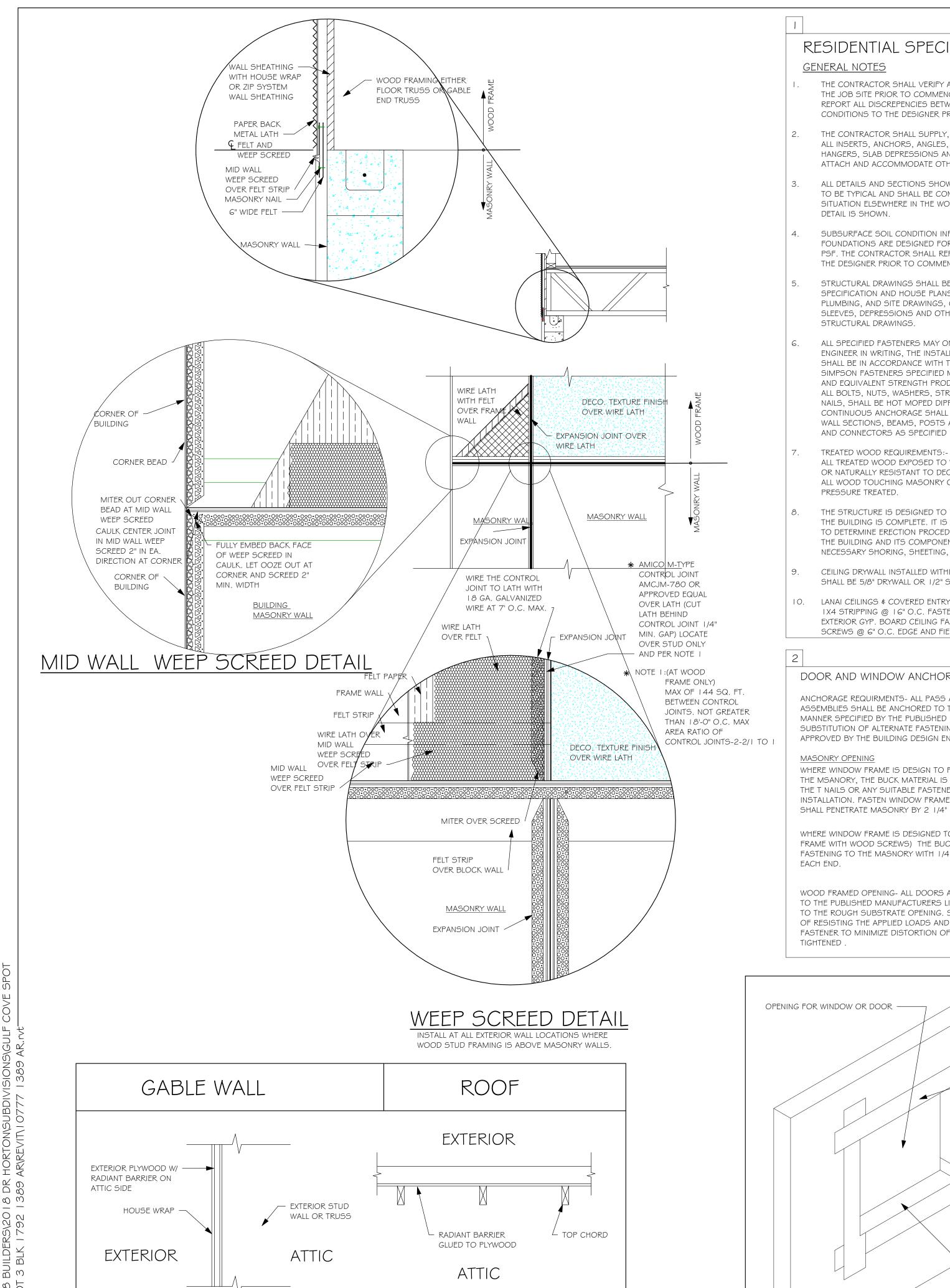
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RADIANT BARRIER:

EXTERIOR WALLS ADJACENT TO ATTIC SPACE, INCLUDING KNEEWALLS AND GABLE END WALLS, MUST HAVE

RADIANT BARRIER AND HOUSE WRAP.

SCALE: N.T.S.

GENERAL ROOF ASSEMBLY RESIDENTIAL SPECIFICATIONS ROOF SHEATHING SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED . INSTALL "H" THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CLIPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED REPORT ALL DISCREPENCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK. 8d RING SHANK NAILS @ 4" O.C. EDGE AND 6" O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, PER R803.2.3.1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012 HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ATTACH AND ACCOMMODATE OTHER WORK. ROUND HEAD, 2" NAIL LENGTH. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT 26 GAUGE AZ50 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURES PUBLISHED REQUIREMENTS. ALL SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5). FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK. DRIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS, LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A STRUCTURAL DRAWINGS SHALL BE USED IN CONJUCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINMUM PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR OF 2". DRIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING, THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT ASPHALT SHINGLE ROOF SPEC'S ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT MOPED DIPPED GALVANIZED OR STAINLESS STEEL CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES 15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS ASPHALT SHINGLES SHALL HAVE SELD-SEALING STRIPS OR BE AND CONNECTORS AS SPECIFIED HEREIN. INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 TREATED WOOD REQUIREMENTS:-FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF 2 FASTENERS ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, PER SHNGLE TAB, AND SHALL IN NO CASSE BE FASTENED WITH OR NATURALLY RESISTANT TO DECAY. LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR INSTALLATION SHALL COMPLY WITH MANUFACTURES REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILTY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS. STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 12 GAUGE (O. 105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. BE A LENGTH TO PENTRATE THE SHEATHING SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5 THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED 10. LANAI CEILINGS & COVERED ENTRY CEILINGS THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND IX4 STRIPPING @ I6" O.C. FASTENED WITH 2-8a NAILS TO EACH TRUSS. 5/8" SHALL BE CORROSION RESTITANT BY ELECTRO GALVANIZATION, EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SCREWS @ 6" O.C. EDGE AND FIELD. SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL DOOR AND WINDOW ANCHORAGE CLAY AND CONCRETE ROOF TILE SPECS ANCHORAGE REQUIRMENTS- ALL PASS AND SLIDING GLASS DOORS AND ALL WINDOW INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A LAYER APPLICATION UNDER TILE ROOF. MANNER SPECIFIED BY THE PUBLISHED MANUFACTURERS LITERATURE. THERE SHALL BE NO THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER. WITH THE PROVISIONS OF R905.3 F.B.C. MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURER'S IDENTIFICATION MARK APPLICATION SPECIFICATIONS: THE TILE MANUFACTURER'S WRITTEN WHERE WINDOW FRAME IS DESIGN TO FASTEN WITH SCREWS THROUGH THE FRAME AND INTO APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL THE MSANORY, THE BUCK MATERIAL IS SIMPLY A SPACER. THE BUCK MAY BE FASTENED WITH INCLUDED BUT NOT BE LIMITED TO THE FOLLLOWING: THE T NAILS OR ANY SUITABLE FASTENER TO TACK IT INTO POSITION PRIOR TO WINDOW I. TILE PLACEMENT AND SPACING, INSTALLATION. FASTEN WINDOW FRAME PER MFR INSTRUCTIONS. A WINDOW FASTENER 2. ATTACHMENT SYSTEM NECESSARY TO COMPLY SHALL PENETRATE MASONRY BY 2 1/4" MIN. WITH CURRENT WIND CODE, A. AMOUNT AND PLACEMENT OF MORTART WHERE WINDOW FRAME IS DESIGNED TO FASTEN ONLY TO THE WOOD BUCK (IE, FLANGED B. AMOUNT AND PLACEMENT OF ADHESIVE FRAME WITH WOOD SCREWS) THE BUCKS SHALL BE 2X WOOD WITH STRUCTURAL C. TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS. FASTENING TO THE MASNORY WITH 1/4 X 3 3/4 MASONRY SCREWS @ 24" OC AND 6" FROM 3. UNDERLAYMENT 4. SLOPE REQUIREMENT. WOOD FRAMED OPENING- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURERS LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE FLOOR SHEATHNG AT 2ND FLOOR OF RESISTING THE APPLIED LOADS AND SHALL BE LOCATED NEAR EACH FRAME

FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE

R703.4 - WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED BY THE WINDOW OR DOOR MANUFACTURER OR BY THE FLASHING MANUFACTURER, "PAN FLASHING" SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE

SPAN RATING 48/24 OR BETTER, GLUED AND NAILED

A.P.A. RATED STURDI-FLOOR, EXPOSURE I, TONGUE & GROOVE EDGES

FOR IN-DEPTH FLASHING INSTRUCTIONS, REFER TO THE FOLLOWING PUBLICATIONS: FMA/AAMA 100 FMA/AAMA 200 FMA/WDMA 250 FMA/AAMA/WDMA 300

INSTALL "PAN" FLASHING AT THE WINDOW SILL

PAN FLASHING PER R703.4 SCALE: N.T.S.

HEAD AND SIDES

EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OF PROTECTION AT THE HEAD AND SIDES. WHERE "PAN" FLASHING IS USED AT THE SILL, ALSO | "PAN FLASHING" IS A GENERIC TERM THAT USED TO REFER TO "METAL PAN FLASHING". INCORPORATE FLASHING HOWEVER MANY MODERN MATERIALS HAVE BEEN DEVELOPED FOR THE SAME FUNCTION OR PROTECTION AT THE - FLEXIBLE PEEL AND STICK FLASHING MEMBRANE -FLUID APPLIED FLASHING FOR SUCH PRODUCTS FOLLOW THE MANUFACTURER'S INSTALLATION REQUIREMENTS

THE FLASHING INSTRUCTIONS FROM THE WINDOW/ DOOR MFR., OR THE FLASHING MFR., SHALL SUPERCEDE THIS DETAIL

FLORIDA BUILDING CODE 2017 - 6TH EDITION

ROOF SHEATHING PER SCHEDULE 2/S-1. AND PER NOTES IN TABLE 3 ON A-6 TILE ROOF PER NOTE 6 ON A-6. OR -SHINGLE ROOF PER NOTE 5 ON A-6 WOOD TRUSSES @ 24" O.C. (TYPICAL.) -DESIGNED BY DELEGATED TRUSS ENGINEER. EMBEDDED STRAP AT EACH — - R=30 FIBER\$LASS TRUSS PER ROOF FRAMING PLAN. BATTINSULATION FLASHING AND DRIP -EDGE PER NOTES IN TABLE 2 ON A-6 - DRYWALL CÉILING PER NOTE 9 IN TABLE I ON A-6 2X6 MIN. SUB FASCIA 1X4 P.T. STRIP PRECAST LINTEL SEE FRAMING PLAN PROVIDE VENTILATION – WINDOW BUCKS SEE TABLE 2 ON A-6 | PER R806.1 IX4 P.T. BUCK W. BED OF VENTED SOFFIT SHALL CONTINUOUS CAULK UNDER MEET R703.1.2.1 SEE TABLE 3 ON S-3 8X8 CONTINUOUS BOND -- WINDOW, SEE SCHEDULE AND PLAN BEAM W/ I #5, GROUT PROVIDE TERMITE TREATMENT SOLID WITH "BORA CARE". - SILL SET IN MORTAR SLOPE TO EXTERIOR 1/2" DRYWALL W/ PRECAST CONCRETE SILL TEXTURED WALLS IX2 P.T. FURRING STRIPS @ 24" DECO. CEMENT FINISH PER ASTM C-926 O.C. W/ INSULATION (MIN. R4.1) 4" CONC. SLAB ON 6 MIL. CONC. FOOTING VISQUEEN VAPOR BARRIER ON SEE FOUNDATION PLAN MECHANICALLY COMPACTED FILL FOR SIZE AND REINFORCING. TYPICAL WALL SECTION

— 5.7 SQ. FT. CLEAR OPENING FINISH FLOOR R3 | 0.2. | MINMUM OPENING AREA- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²). EXCEPTION- GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (0.465 m²). R3 | O.2. | MINMUM OPENING HEIGHT- THE MINIMUM NET CLEAR OPENING

R310.2.1 MINMUM OPENING WIDTH- THE MINIMUM NET CLEAR OPENING

R3 | O. | . | OPERATIONAL CONSTRAINTS- EMERGENCY ESCAPE AND RESCUE

R3 I O. 2.3 WINDOW WELLS- THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (0.84 m²), WITH A MINIMUM HORIZONTAL

PROJECTION AND WIDTH OF 36 INCHES (9 I 4mm). THE AREA OF THE WINDOW

WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE

MINIMUM EGRESS WINDOW DETAIL

OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM

HEIGHT SHALL BE 24 INCHES (6 I Omm).

WIDTH SHALL BE 20 INCHES (508mm).

WITHOUT THE USE OF KEYS OR TOOLS.

FULLY OPENED.

DATE: 02/22/19 DRAWN BY:

CHECKED BY: JWC

REVISED:

SECTIONS As indicated

A-6

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL

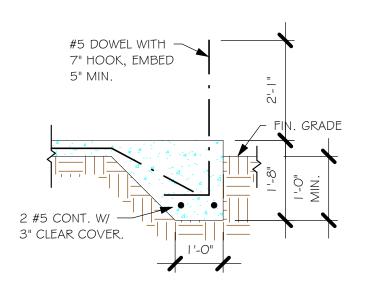
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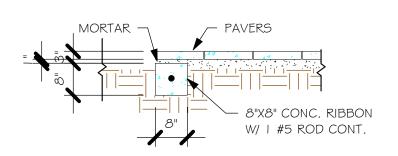
CHECKED BY: REVISED:

FOUNDATION PLAN As indicated

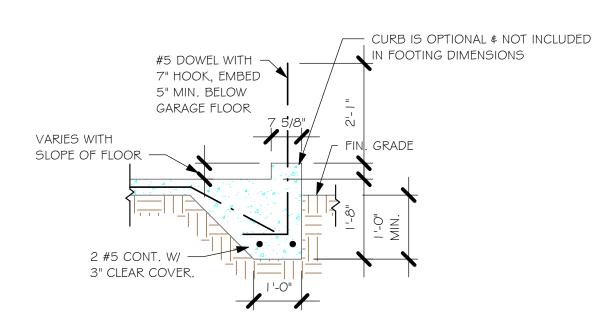
FLORIDA BUILDING CODE 2017 - 6TH EDITION



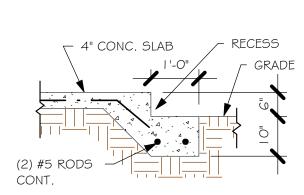
"F3" FOOTING 1/2" = 1'-0"



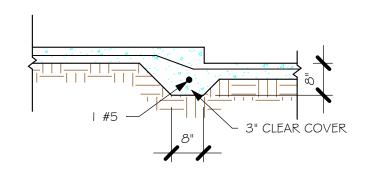
"P" PAVERS DETAIL ENTRY/ LANAI 1/2" = 1'-0"



"F3" WITH CURB AT GARAGE 1/2" = 1'-0"



GARAGE DOOR RECESS 1/2" = 1'-0"



 $\frac{\text{"F6A" STEP DOWN}}{1/2\text{"} = 1\text{'-0"}}$

	PAD FOOTING SCHEDULE								
USED	TYPE	LENGTH	WIDTH	DEPTH	вотт	OM REINF.	REMARKS		
ns	ITPE	LENGIA	חוטוייי	DEFIR	LONG WAY	SHORT WAY	KEWAKKS		
X	(A)	2'-6"	2'-6"	1'-0"	3-#5	3-#5	-		
	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5	-		
	(C)	3'-6"	3'-6"	1'-0"	4-#5	4-#5	-		
	(D)	4'-0"	4'-0"	1'-2"	5-#5	5-#5	-		
	(E)	5'-0"	5'-0"	1'-2"	6-#5	6-#5	-		

	WALL FOOTING SCHEDULE								
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING	SHAPE			
	F1	CONT.	1'-4"	0'-8"	2-#5				
	F2	CONT.	1'-8"	0'-10"	2-#5		ADD CURE		
X	F3	CONT.	1'-0"	1'-8"	2-#5		GARAGE, S		
	F4	CONT.	1'-4"	1'-8"	2-#5				
	F5	CONT.	1'-4"	1'-0"	2-#5				
	F6	CONT.	1'-4"	1'-0"	2-#5	<u> </u>			
	F6A	CONT.	0'-8"	0'-8"	1-#5	£			

TE CONT. 0'-8" 0'-8" PROVIDE CORNERS BARS PER 6/S-3



SCALE: 1/4" = 1'-0"

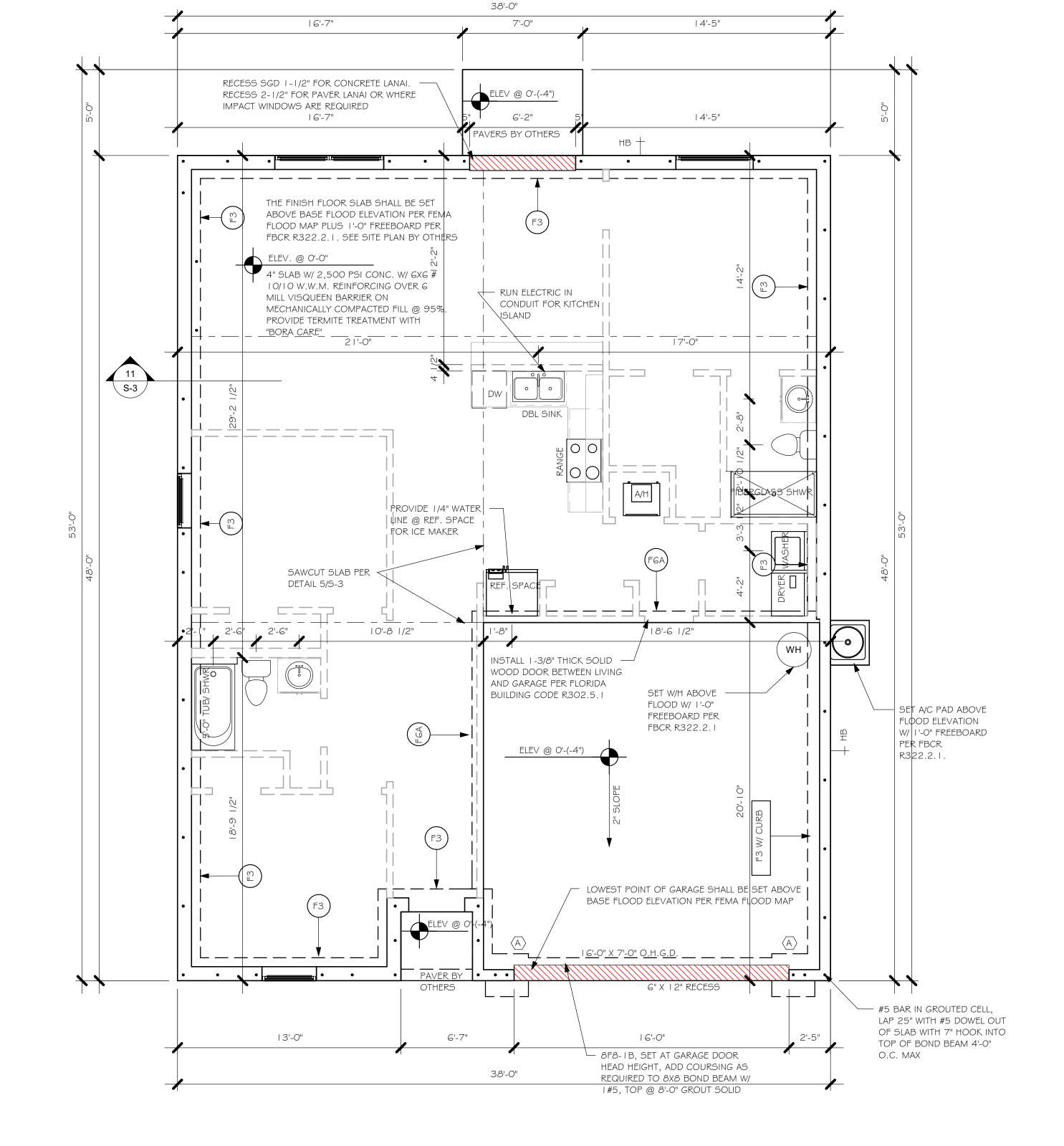
PLAN NOTES: TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"

"F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.

PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING

ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY **EXTEND BEYOND FACE OF WALL.** FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/

PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.

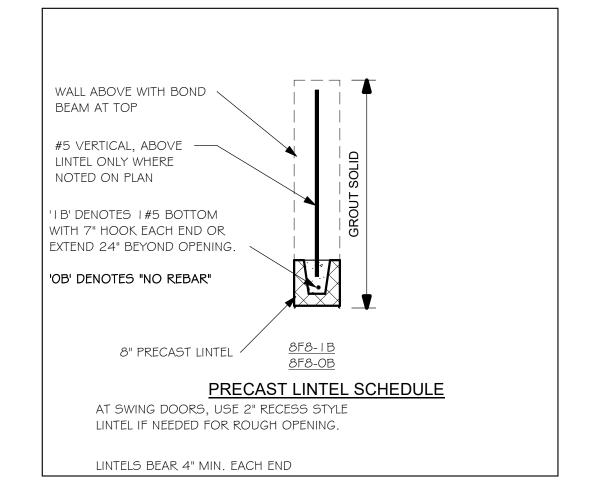


 $\frac{\text{FOUNDATION}}{1/4" = 1'-0"}$

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL

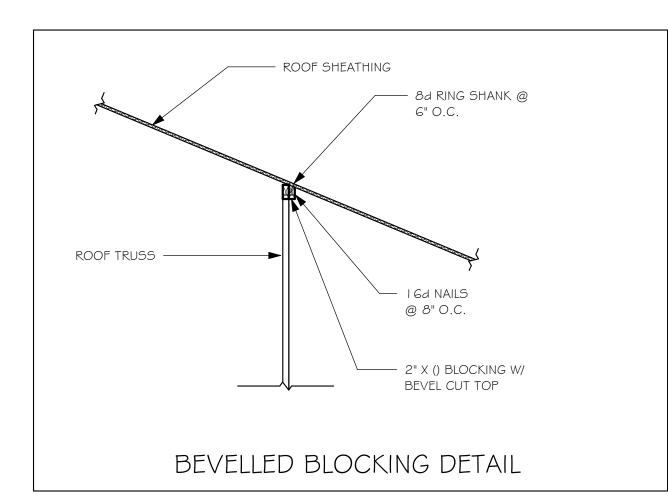
- I. PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON -C/L OF WALL.
- CONNECTORS ARE USP STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE
- ENGINEER OF RECORD. WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL
- RETROFIT STRAP PER 2/S-4.
- 'ATR' = ALLTHREAD. DRILL AND EPOXY WITH USP EPOXY PER MFR. INSTRUCTIONS.

REV2



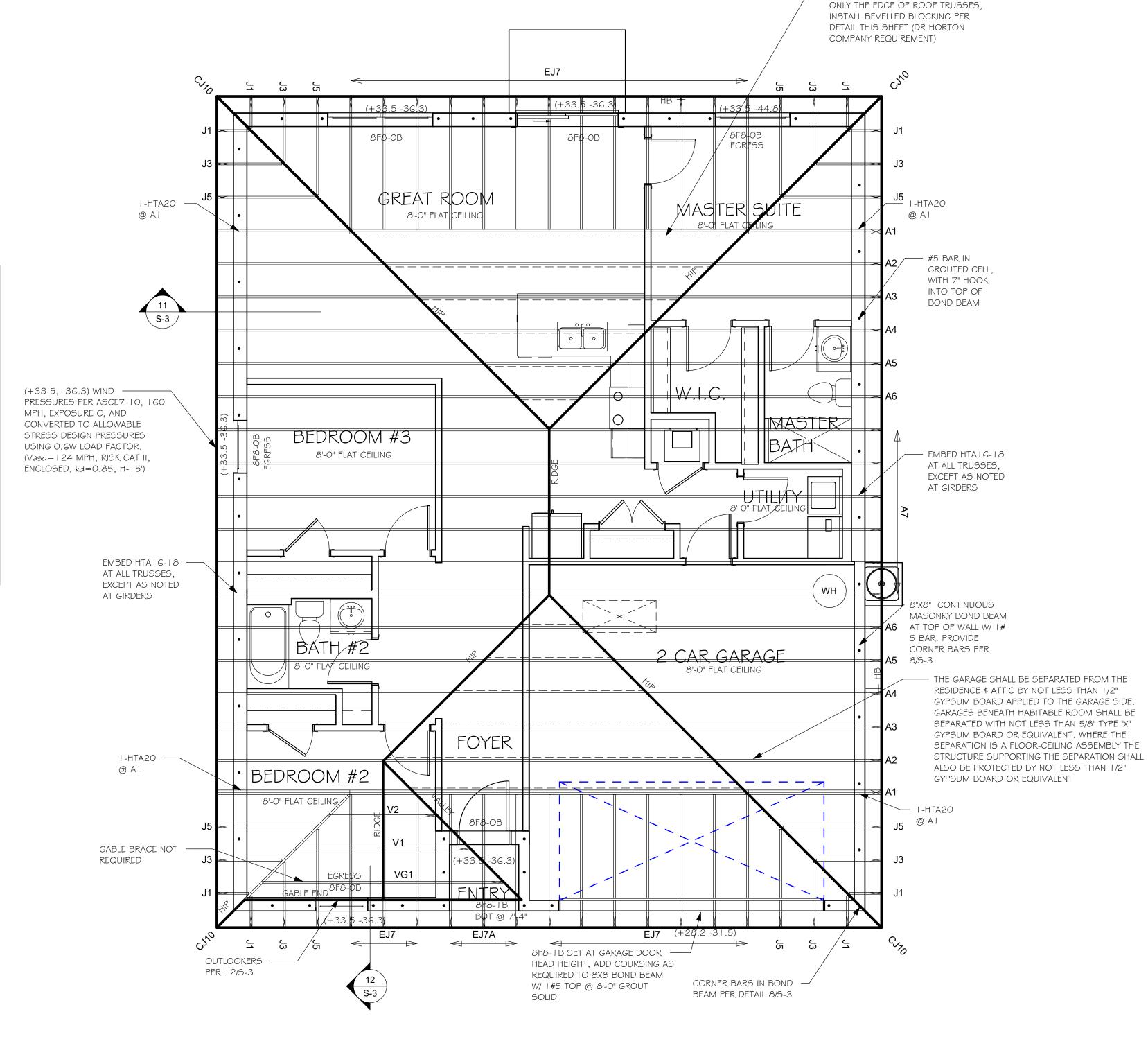
PLAN NOTES:

- ROOF TRUSS BEARING @ 8'-0".
- ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET S-3.
- PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS
- FOR NAILING OF ROOF AND FLOOR DECK, SEE | AND 2
- 8F8-1B etc., DENOTES PRECAST LINTEL ABOVE DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET. AT TRUSS BEARING, PROVIDE 8x8 MASONRY BOND BEAM W/ I #5 CONTINUOUS, SEE DETAIL I I/S-3.



DATED: 05/21/18 REVISED: 06/10/18

TRUSS BEARING CONDITIONS AND STRAPPING IS BASED ON TRUSS LAYOUT PREPARED BY SCOSTA JOB# 44115



ROOF FRAMING PLAN 1/4" = 1'-0"

BEARING HEIGHT = BEARING @ 8'-0"

> DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

1510N: GULF (

DATE:

DRAWN BY:

CHECKED BY:

ROOF FRAMING PLAN

REVISED:

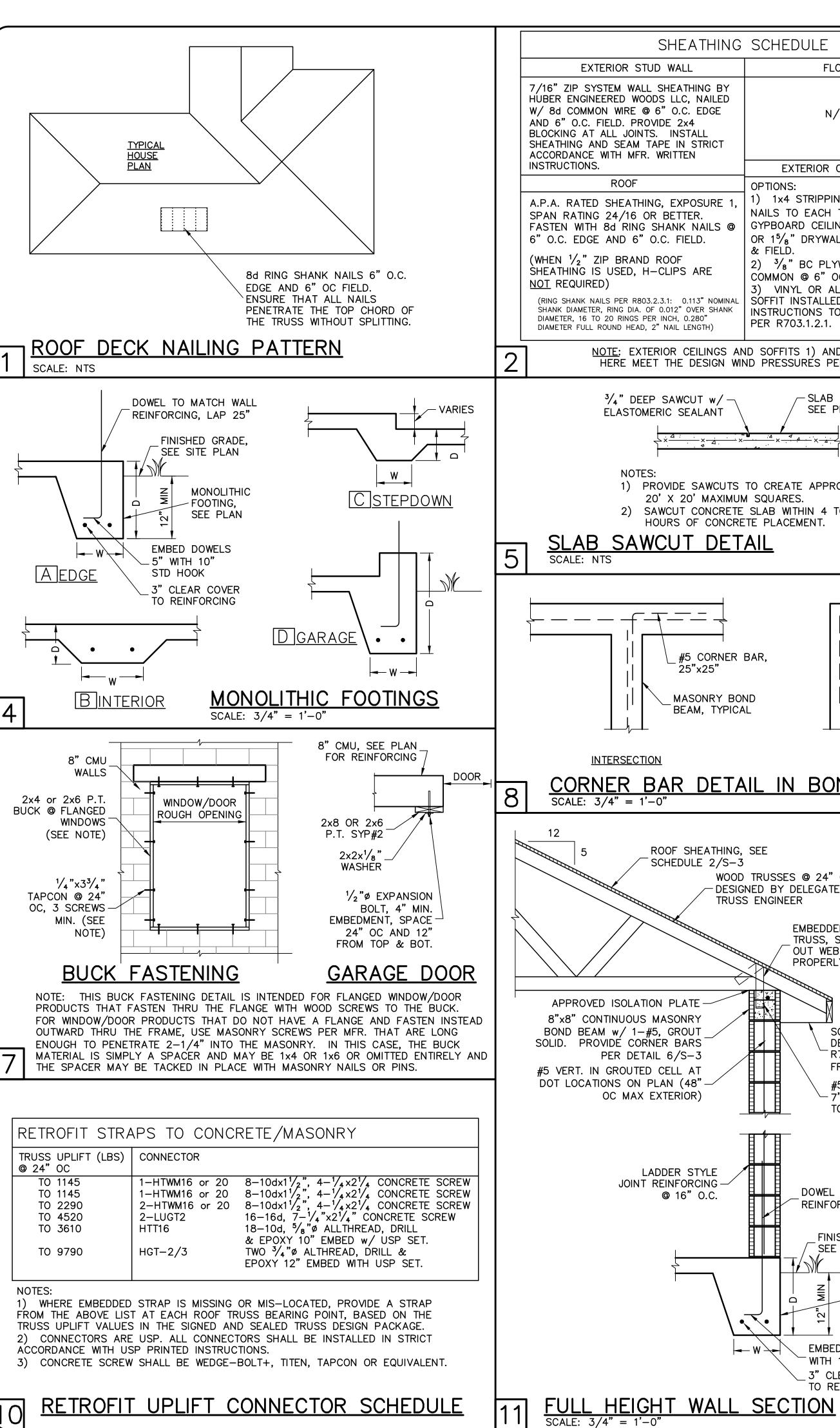
SCALE:

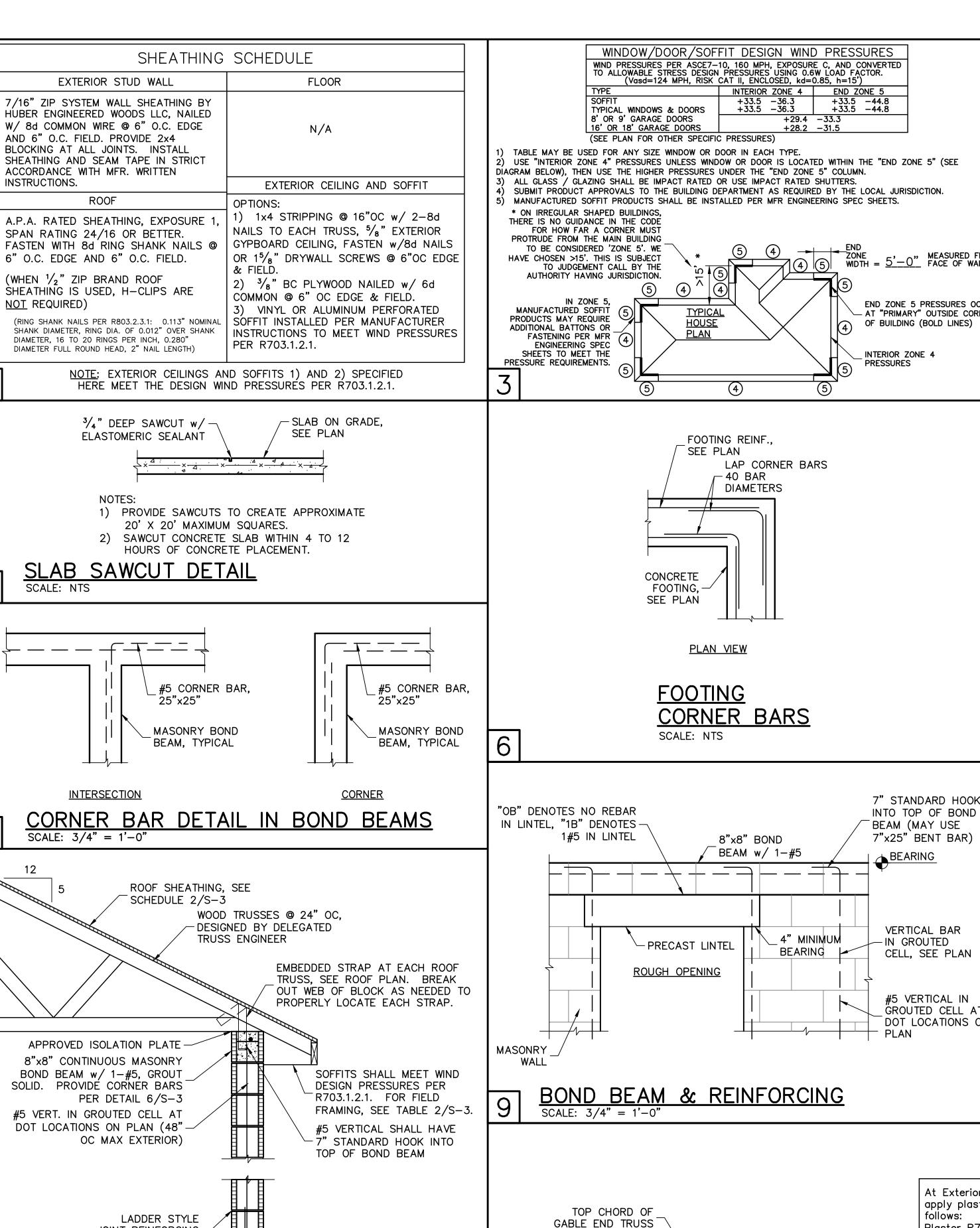
02/22/19

JWC

As indicated

WHERE ROOF SHEATHING CONTACTS





DOWEL TO MATCH WALL

REINFORCING, LAP 25"

FINISHED GRADE,

MONOLITHIC

- FOOTING,

SEE PLAN

SEE SITE PLAN

EMBED DOWELS 5"

3" CLEAR COVER TO REINFORCING

WITH 10" STD HOOK

@ 16" O.C.

RESISTING THE DESIGN PRESSURES SPECIFIED IN TABLE R301.2(2) END ZONE 5 PRESSURES OCCUR - AT "PRIMARY" OUTSIDE CORNERS DESIGN AS PER ACI 318-14 REQUIRED COMPRESSIVE STRENGTH AT 28 DAYS: SLAB ON GRADE f'c = 2500 PSI $3\frac{1}{2}$ " MINIMUM THICKNESS REINFORCED WITH 6x6 w1.4xw1.4 WWF OR IBERMESH. CONVENTIONAL SHALLOW FOOTINGS f'c = 2500 PSIf'c = 3000 PSIBEAMS AND COLUMNS ALL OTHER CONCRETE (U.N.O.) f'c = 3000 PSIUNLESS OTHERWISE SHOWN ON DRAWINGS, MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS: CENTERED SLAB ON GRADE BEAMS COLUMNS ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE TYPICAL BENDING DIAGRAMS AND PLACING DETAILS OF ACI STANDARDS AND SPECIFICATIONS. ALL REINFORCING STEEL SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE. REINFORCING STEEL - ASTM A615 GRADE 40 FOR #3 GRADE 60 FOR #4 TO #11 WELDED WIRE FABRIC - ASTM A185 SPLICES IN REINFORCING, SHALL BE 40 BAR DIAMETERS. NON-CONTACT LAP SPLICES MAY BE USED PROVIDED REINFORCING IS NOT SPACED MORE THAN 5" APART FOR #5 BARS. FORMWORK AND SHORING SHALL REMAIN IN PLACE UNTIL CONCRETE HAS REACHED AT LEAST 2/3 OF THE REQUIRED 28 DAY STRENGTH. REINFORCED MASONRY: DESIGN PER ACI 530-13 REQUIRED COMPRESSIVE STRENGTHS: MASONRY WALLS REINFORCING STEEL - ASTM A615 GRADE 60. SPLICES IN REINFORCING, SHALL BE 48 BAR DIAMETERS. ALL CONCRETE MASONRY UNITS SHALL BE COMPOSED OF ASTM C90, GRADE N-1 HOLLOW CONCRETE MASONRY UNITS WITH TYPE 'S' MORTAR. GROUT ALL CELLS CONTAINING VERTICAL REINFORCEMENT WITH 3000 PSI PEA ROCK CONCRETE GROUT. ALL CELLS BELOW FINISHED GRADE SHALL BE GROUTED SOLID. ALL EXTERIOR WALLS SHALL BE REINFORCED FULL HEIGHT AT DOT LOCATIONS ON PLAN PROVIDE HORIZONTAL JOINT REINFORCEMENT IN WALLS AT 16" OC VERTICALLY, UNLESS NOTED OTHERWISE. IN ADDITION, INSTALL JOINT REINFORCING IN THE FIRST TWO MORTAR JOINTS ABOVE AND BELOW OPENINGS, EXTENDING AT LEAST 24" BEYOND THE OPENING. LAP JOINT REINFORCING 6" MINIMUM. DELEGATED-ENGINEERED WOOD ROOF TRUSSES: ALL WOOD ROOF TRUSSES SHALL BE DESIGNED BY A DELEGATED TRUSS ENGINEER PER RULE 61G15-31.003 OF THE FLORIDA ADMINISTRATIVE CODE. ALL TRUSSES SHALL HAVE TEMPORARY BRACING PER "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, HIB-91." FOR OTHER BRACING REQUIREMENTS, NOTIFY ENGINEER. PROVIDE PERMANENT BRACING PER TRUSS MFR. SHOP DRAWINGS. IF PERMANENT BRACING IS NOT SPECIFIED, CONTACT ENGINEER. FOUNDATION: CONVENTIONAL SHALLOW CONCRETE FOOTINGS SOIL BEARING CAPACITY THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL CONDITIONS FOR THE INTENDED STRUCTURE AND ASSUMED SOIL BEARING CAPACITY. T IS RECOMMENDED THAT A GEOTECHNICAL FIRM BE HIRED TO PERFORM A SITE EVALUATION. DIMENSIONS: VERIFY ALL DIMENSIONS WITH HOUSE PLANS. SEE HOUSE PLANS, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. WHICH ARE NOT SHOWN ON STRUCTURAL DRAWINGS. MEANS AND METHODS: THE STRUCTURAL ENGINEER SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, OR SEQUENCES TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO SUPPORT STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. FOR THE ACTS OR DMISSIONS OF THE CONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CONSTRUCT THE GROUTED CELL AT WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DOT LOCATIONS ON SHOP DRAWINGS: SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED TO THE ENGINEER FOR REVIEW FOR ALL STRUCTURAL ELEMENTS UTILIZING PREFABRICATED COMPONENTS ONE SET OF SIGNED & SEALED TRUSS ENGINEERING SHALL BE DELIVERED TO THE ENGINEER OF RECORD FOR THE STRUCTURE PER FLORIDA ADMINISTRATIVE CODE 61G15-30.005 AND 61G15-31.003. At Exterior Stud Walls and Gable Ends with Wall Sheathing,

DESIGN CRITERIA:

DESIGN IN ACCORDANCE WITH REQUIREMENTS OF THE

1. FLOOR & ROOF UNIFORM LOADS:

WIND DESIGN PER, ASCE7-10

BUILDING CATEGORY

MEAN ROOF HEIGHT

ENCLOSURE CLASS.

INTERNAL PRES. COEFF.

IMPORTANCE FACTOR

BASIC WIND SPEED (ASCE7-10)

DEFLECTION CRITERIA:

WIND LOADS:

EXPOSURE

ROOF PITCH

ROOF: LIVE TOP CHORD 20 PSF

ROOF L/240 LIVE, L/180 TOTAL

NOMINAL WIND SPEED (Vasd TABLE R301.2.1.3)

FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL

LIVE BOTTOM CHORD 10 PSF (NON-CONCURRENT w/ TCLL)

160 MPH

124 MPH

1.00

= 15 FT

EŃCLOSED

+/- 0.18

5/12

SHINGLE/METAL ROOFING DEAD LOAD 15 PSF TOTAL

WINDOW/DOOR DESIGN WIND PRESSURE, SEE TABLE IN DETAIL 3

SOFFITS - PER R703.1.2.1, ALL SOFFITS SHALL BE CAPABLE OF

MINIMUM DEAD LOAD FOR WIND: TC 5 PSF, BC 5 PSF

12" MAX 2x4 BLOCK AT ROOF SHEATHING, SHEATHING JOINT SEE SCHEDULE 3-12d 2x4 OUTLOOKER - TOE @ 24" O.C. NAILS - WALL SHEATHING THIS DETAIL ONLY USED

FOR ELEVATION A

apply plaster over metal lath over water resistive barrier as

Plaster R703.7.2: 3-coat 7/8" thick portland cement based plaster per ASTM C926.

Metal Lath R703.7.1: Self furring paper backed 2.5lb diamond mesh metal lath per ASTM C847, G60 galvanized, fastened per ASTM C1063 with 1-1/2" long, 11 gage nails with 7/16" head (roofing nails) at 7" oc, or 1-1/2" long, 16 gage staples at 6" oc, into the framing members (ie, the nails or staples must align with and penetrate 3/4" into the framing studs). Water Resistive Barrier (WRB) R703.7.3: Water-resistive vapor—permeable barrier with a performance at least equivalent to 2 layers of Grade D paper. The individual layers shall be installed independently. An approved house wrap may

be used for the 1st layer and metal lath with approved paper backing may be the 2nd layer (Note: ZIP wall sheathing with seam tape qualifies as the first layer).

OUTLOOKER DETAIL SCALE: N.T.S.

DESIGN/DRAWN DWB/DWB CHECKED DWB 02/21/19 SCALE **VARIES** JOB NO. DR10777 SHEET

OKTON

D.R.H

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REVISIONS

SHEET 3 OF 3