

****UNLESS NOTED****

REACTION VALUES ARE UNDER 5000#

UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24"o.c. UNLESS NOTED OTHERWISE

*****CAUTION*****

DO NOT ATTEMPT TO ERECT TRUSSES WITHOUT REFERRING TO THE ENGINEERING DWGS.

IT IS NECESSARY TO REFER TO THE ENGINEERING DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION, ORIENTATION AND WEB BRACING

REFER TO WTCA/TPI BSCI-B1 SUMMARY SHEET FOR HANDLING METHODS & TEMPORARY BRACING, WHICH IS ALWAYS REQUIRED

BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA CORP. "+"/-" BEARING DIFFERENCES SHOWN ARE CRITICAL. IF ANY HEIGHTS DEViate - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS

—	0'-0"	ELEV.
////		ELEV.
XXXX		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

HANGER SCHEDULE

(C) USP HUS 26	(M) USP THDH 28-3
(F) USP HUS 28	(N) USP THD 48
(H) USP THDH 28	(P) USP JUS 24
(I) USP THDH 28-2	(B) USP MSH 422
(W) USP HJC 26	(X)

HANGER VALUES HAVE BEEN BASED ON 16D COMMON NAILS EXCEPT THE FOLLOWING

LUS24 - 10D COMMON THJA26 - 10D x 1-1/2

*****ATTENTION*****

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS, PITCHES, OVERHANGS, ELEVATIONS, CEILING & BEARING CONDITIONS. SCOSTA CORPORATION IS RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH PLANS AND/OR INFORMATION PROVIDED BY CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN. CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF INFORMATION AND PLANS PROVIDED TO SCOSTA CORPORATION, AND TO VERIFY CONFORMANCE TO FIELD CONDITIONS, AND/OR OWNER CHANGES. TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE APPROVED LAYOUT.

APPROVED BY: _____

DATE: _____ REQUESTED DELIVERY DATE: _____

JOB SITE CONTACT NAME: _____

PHONE #: _____

E-MAIL: _____

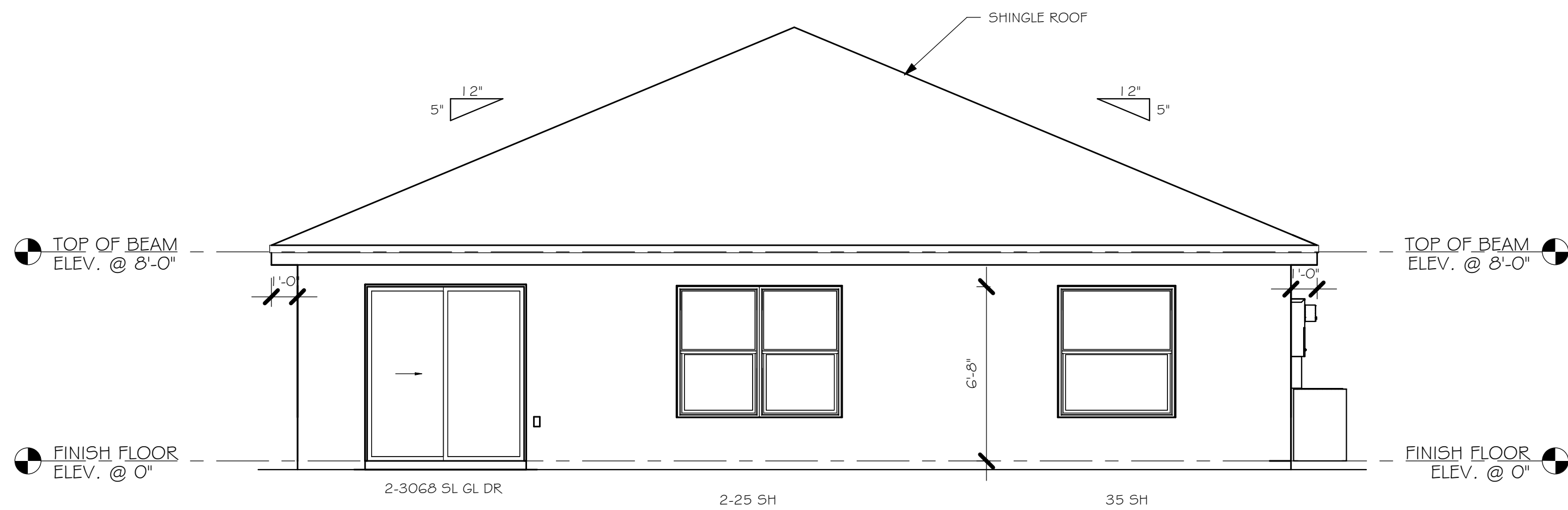
SCOSTA CORP.

WOOD, STEEL OR TIMBER
ROOF & FLOOR TRUSSES

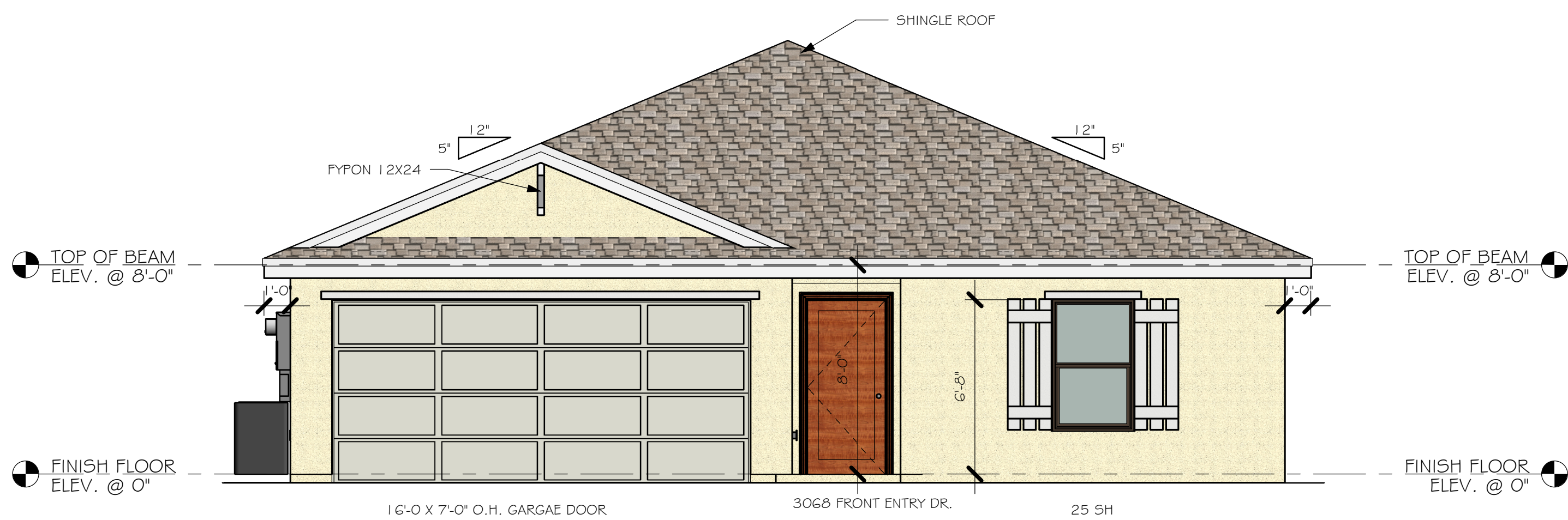
3670 COMMERCE CENTER DRIVE
SEBRING, FL 33870
(863) 385-8242

SCALE: 1 1/4"=1'-0"	DATE: 05/24/18	REVISED BY: KD 09/15/18	DRAWN BY: KRISTY
JOB ADDRESS: 1499 A GARAGE LEFT LEE		1 OF 1	
CUSTOMER: D.R. HORTON		JOB # 44116	

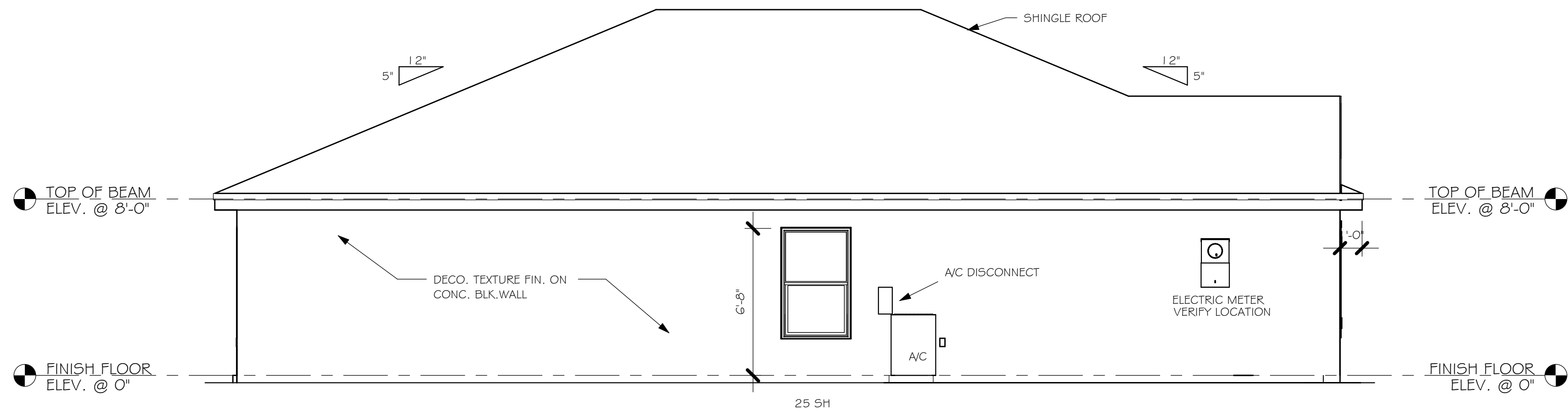
K:\1-MASTER 2019\2019-BUILDERS\DR HORTON\2019\5\SUBDIVISIONS\RIVER CLUB
605\10926 LOT 53 1499 AL\REVIT\10926 1499 AL.rvt



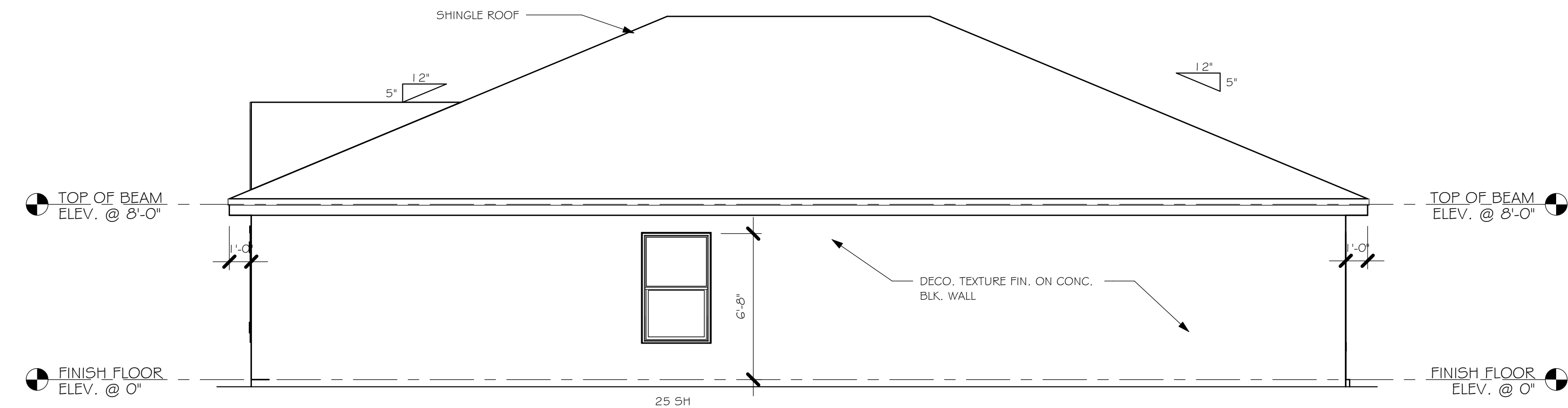
REAR ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"



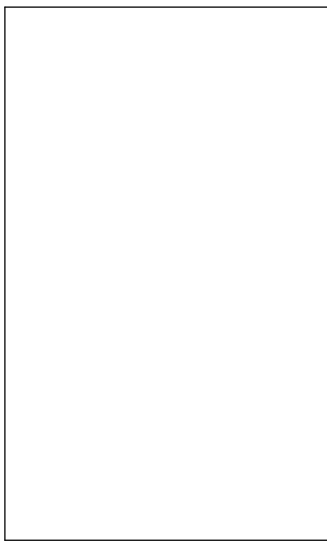
RIGHT ELEVATION
1/4" = 1'-0"

No.	Description	Date
1	COMPLETE MODEL CHANGE FROM A 1478 AR TO A 1499 AL	10/03/19

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-822
1515 SE 47th ST. CAPE CORAL, FL 33904



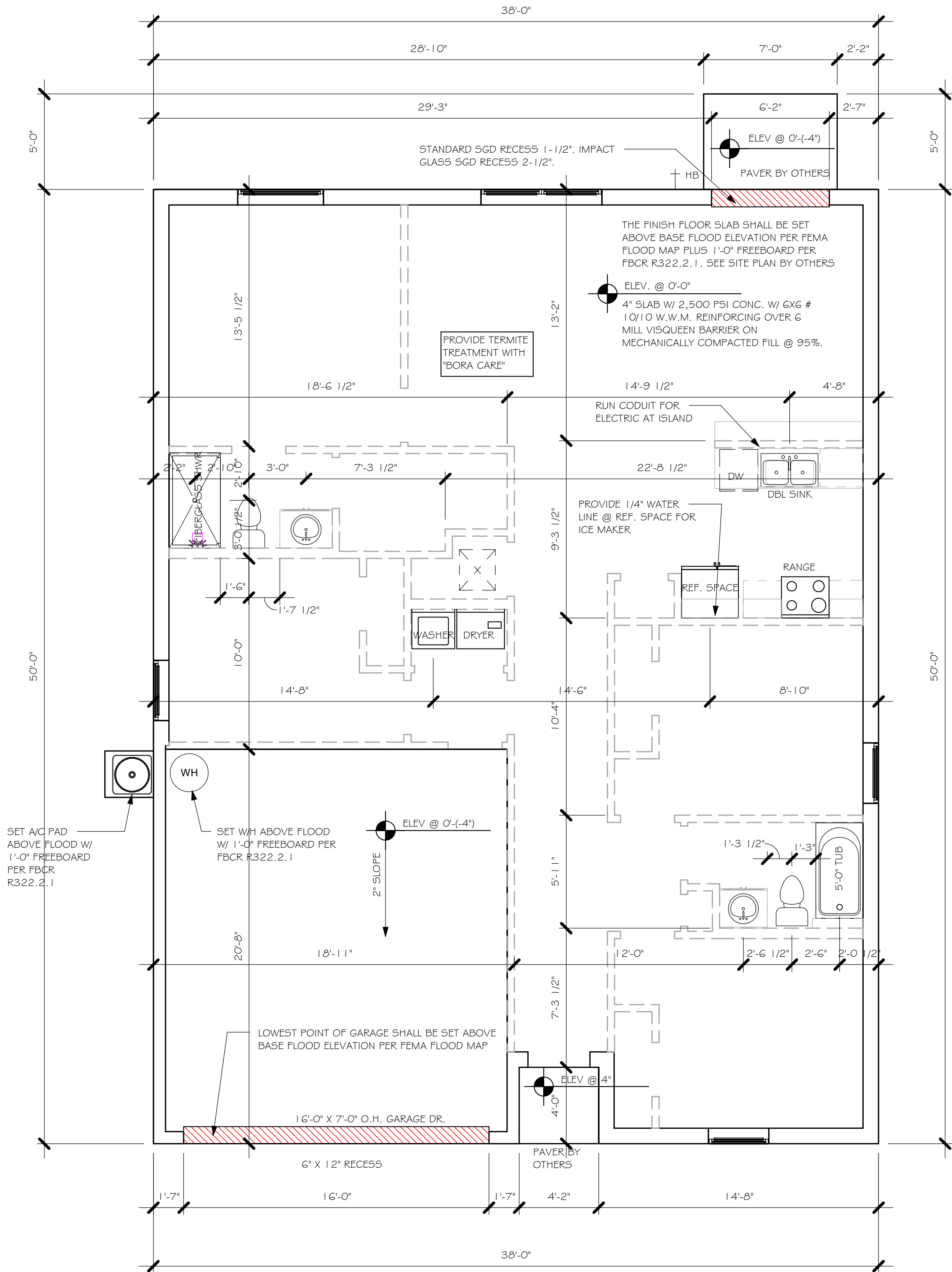
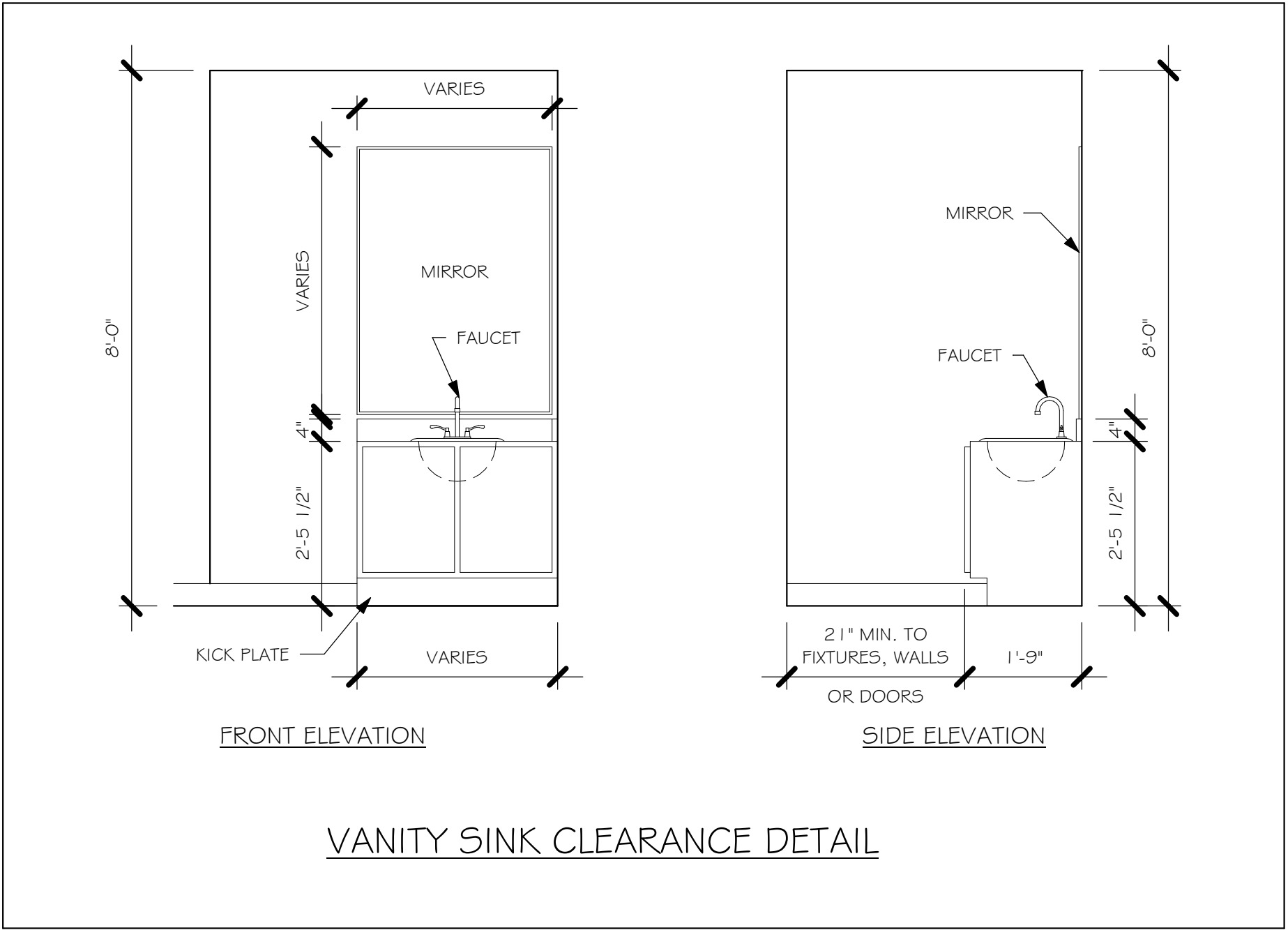
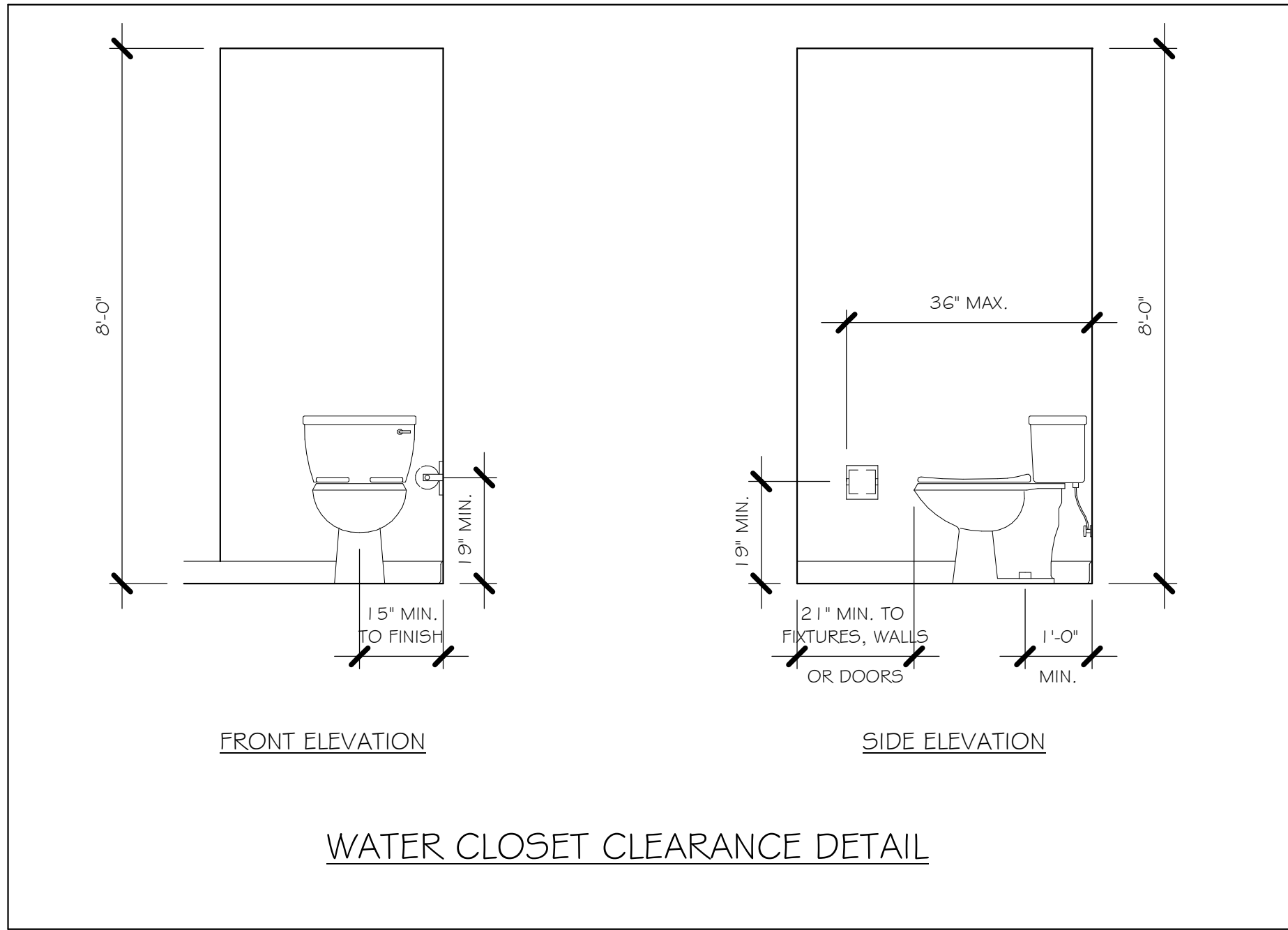
LOT: 53	SUBDIVISION: RIVER CLUB 50s
ADDRS: 3688 PEBBLE TERRACE	
D.R.H. #: 579410008	

MODEL #1499 A	GCD JOB # 10926
------------------	-----------------

DATE:	10/03/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	10/03/19
PLAN:	ELEVATION
SCALE:	1/4" = 1'-0"

A-1

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605\10926 LOT 53 1499 AL\REVIT\10926 1499 AL.rvt



No.	Description	Date
1	COMPLETE MODEL CHANGE FROM A 1478 AR TO A 1499 AL	10/03/19

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FLORIDA BUILDING CODE 2017 - 6TH EDITION



LOT: 53	SUBDIVISION: RIVER CLUB 50s
ADDRESS: 3688 PEBBLE TERRACE	
D.R.H. #: 579410008	

MODEL # 1499 A	GCD JOB # 10926
-------------------	-----------------

DATE:	10/03/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	10/03/19
PLAN:	SLAB & PLUMBING
SCALE:	As indicated

DOOR SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COUNT
1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	2-3068 SL. GL. DR.	DISTINCTION	6'-8"	6'-0"	1
3	16080 OHGD	GARAGE	7'-0"	16'-0"	1

WINDOW SCHEDULE				
MARK	DESCRIPTION	HEIGHT	WIDTH	COUNT
A	2-25 SH	5'-3"	6'-4"	1
B	25 SH	5'-3"	3'-2"	3
D	35 SH	5'-3"	4'-6"	1

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

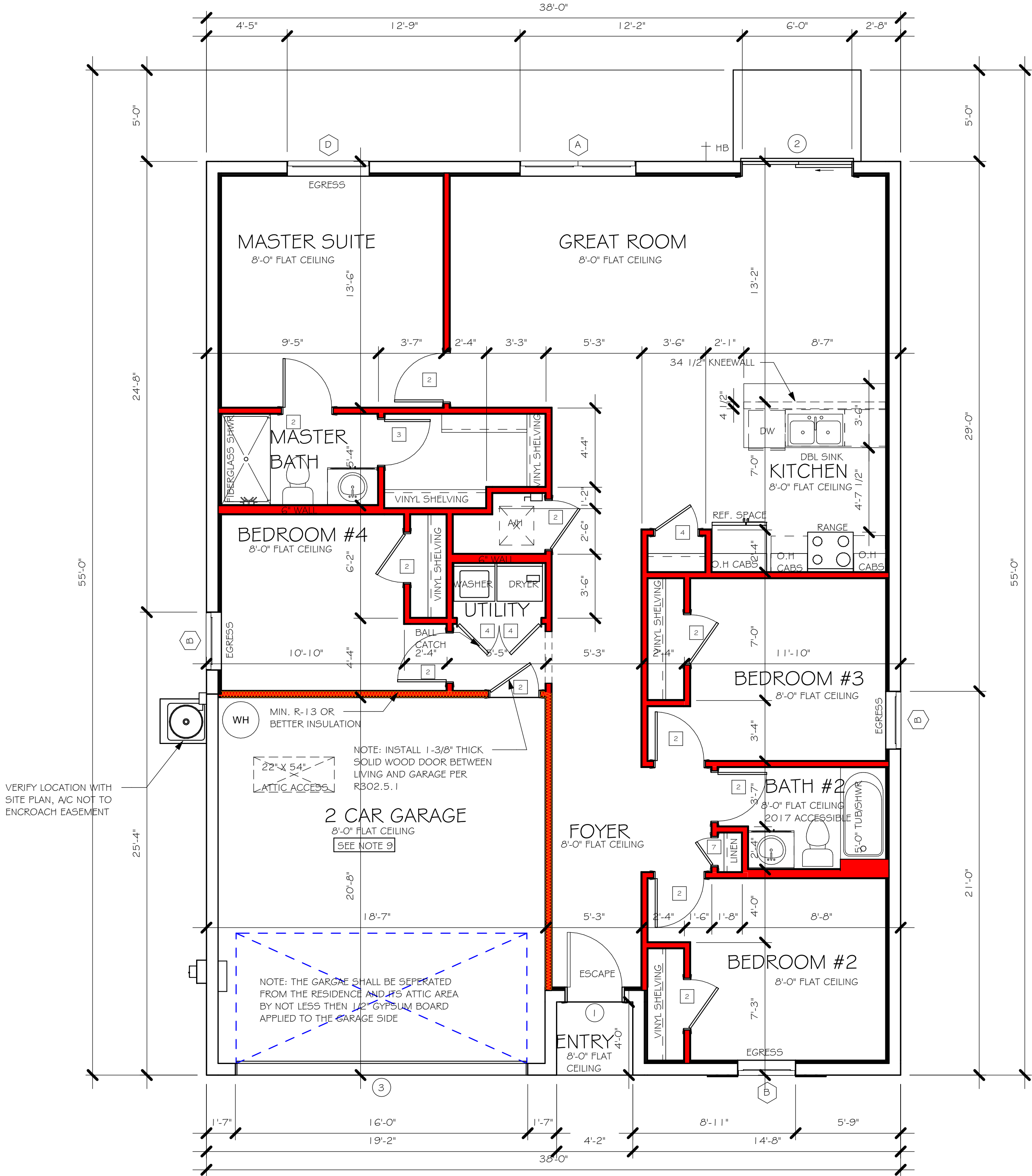
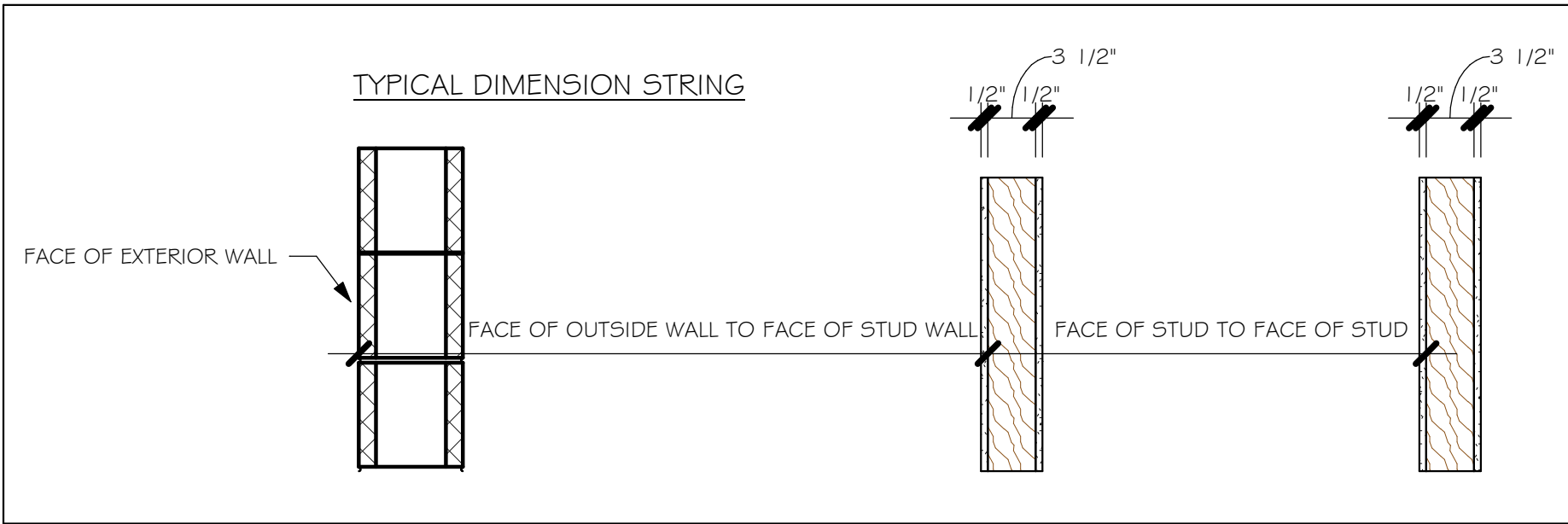
PLAN NOTES	
1)	VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
2)	PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
3)	PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
4)	NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
5)	PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
6)	KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
7)	INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
8)	WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
9)	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
10)	INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5.
11)	ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PREVENTION DEVICE
12)	ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.
13)	ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED AT OR ABOVE FLOOD PLUS 1'-0" FREEBOARD.

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	B.P. = BI-PASS DOOR
4	2'-4"	
5	2'-0"	L.V. = LOUVERED DOOR
6	1'-8"	
7	1'-6"	
8	2'-11"	

SQUARE FOOTAGE	
LIVING AREA	1,499
GARAGE AREA	385
FRONT PORCH/ ENTRY AREA	16
TOTAL SQUARE FOOTAGE	1,900

BATHROOM NOTES	
TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS



FLOOR PLAN
1/4" = 1'-0"

No.	Description	Date
1	COMPLETE MODEL CHANGE FROM A 1478 AR TO A 1499 AL	10/03/19

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION



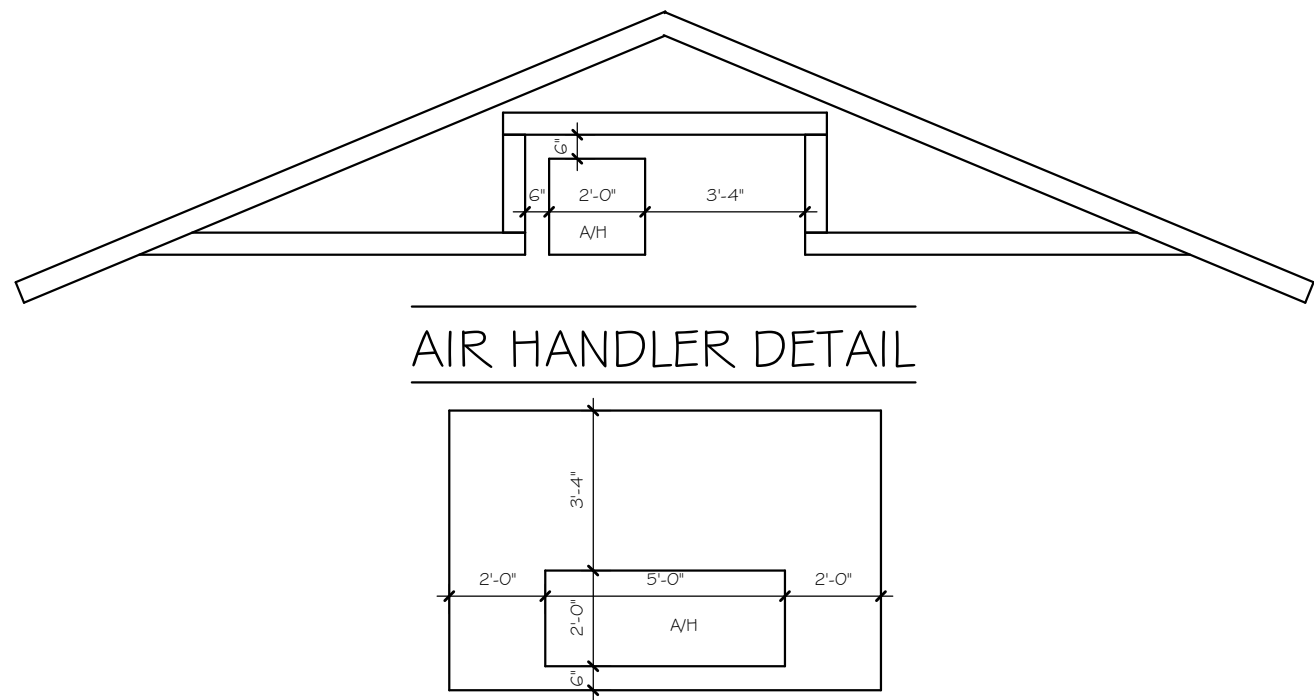
Gulf Coast Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-8223
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 53	SUBDIVISION: RIVER CLUB 50s
ADDRESS: 3688 PEBBLE TERRACE	D.R.H. #: 5794 10008

MODEL # 1499 A	GCD JOB # 10926
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DATE:	10/03/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	10/03/19
PLAN:	FLOOR
SCALE:	As indicated

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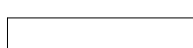


MODEL 1499 A: ATTIC VENTILATION FBCR R806

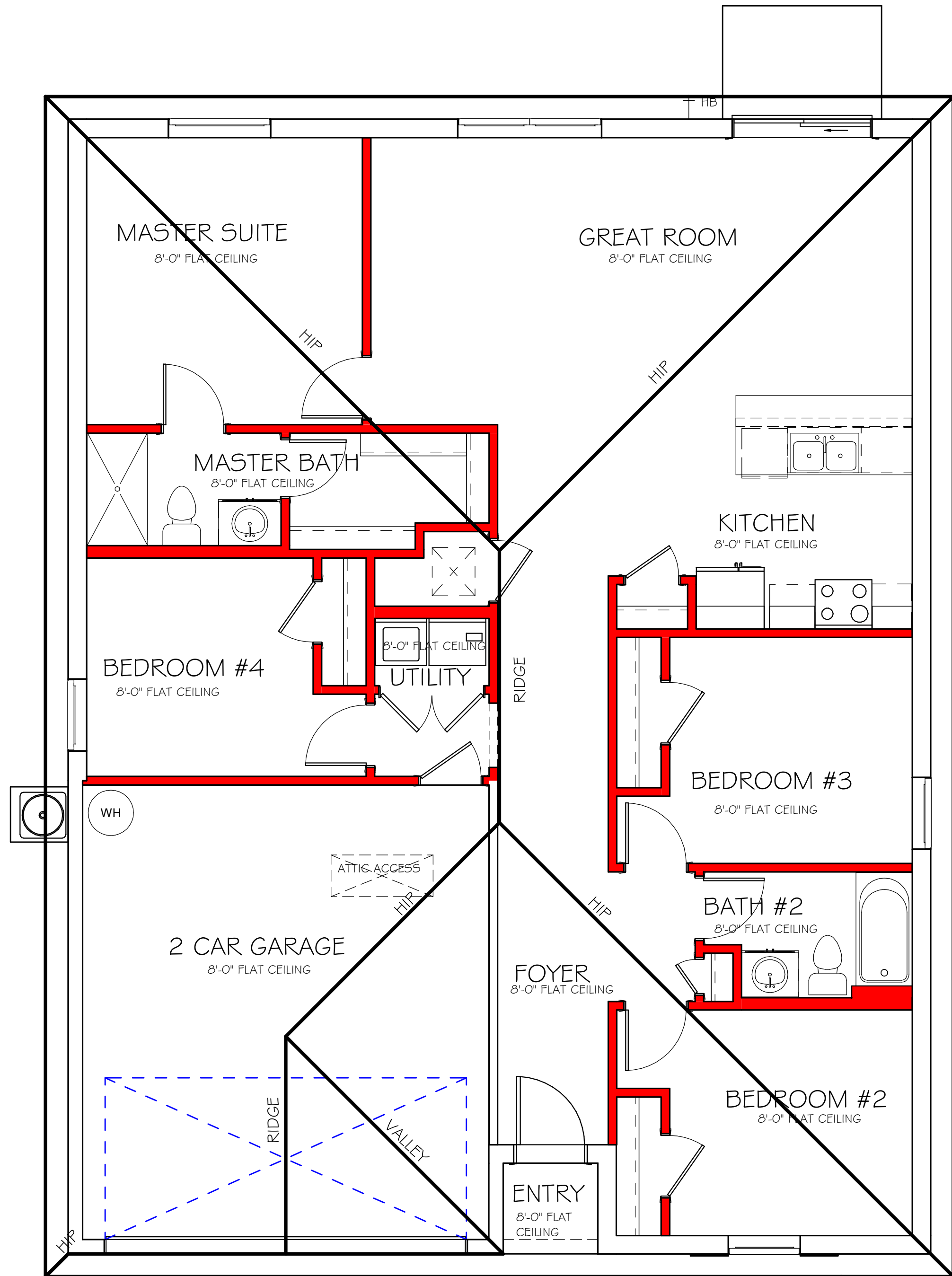
COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS

AREAS (SQ. FT.)			SOFFIT ONLY (1/150) (NO ROOF VENTS)			WITH ROOF VENTS (1/300) (R.V.)		
ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED		
MARK	ATTIC	SOFFIT	ATTIC AREA/150	REQ'D AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT
1st STORY	2080.0 SQ. FT.	180.0 SQ. FT.	13.87 SQ. FT.	7.71%	8.15%	... SQ. FT.	-	...%
"SOFFIT ONLY" QUALIFIES			ROOF VENTS ARE NOT REQUIRED					
SOFFIT MODEL			ROOF VENT MODEL					
ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW			32" BASE 22.3/6" BASE LOMANCO 770-D 0.97 SQ. FT. FREE AIR					

BEARING HEIGHT



= BEARING @ 8'-0"

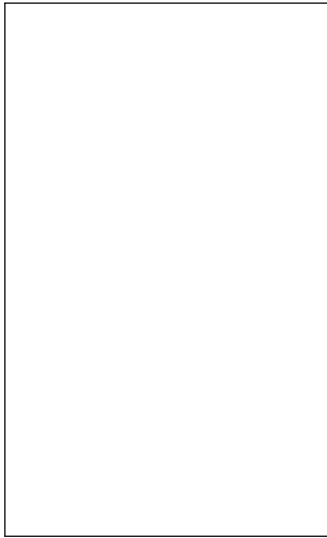


ROOF PLAN

1/4" = 1'-0"

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LOT: 53	SUBDIVISION: RIVER CLUB 50's
ADDRESS: 3688 PEBBLE TERRACE	
D.R.H. #: 579410008	

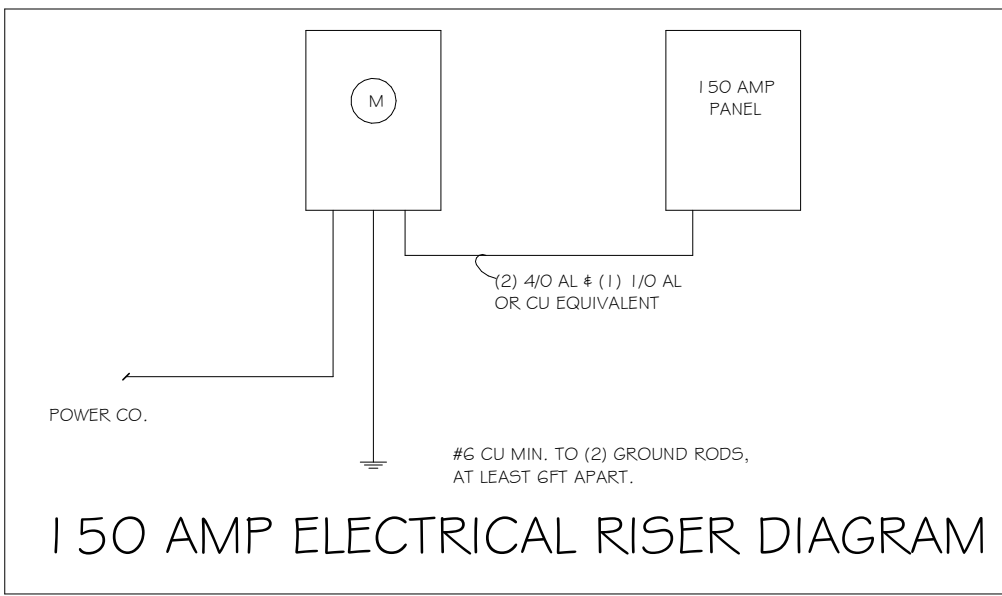
MODEL #1499 A	GCD JOB # 10926
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DATE:	10/03/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	10/03/19
PLAN:	ROOF
SCALE:	As indicated

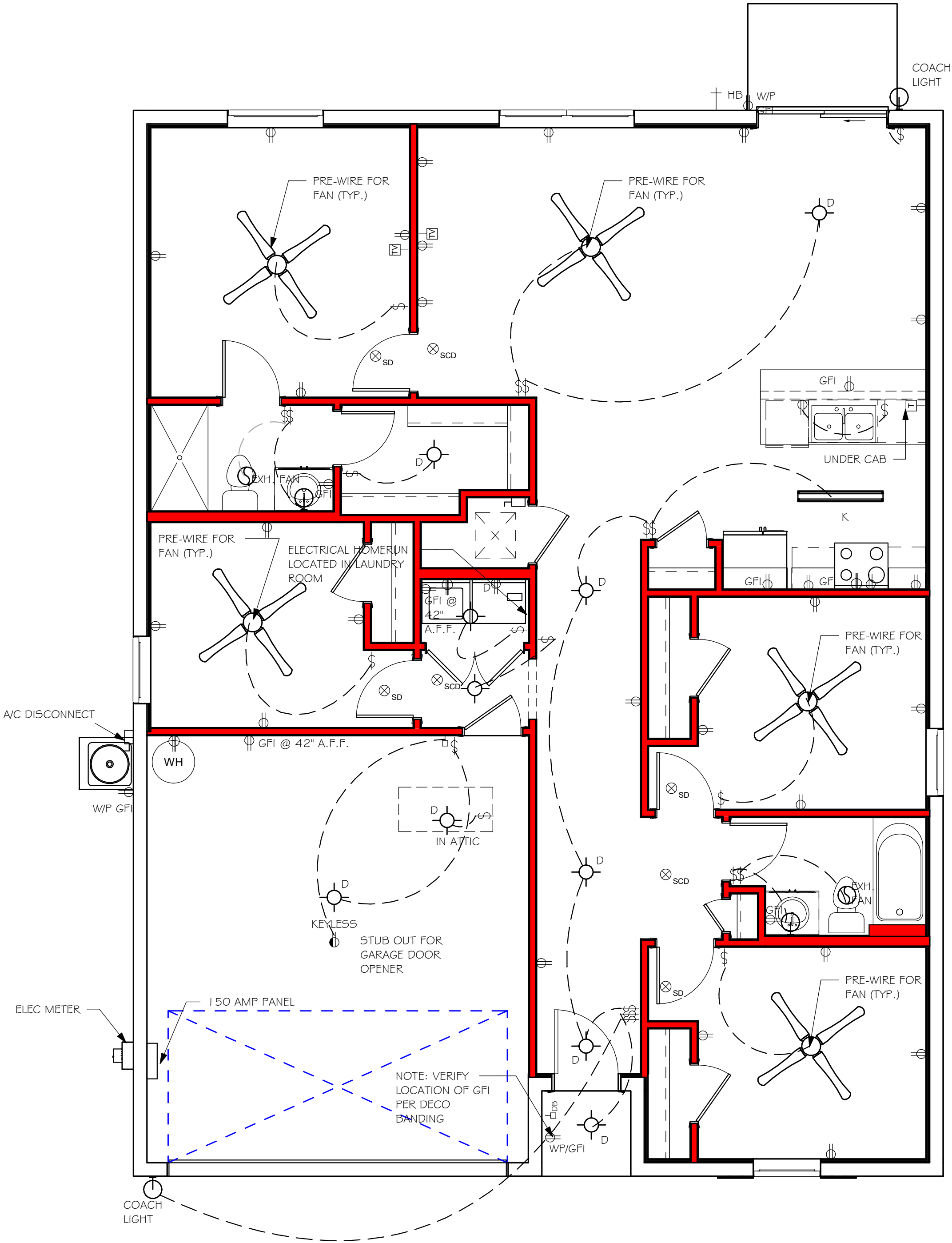
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605\10926 LOT 53 1499 AL\REVIT\10926 1499 AL.rvt

ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE AT ELEV. A.F.F.
	DUPLEX RECEPTACLE - ABOVE COUNTER
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES, PER RULE 9B-3.04.72 SD (SMOKE DETECTOR) SCD (CARBON MONOXIDE/ SMOKE DETECTOR)
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	RECESSED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON (FB) / DOOR BELL (DB)
	INTERCOM
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT
NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.	
ELECTRICAL NOTES: ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.1.1 ALL ELECTRIC, ELECTRICAL EQUIPMENT AND APPLIANCES TO BE SET AT OR ABOVE BASE FLOOD ELEVATIONS PLUS 1'-0" FREEBOARD. ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S. INSTALL PHONE AND T.V PER CONTRACT. INSTALL ALL ELECTRICAL PER NEC 2014	



ELECTRICAL PLAN		
150 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(X)	(RECESSED CANS)
B	(X)	(VAPORS)
C	(X)	(PENDANT LIGHT
D	(9)	(10" MUSHROOMS)
E	(2)	(24" 3 LT)
F	(X)	(36" LT)
G	(X)	(NOT USED)
H	(2)	(COACH LIGHTS)
I	(X)	
J	(X)	(J BOX)
K	(1)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(SLT CHANDELIER)
N	(X)	(3 LT.)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)



ELECTRICAL PLAN
1/4" = 1'-0"

No.	Description	Date
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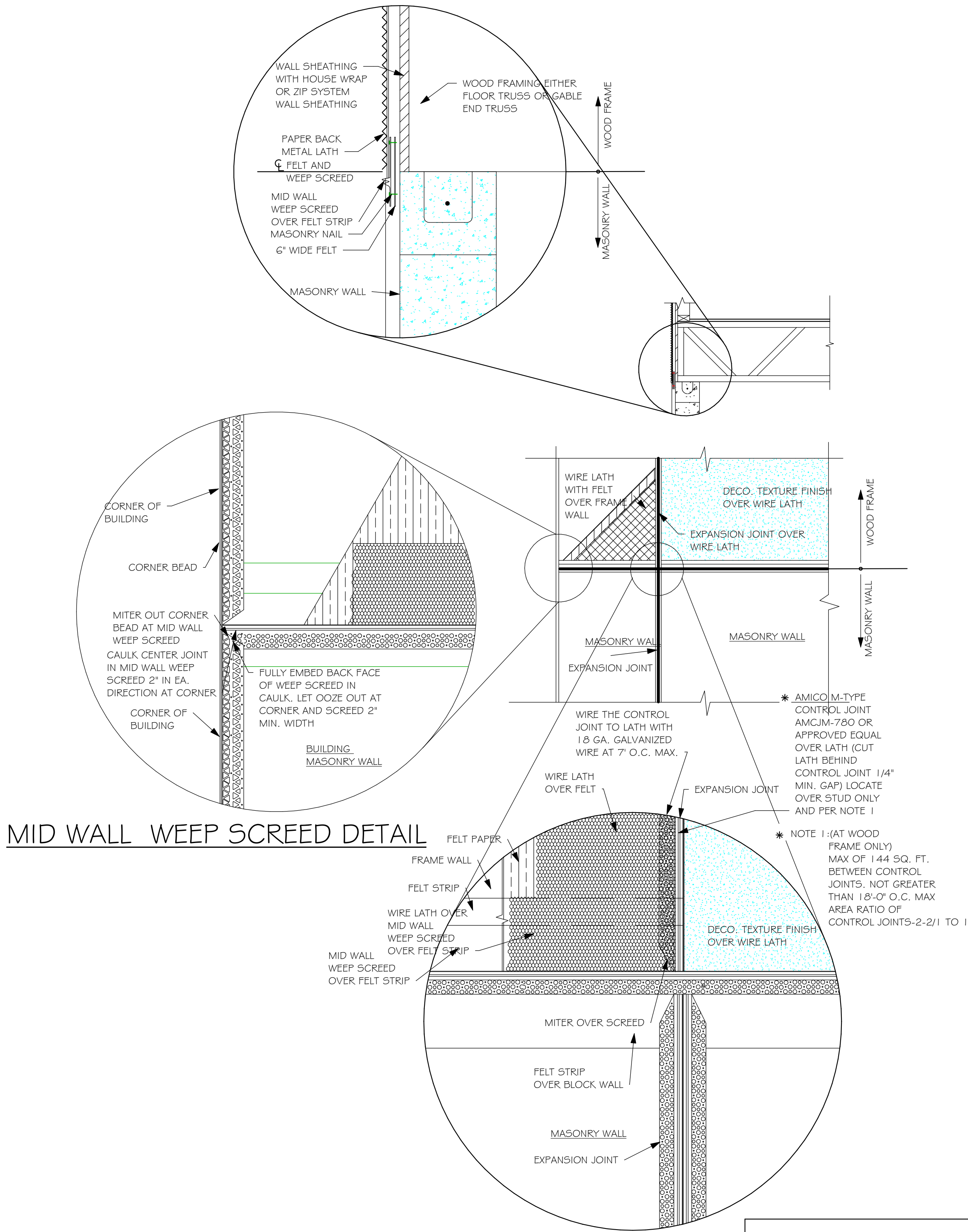
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Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-1822
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 53	SUBDIVISION: RIVER CLUB 50's
ADDRESS: 3688 PEBBLE TERRACE	
D.R.H. #: 579410008	

MODEL #1499 A	GCD JOB # 10926
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DATE:	10/03/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	10/03/19
PLAN:	ELECTRICAL
SCALE:	As indicated

K:\1-MASTER 2019\2019-BUILDERS\DR HORTON\2019\SUBDIVISIONS\RIVER CLUB
-605\10926 LOT 53 1499 ALREVIT\10926 1499 ALREVIT



RESIDENTIAL SPECIFICATIONS

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING. THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT.
ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
- TREATED WOOD REQUIREMENTS:-
ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY.
ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
- CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
- LANAI CEILINGS & COVERED ENTRY CEILINGS
1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS. 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

DOOR AND WINDOW ANCHORAGE

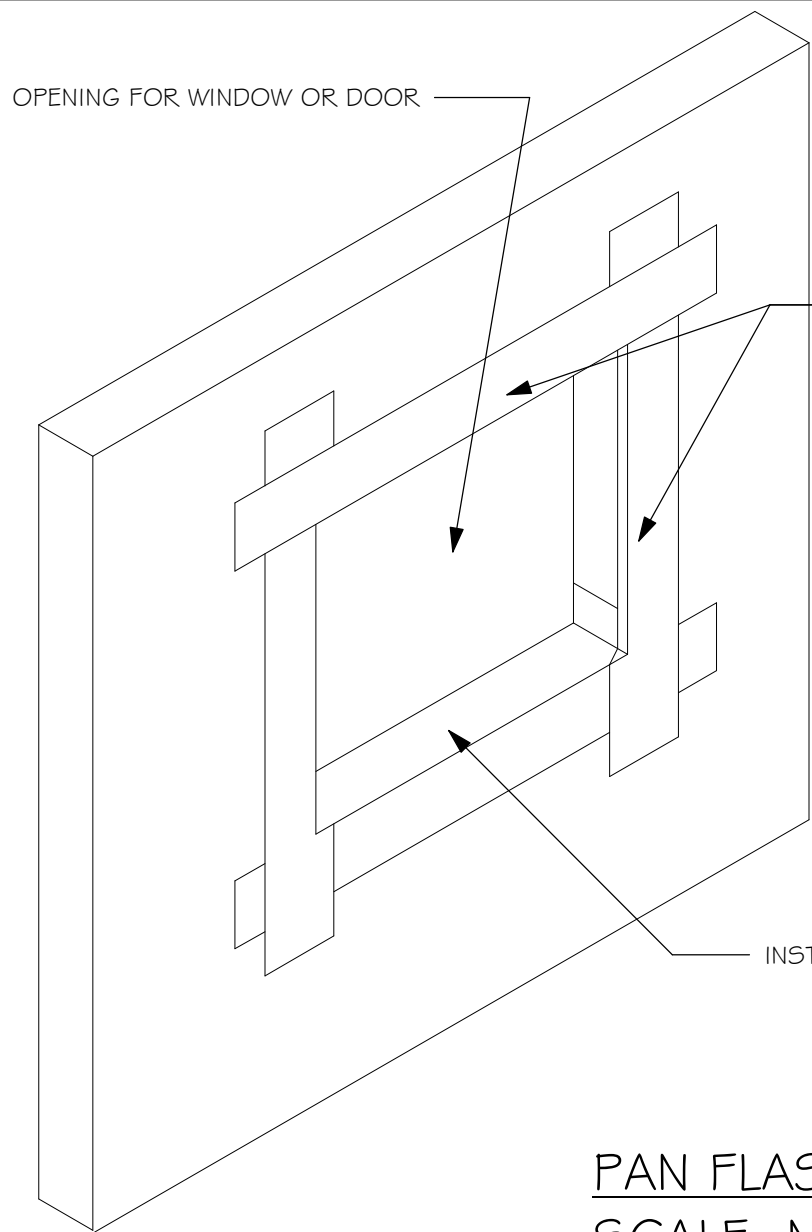
ANCHORAGE REQUIREMENTS- ALL PASS AND SLIDING GLASS DOORS AND ALL WINDOW ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A MANNER SPECIFIED BY THE PUBLISHED MANUFACTURER'S LITERATURE. THERE SHALL BE NO SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER.

MASONRY OPENING

WHERE WINDOW FRAME IS DESIGN TO FASTEN THROUGH THE FRAME AND INTO THE MASONRY, THE BUCK MATERIAL IS SIMPLY A SPACER. THE BUCK MAY BE FASTENED WITH THE T NAILS OR ANY SUITABLE FASTENER TO TACK IT INTO POSITION PRIOR TO WINDOW INSTALLATION. FASTEN WINDOW FRAME PER MFR INSTRUCTIONS. A WINDOW FASTENER SHALL PENETRATE MASONRY BY 2 1/4" MIN.

WHERE WINDOW FRAME IS DESIGNED TO FASTEN ONLY TO THE WOOD BUCK (IE, FLANGED FRAME WITH WOOD SCREWS) THE BUCKS SHALL BE 2X WOOD WITH STRUCTURAL FASTENING TO THE MASONRY WITH 1/4 X 3 3/4 MASONRY SCREWS @ 24" OC AND 6" FROM EACH END.

WOOD FRAMED OPENING- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURER'S LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE OF RESISTING THE APPLIED LOADS AND SHALL BE LOCATED NEAR EACH FRAME FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE TIGHTENED .



WHERE "PAN" FLASHING IS USED AT THE SILL, ALSO INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES

R703.4 - WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED BY THE WINDOW OR DOOR MANUFACTURER OR BY THE FLASHING MANUFACTURER, "PAN FLASHING" SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OF PROTECTION AT THE HEAD AND SIDES.

"PAN FLASHING" IS A GENERIC TERM THAT USED TO REFER TO "METAL PAN FLASHING". HOWEVER MANY MODERN MATERIALS HAVE BEEN DEVELOPED FOR THE SAME FUNCTION SUCH AS:
- FLEXIBLE PEEL AND STICK FLASHING MEMBRANE
- FLUID APPLIED FLASHING
FOR SUCH PRODUCTS FOLLOW THE MANUFACTURER'S INSTALLATION REQUIREMENTS

FOR IN-DEPTH FLASHING INSTRUCTIONS, REFER TO THE FOLLOWING PUBLICATIONS:
FMAAAMA 100
FMAAAMA 200
FMAWDMA 250
FMAAAMAWDMA 300

THE FLASHING INSTRUCTIONS FROM THE WINDOW/ DOOR MFR., OR THE FLASHING MFR., SHALL SUPERCEDE THIS DETAIL

PAN FLASHING PER R703.4

SCALE: N.T.S.

GENERAL ROOF ASSEMBLY

ROOF SHEATHING

SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL "T" CLIPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 4" O.C. EDGE AND 6" O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK NAILS PER R203.2.3.1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.

FLASHING

FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE A250 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURER'S PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).

DRIP EDGE

DRIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS, LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". DRIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS, THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.

4

ASPHALT SHINGLE ROOF SPECS

SHINGLES

15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF 2 FASTENERS PER SHINGLE TAB, AND SHALL IN NO CASES BE FASTENED WITH LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.

FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 1/2 GAUGE (0.105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL BE A LENGTH TO PENETRATE THE SHEATHING

THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND SHALL BE CORROSION RESISTANT BY ELECTRO GALVANIZATION, MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL

5

CLAY AND CONCRETE ROOF TILE SPECS

INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE LAYER APPLICATION UNDER TILE ROOF.

THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF R905.3 F.B.C.

MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURER'S IDENTIFICATION MARK.

APPLICATION SPECIFICATIONS: THE TILE MANUFACTURER'S WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING:

- TILE PLACEMENT AND SPACING,
- ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CURRENT WIND CODE,
 - AMOUNT AND PLACEMENT OF MORTAR
 - AMOUNT AND PLACEMENT OF ADHESIVE
 - TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS.
- UNDERLAYMENT
- SLOPE REQUIREMENT.

6

FLOOR SHEATHING AT 2ND FLOOR

A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATING 48/24 OR BETTER, GLUED AND NAILED

ROOF SHEATHING PER SCHEDULE 2/5-1, AND PER NOTES IN TABLE 3 ON A-6

TILE ROOF PER NOTE 6 ON A-6. OR SHINGLE ROOF PER NOTE 5 ON A-6

WOOD TRUSSES @ 24" O.C. (TYPICAL.) DESIGNED BY DELEGATED TRUSS ENGINEER.

EMBEDDED STRAP AT EACH TRUSS PER ROOF FRAMING PLAN. FLASHING AND DRIP EDGE PER NOTES IN TABLE 2 ON A-6

2X6 MIN. SUB FASCIA

PROVIDE VENTILATION PER R806.1

VENTED SOFFIT SHALL MEET R703.1.2.1 SEE TABLE 3 ON 5-3

8X8 CONTINUOUS BOND BEAM W/ 1 #5, GROUT SOLID

SLOPE TO EXTERIOR

PRECAST CONCRETE SILL
DECO. CEMENT FINISH PER ASTM C-926

GRADE

CONC. FOOTING
SEE FOUNDATION PLAN FOR SIZE AND REINFORCING.

SEE ENERGY CODE FORMS FOR INSULATION R-VALUES

1X4 P.T. STRIP

PRECAST LINTEL SEE FRAMING PLAN

WINDOW BUCKS SEE TABLE 2 ON A-6

1X4 P.T. BUCK W. BED OF CONTINUOUS CAULK UNDER

WINDOW, SEE SCHEDULE AND PLAN

PROVIDE TERMITE TREATMENT WITH "BORA CARE".

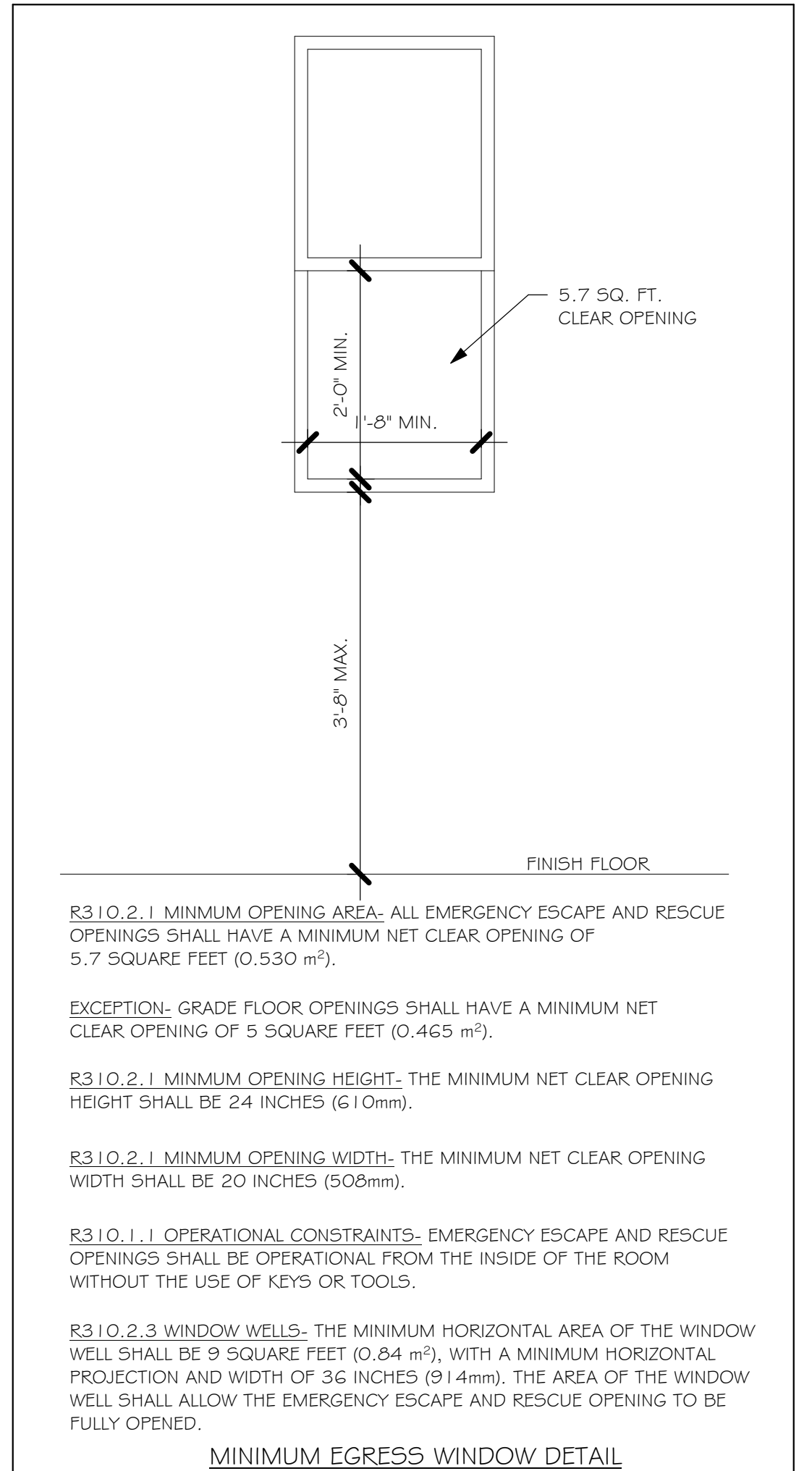
SILL SET IN MORTAR

1/2" DRYWALL W/ TEXTURED WALLS

1X2 P.T. FURRING STRIPS @ 24" O.C. W/ INSULATION (MIN. R4.1)

4" CONC. SLAB ON 6 MIL. VISQUEEN VAPOR BARRIER ON MECHANICALLY COMPACTED FILL @ 95%.

TYPICAL WALL SECTION



R310.2.1 MINIMUM OPENING AREA- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²).

EXCEPTION- GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (0.465 m²).

R310.2.1 MINIMUM OPENING HEIGHT- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm).

R310.2.1 MINIMUM OPENING WIDTH- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508mm).

R310.1.1 OPERATIONAL CONSTRAINTS- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

R310.2.3 WINDOW WELLS- THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (0.84 m²) WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (914mm). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

MINIMUM EGRESS WINDOW DETAIL

No.	Description	Date
1	COMPLETE MODEL CHANGE FROM A 1478 AR TO A 1499 AL	10/03/19

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

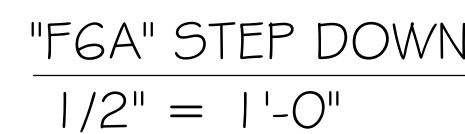
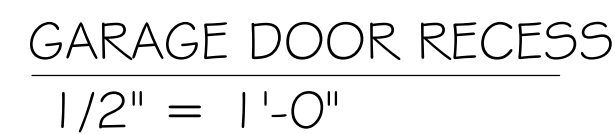
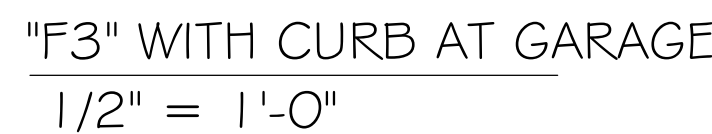
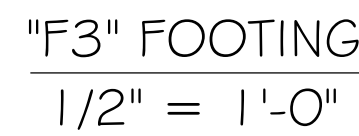


LOT: 53	SUBDIVISION: RIVER CLUB 50s
ADDRES: 3688 PEBBLE TERRACE	D.R.H. #: 579410008

MODEL # 1499 A	GCD JOB # 10926
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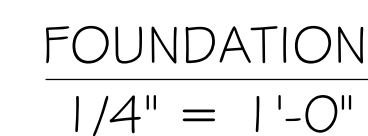
DATE:	10/03/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	10/03/19
PLAN:	SECTIONS
SCALE:	As indicated

A-6



PROVIDE CORNER BARS PER 6/S-3

1. TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
2. "##" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
3. "X" DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
4. PROVIDE #4 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING
TO BOND BEAM.
5. ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY
EXTEND BEYOND FACE OF WALL.
6. PROVIDE FINISH OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/
DOOR SUPPLIER.
7. PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/3-S.



No.	Description	Date
1	COMPLETE MODEL CHANGE FROM A 1478 AR TO A 1499 AL	10/03/19

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

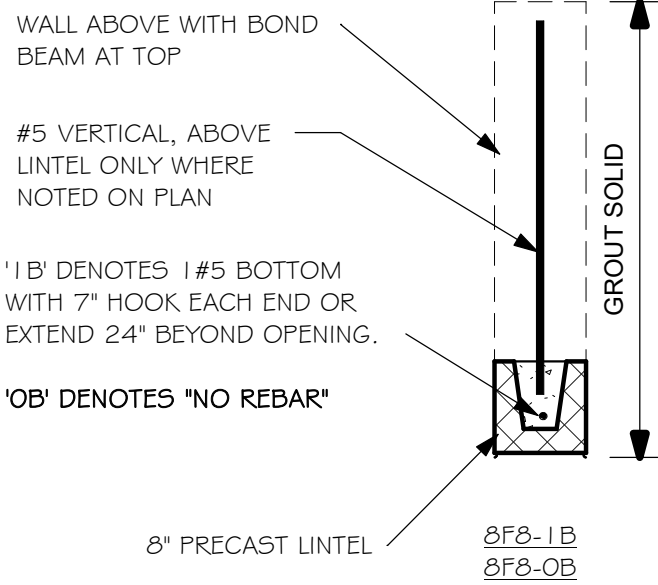
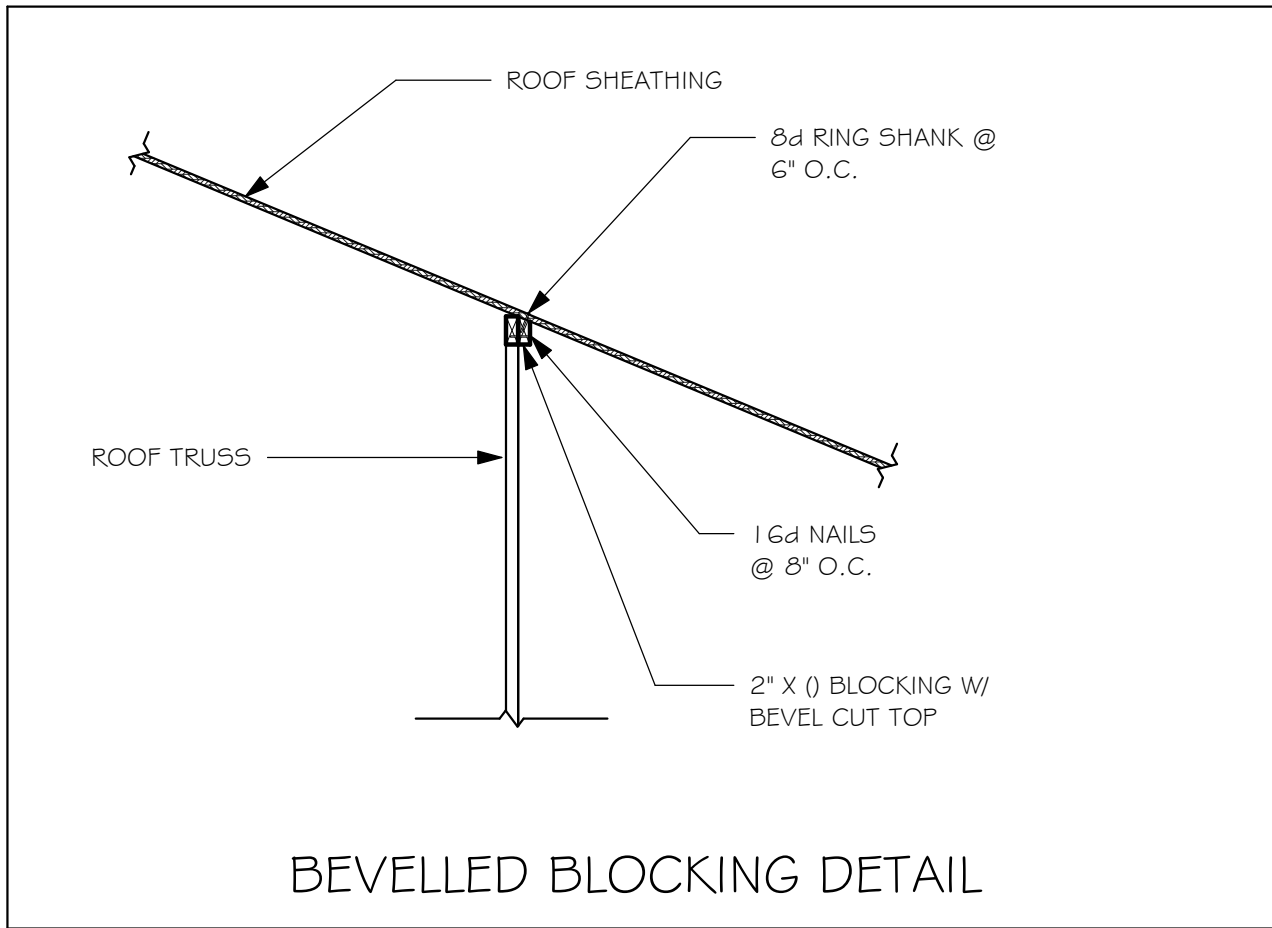
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605\10926 LOT 53 1499 AL\REVIT\10926 1499 AL.rvt

INSTALL HTA 16-18 AT ALL TRUSSES TO 1615 lb UPLIFT. FOR HIGHER UPLIFTS, SEE NOTES ON PLAN.

TRUSS STRAPPING TO MASONRY		
MAX TRUSS UPLIFT @ 24" OC (LBS)	CONNECTOR	FASTENER
1615	(1) HTA16-18	10-10dx1/2", EMBED 4"
1870	(1) HTA20	10-10dx1/2", EMBED 4"
2430 (1 PLY)	(2)HTA16-18	10-10dx1/2", EMBED 4"
2800 (2 PLY)	(2)HTA16-18	10-10dx1/2", EMBED 4"
3170 (2 PLY)	(2) HTA20	10-10dx1/2", EMBED 4"
5005	HTT45	5/8" ATR, EPOXY 1/2"

- NOTES:
1. PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON -CL OF WALL.
 2. CONNECTORS ARE USP STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.
 3. WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER 2/5-4.
 4. "ATR" = ALLTHREAD. DRILL AND EPOXY WITH USP EPOXY PER MFR. INSTRUCTIONS.

REV2



PRECAST LINTEL SCHEDULE

AT SWING DOORS, USE 2" RECESS STYLE LINTEL IF NEEDED FOR ROUGH OPENING.
LINTELS BEAR 4" MIN. EACH END

PLAN NOTES:

1. ROOF TRUSS BEARING 8'-0", SEE LEGEND.
2. ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET S-3.
3. PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET.
4. FOR NAILING OF ROOF AND FLOOR DECK, SEE 1 AND 2 ON S-3.
5. 8F8-1B etc., DENOTES PRECAST LINTEL ABOVE DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET.
6. AT TRUSS BEARING, PROVIDE 8x8 MASONRY BOND BEAM W/ 1 #5 CONTINUOUS, SEE DETAIL 11/5-3.

BEARING HEIGHT

= BEARING @ 8'-0"

TRUSS BEARING CONDITIONS AND STRAPPING IS BASED ON TRUSS LAYOUT PREPARED BY SCOSTA JOB# 44116 DATED: 05/24/18 REVISED: 9/15/18

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENATH HABITABLE ROOM SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR- CEILING ASSEMBLY THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT

#5 BAR IN GROUTED CELL, WITH 7" HOOK INTO TOP OF BOND BEAM

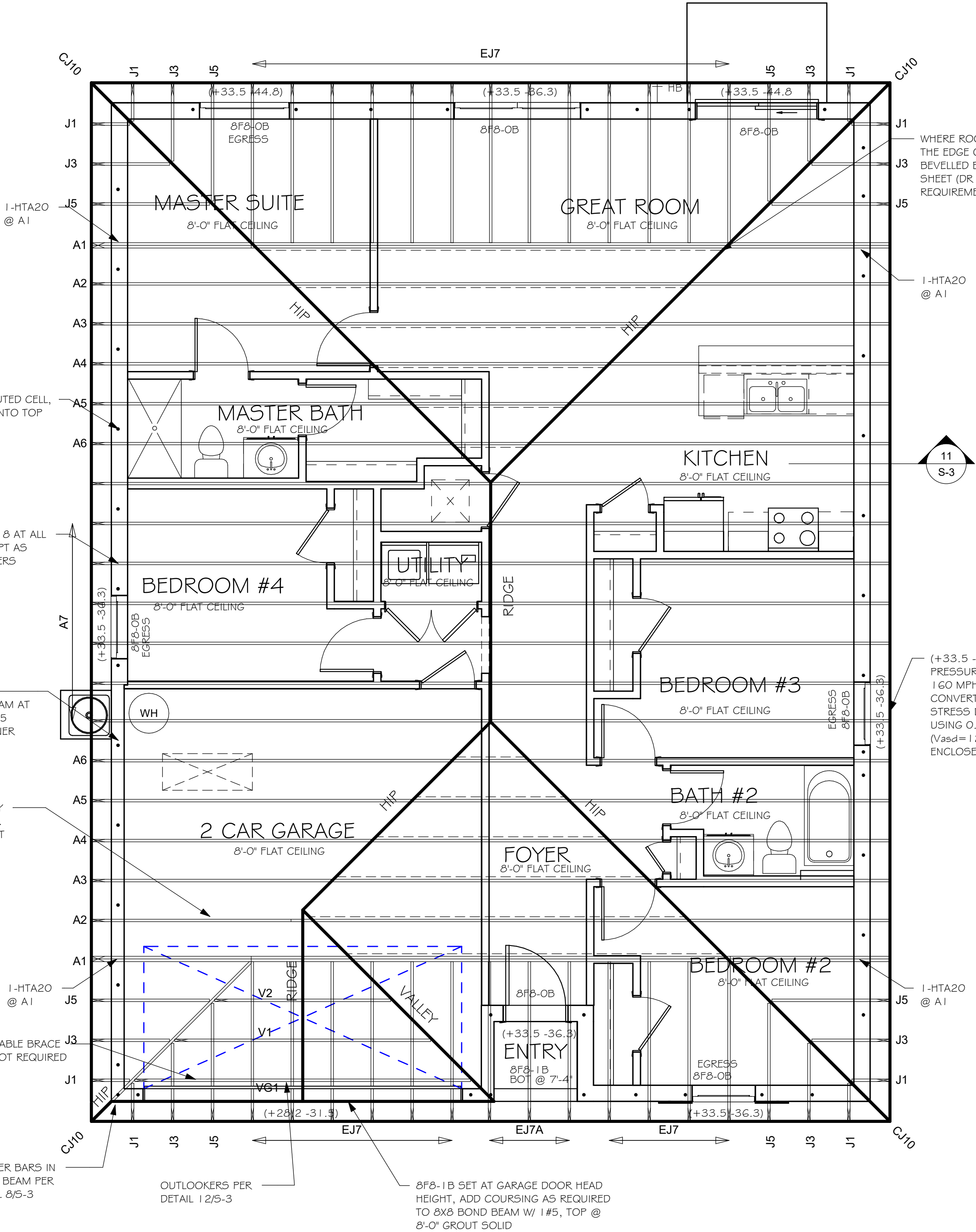
EMBED HTA16-18 AT ALL TRUSSES, EXCEPT A5 NOTED AT GIRDERS

8x8 CONTINUOUS MASONRY BOND BEAM AT TOP OF WALL W/ 1 #5 BAR. PROVIDE CORNER BARS PER 8/5-3

CORNER BARS IN BOND BEAM PER DETAIL 8/5-3

OUTLOOKERS PER DETAIL 12/5-3

8F8-1B SET AT GARAGE DOOR HEAD HEIGHT, ADD COURSING AS REQUIRED TO 8x8 BOND BEAM W/ 1#5, TOP @ 8'-0" GROUT SOLID



WHERE ROOF SHEATHING CONTACTS ONLY THE EDGE OF ROOF TRUSSES, INSTALL BEVELLED BLOCKING PER DETAILS THIS SHEET (DR HORTON COMPANY REQUIREMENT)

(+33.5 -36.3) WIND PRESSURES PER ASCE7-10, 160 MPH, EXPOSURE C AND CONVERTED TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR. (Vasd=1.24 MPH, RISK CAT II, ENCLOSED, kd=0.85, H=15')

ROOF FRAMING PLAN 1/4" = 1'-0"

No.	Description	Date
1	COMPLETE MODEL CHANGE FROM A 1478 AR TO A 1499 AL	10/03/19

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

Express
HOMES

Gulf Coast
Drafting & Design, Inc.

EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-8222
1515 SE 47th ST. CAPE CORAL, FL 33904

STRUCTURAL
SYSTEMS
OF NORTH FLORIDA
INC. & CORP.
2295 S. 10th Ave., Suite 100
Cape Coral, FL 33904
(239) 549-4554
CFL 8889

LOT: 53
SUBDIVISION: RIVER CLUB 50's
ADDRESS: 3688 PEBBLE TERRACE
D.R.H. #: 579410008

MODEL
1499 A

GCD JOB # 10926

DATE: 10/03/19

DRAWN BY: JSL

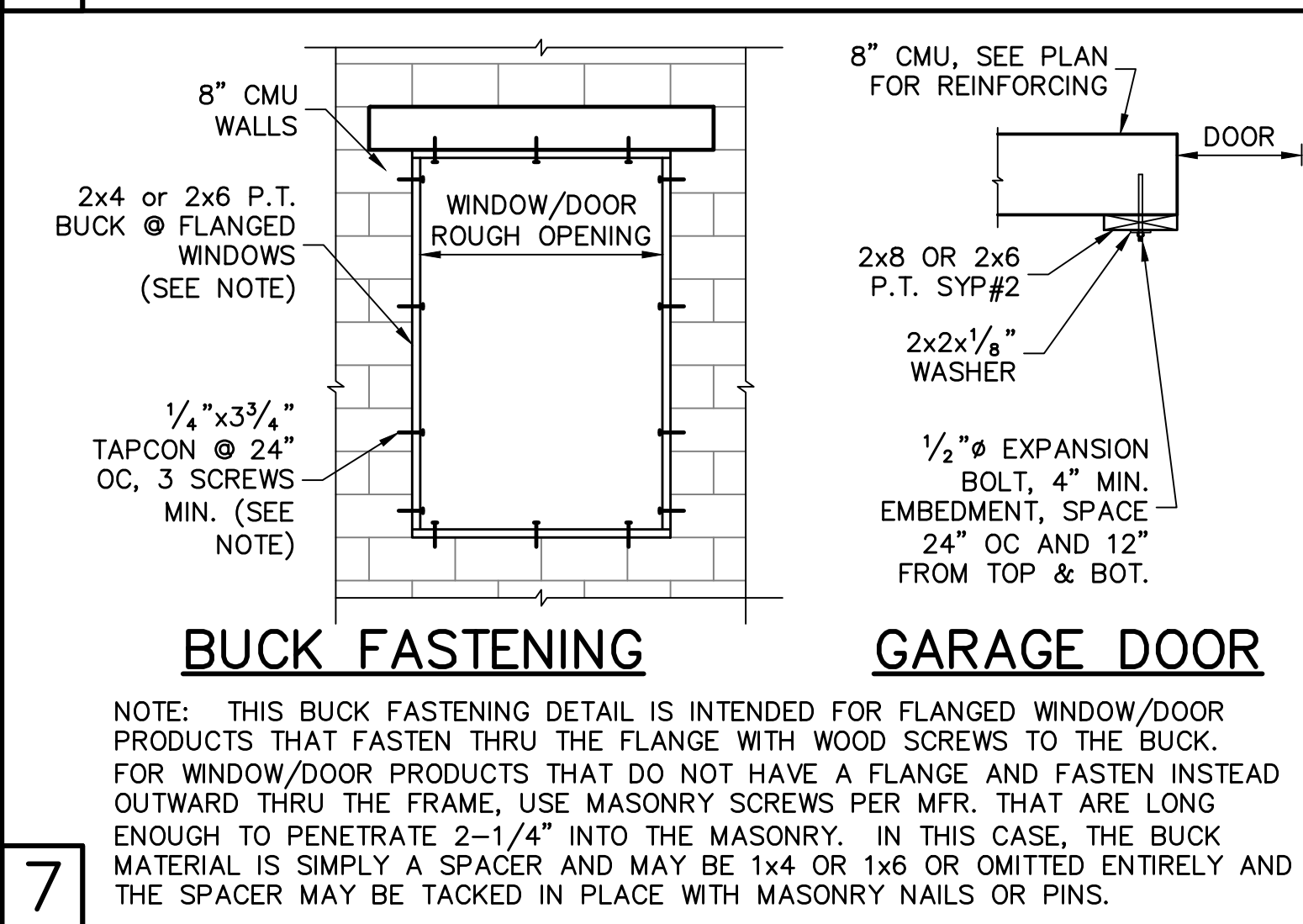
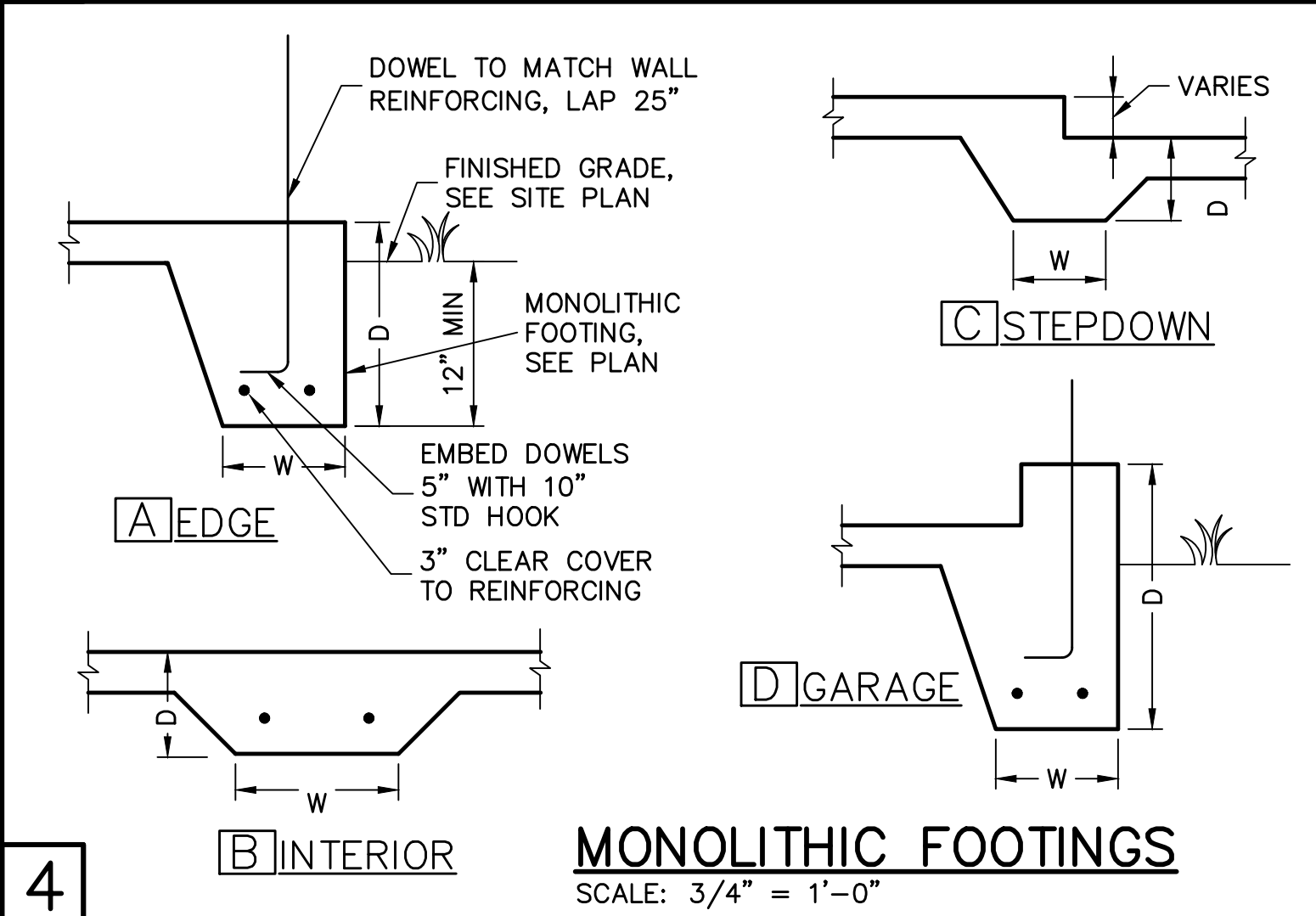
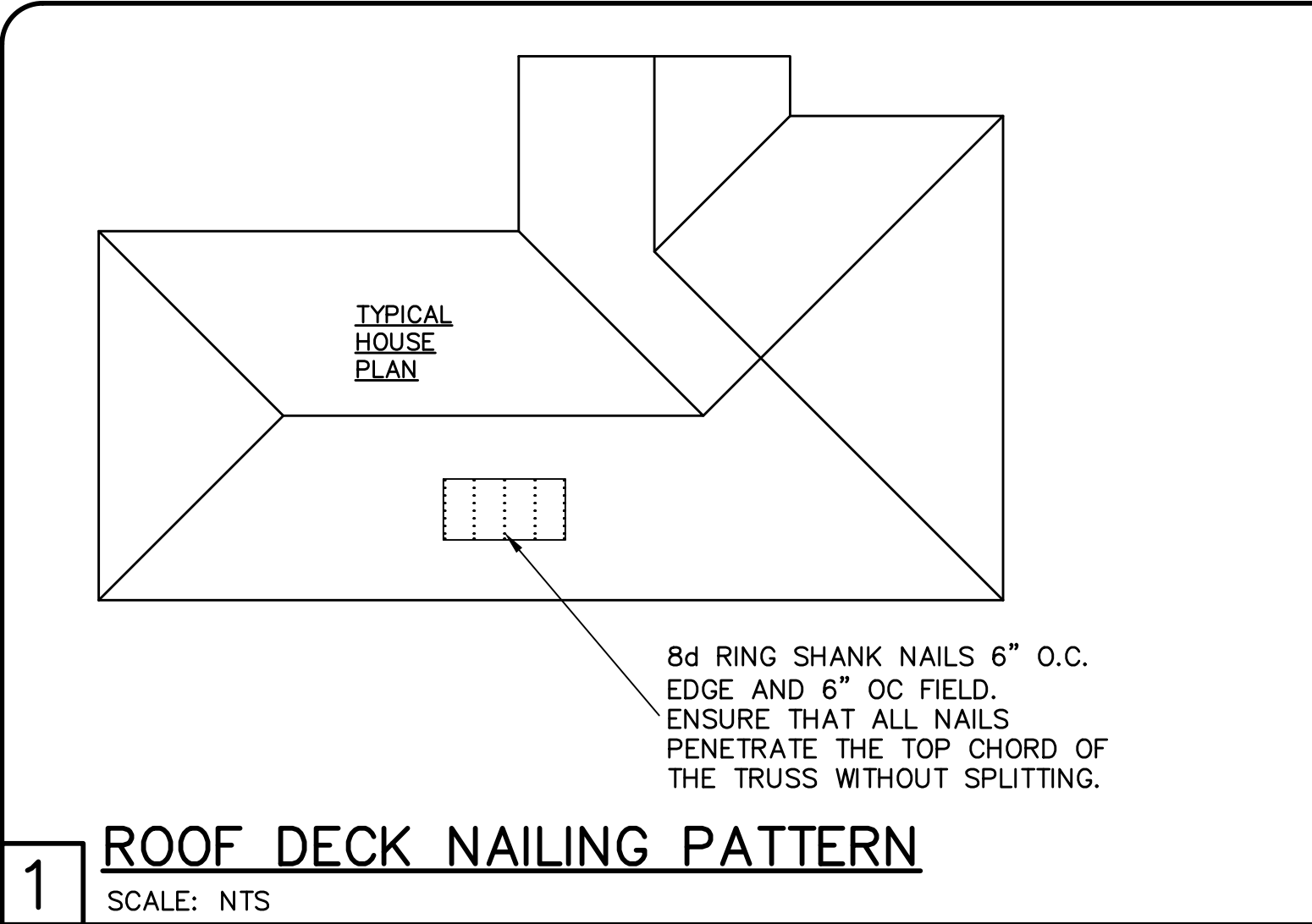
CHECKED BY: JWC

REVISED: 10/03/19

PLAN: ROOF FRAMING PLAN

SCALE: As indicated

S-2



RETROFIT STRAPS TO CONCRETE/MASONRY			
TRUSS UPLIFT (LBS) @ 24" OC	CONNECTOR		
TO 1145	1-HTWM16 or 20	8-10dx1 1/2"	4-1/4x2 1/4" CONCRETE SCREW
TO 1145	1-HTWM16 or 20	8-10dx1 1/2"	4-1/4x2 1/4" CONCRETE SCREW
TO 2290	2-HTWM16 or 20	8-10dx1 1/2"	4-1/4x2 1/4" CONCRETE SCREW
TO 4520	2-LUGT2	16-16d, 7-1/4"	2-1/4x2 1/4" CONCRETE SCREW
TO 3610	HTT16	18-16d, 5/8"	Ø ALLTHREAD, DRILL & EPOXY 10" EMBED w/ USP SET.
TO 9790	HGT-2/3	18-16d, 5/8"	Ø ALLTHREAD, DRILL & EPOXY 12" EMBED WITH USP SET.

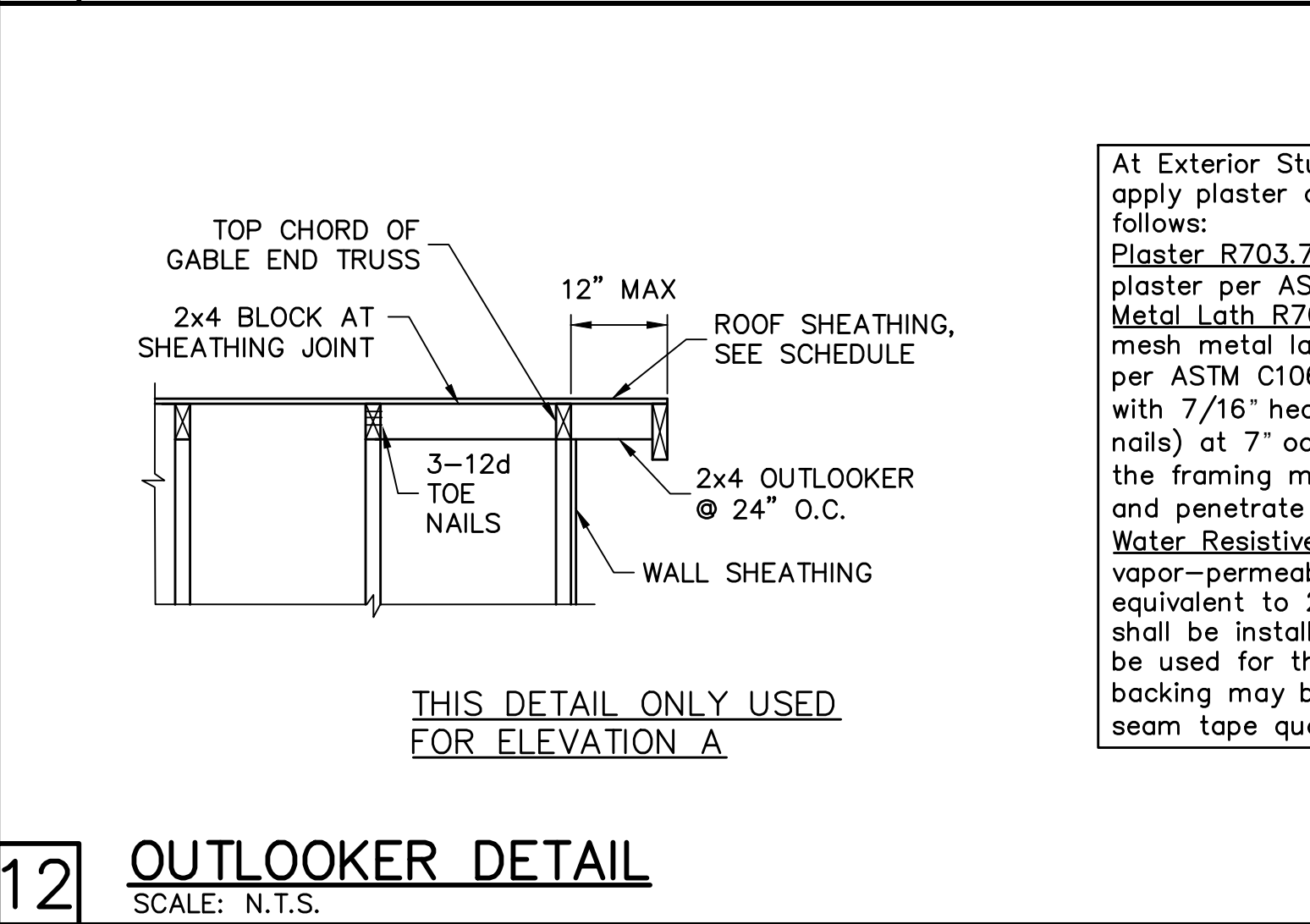
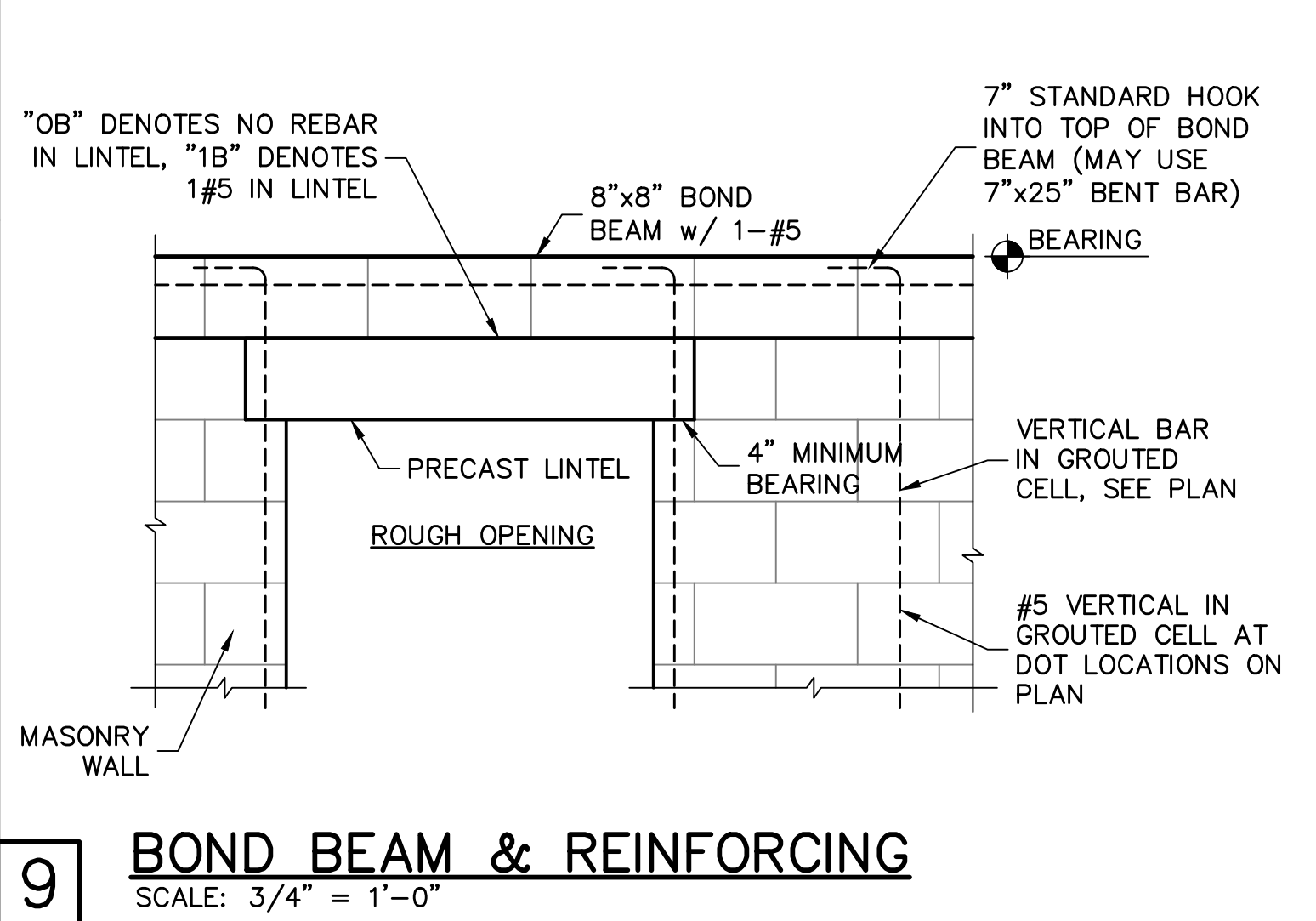
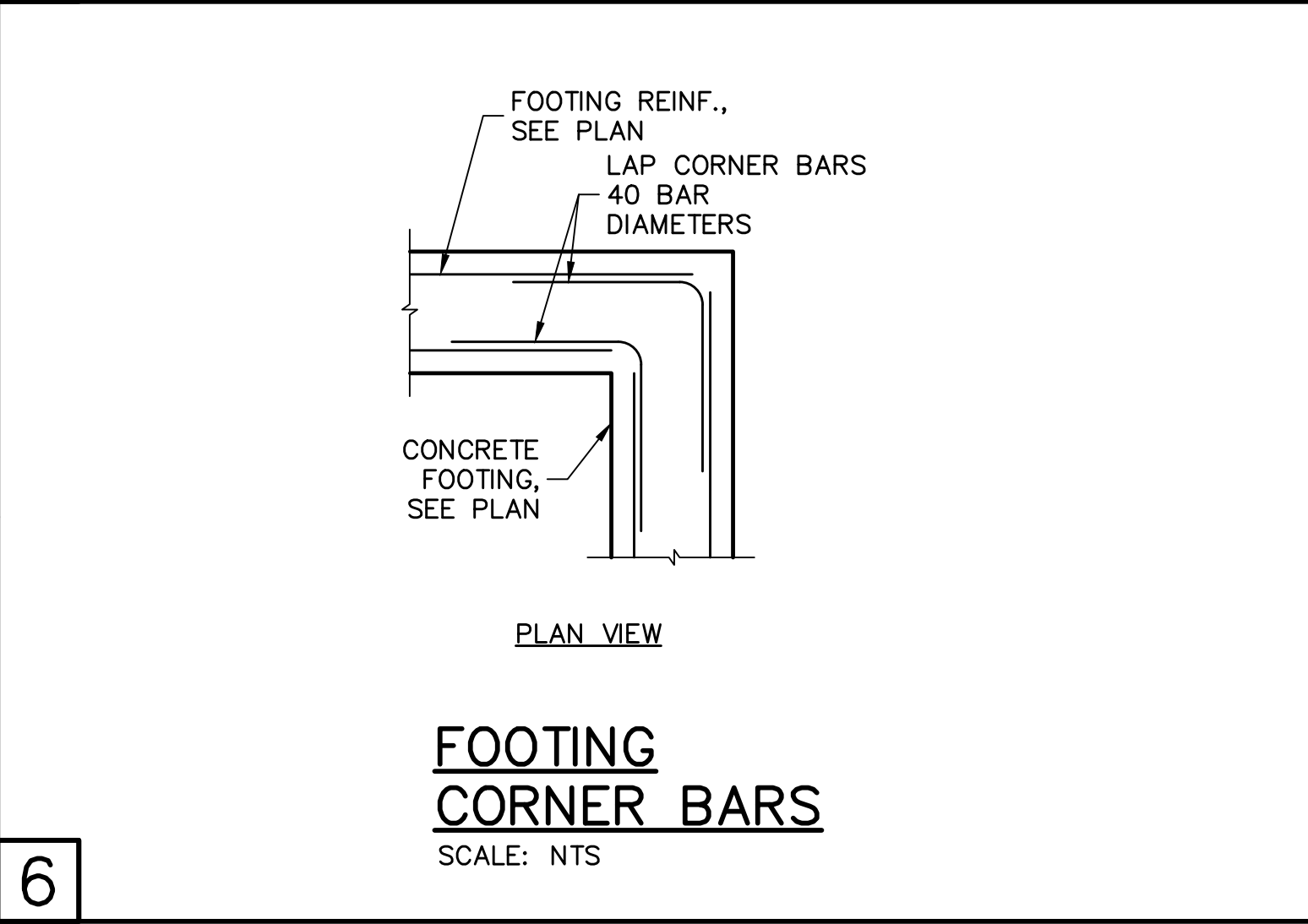
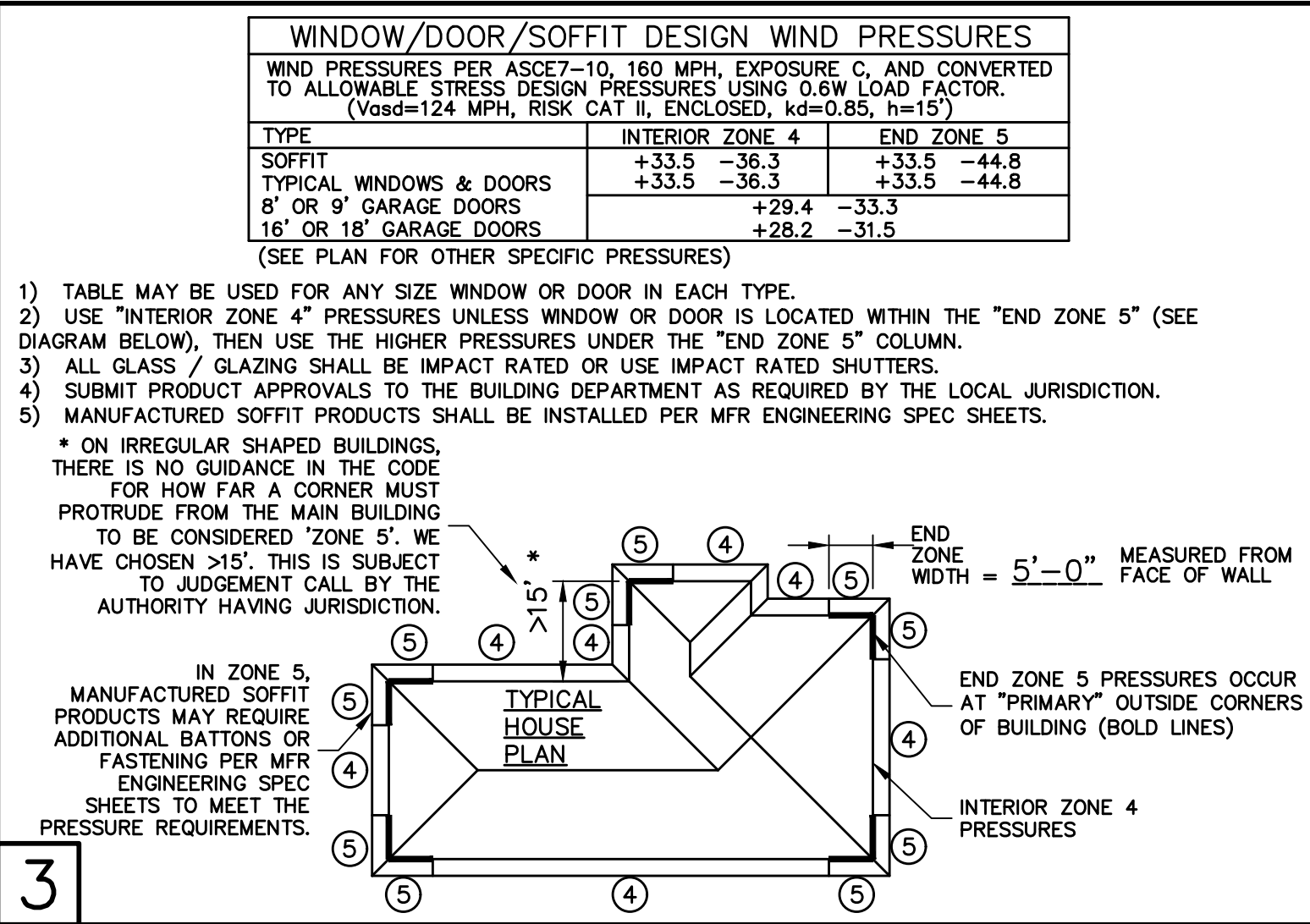
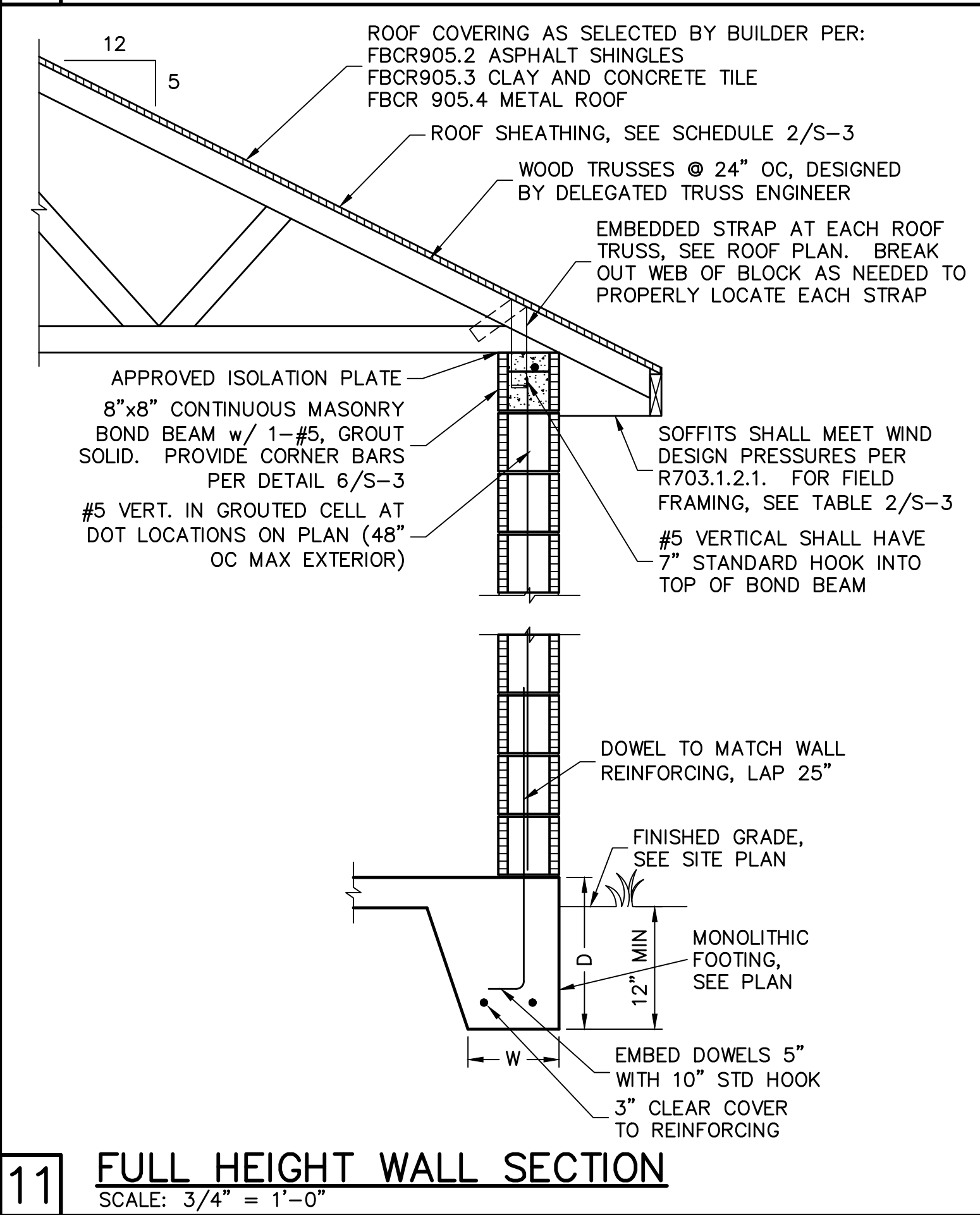
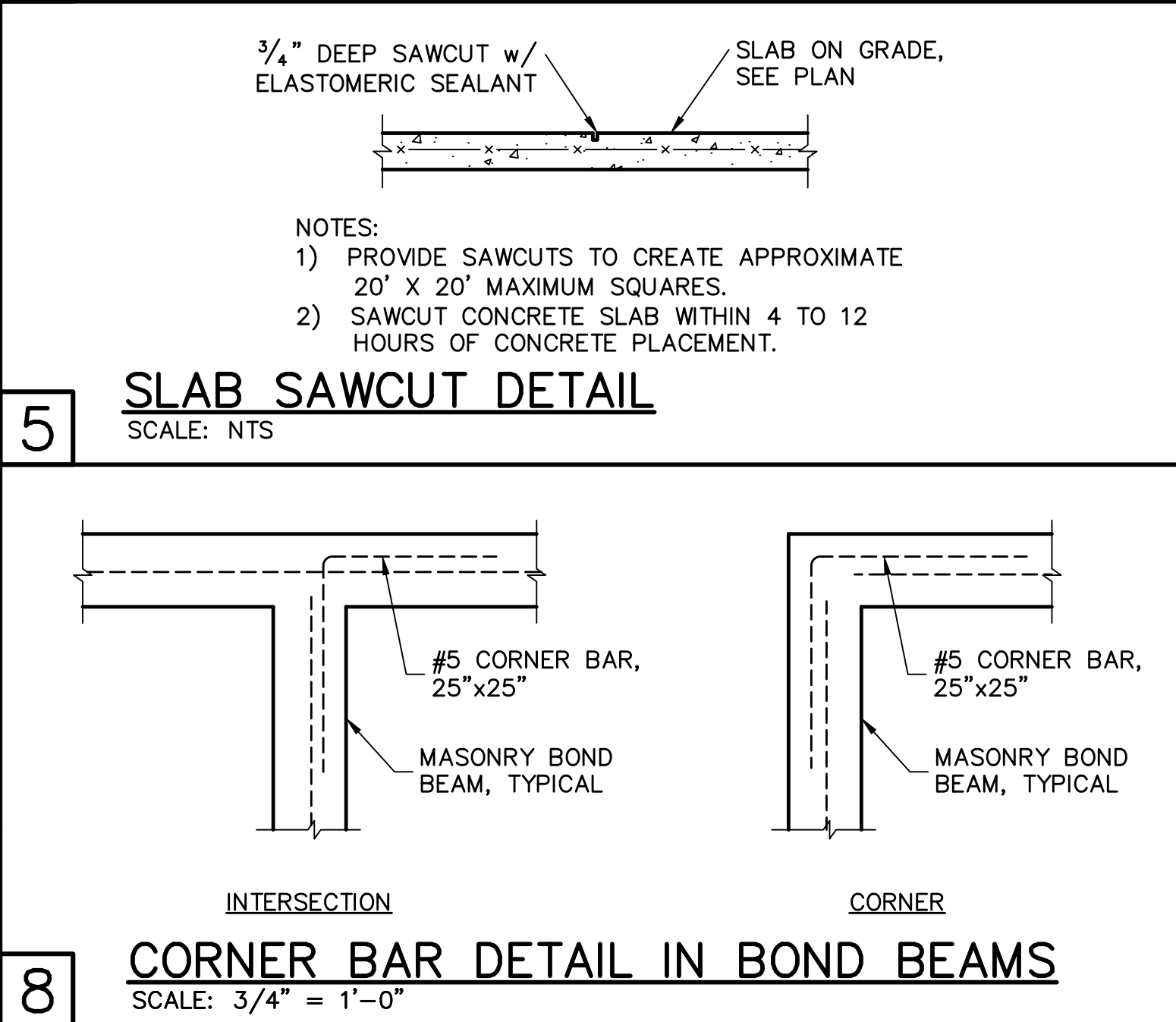
NOTES:
1) WHERE EMBEDDED STRAP IS MISSING OR MIS-LOCATED, PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.
2) CONNECTORS ARE USP. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS.
3) CONCRETE SCREW SHALL BE WEDGE-BOLT+, TITEN, TAPCON OR EQUIVALENT.

10 RETROFIT UPLIFT CONNECTOR SCHEDULE

SHEATHING SCHEDULE	
EXTERIOR STUD WALL	FLOOR
7/16" ZIP SYSTEM WALL SHEATHING BY HUBER ENGINEERED WOODS LLC, NAILED W/ 8d COMMON WIRE @ 6" O.C. EDGE AND 6" O.C. FIELD. PROVIDE 2x4 BLOCKING AT ALL JOINTS. INSTALL SHEATHING AND SEAM TAPE IN STRICT ACCORDANCE WITH MFR. WRITTEN INSTRUCTIONS.	N/A
ROOF	EXTERIOR CEILING AND SOFFIT
A.P.A. RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. FASTEN WITH 8d RING SHANK NAILS @ 6" O.C. EDGE AND 6" O.C. FIELD. (WHEN 1/2" ZIP BRAND ROOF SHEATHING IS USED, H-CLIPS ARE NOT REQUIRED) (RING SHANK NAILS PER R803.2.3.1: 0.113" NOMINAL SHANK DIAMETER, RING DIA. OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH)	OPTIONS: 1) 1x4 STRIPPING @ 16"OC w/ 2-8d NAILS TO EACH TRUSS, 5/8" EXTERIOR GYPBOARD CEILING, FASTEN W/8d NAILS OR 1 5/8" DRYWALL SCREWS @ 6"OC EDGE & FIELD. 2) 3/8" BC PLYWOOD NAILED w/ 6d COMMON @ 6" OC EDGE & FIELD. 3) VINYL OR ALUMINUM PERFORATED SOFFIT INSTALLED PER MANUFACTURER INSTRUCTIONS TO MEET WIND PRESSURES PER R703.1.2.1.

NOTE: EXTERIOR CEILINGS AND SOFFITS 1) AND 2) SPECIFIED HERE MEET THE DESIGN WIND PRESSURES PER R703.1.2.1.

2



DESIGN CRITERIA:
DESIGN IN ACCORDANCE WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL.

1. FLOOR & ROOF UNIFORM LOADS:
ROOF: LIVE TOP CHORD 20 PSF
LIVE BOTTOM CHORD 10 PSF (NON-CONCURRENT w/ TOLL)
SHINGLE/METAL ROOFING DEAD LOAD 15 PSF TOTAL
MINIMUM DEAD LOAD FOR WIND: TC 5 PSF, BC 5 PSF
DEFLECTION CRITERIA:
ROOF L/240 LIVE, L/180 TOTAL

2. WIND LOADS:
WIND DESIGN PER: ASCE7-10
BASIC WIND SPEED (ASCE7-10) 160 MPH
NOMINAL WIND SPEED (Vasd TABLE R301.2.1.3) 124 MPH
BUILDING CATEGORY II
IMPORTANCE FACTOR 1.00
EXPOSURE C
MEAN ROOF HEIGHT = 15 FT
ROOF PITCH 5/12
ENCLOSURE CLASS ENCLOSED
INTERNAL PRES. COEFF. +/- 0.18
WINDOW/DOOR DESIGN WIND PRESSURE, SEE TABLE IN DETAIL 3.
SOFFITS - PER R703.1.2.1, ALL SOFFITS SHALL BE CAPABLE OF RESISTING THE DESIGN PRESSURES SPECIFIED IN TABLE R301.2(2) FOR WALLS.

3. REINFORCED CONCRETE:
DESIGN AS PER ACI 318-14
REQUIRED COMPRESSIVE STRENGTH AT 28 DAYS:
SLAB ON GRADE f'c = 2500 PSI
3/4" MINIMUM THICKNESS REINFORCED WITH 6x6 w/1.4xw1.4 WWF OR FIBERMESH.
CONVENTIONAL SHALLOW FOOTINGS f'c = 2500 PSI
BEAMS AND COLUMNS f'c = 3000 PSI
ALL OTHER CONCRETE (U.N.O.) f'c = 3000 PSI
UNLESS OTHERWISE SHOWN ON DRAWINGS, MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS:
FOOTINGS 3"
SLAB ON GRADE CENTERED
BEAMS 1 1/2"
COLUMNS 1 1/2"
ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE TYPICAL BENDING DIAGRAMS AND PLACING DETAILS OF ACI STANDARDS AND SPECIFICATIONS. ALL REINFORCING STEEL SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE.
REINFORCING STEEL - ASTM A615 GRADE 40 FOR #3
GRADE 60 FOR #4 TO #11
WELDED WIRE FABRIC - ASTM A185
SPICES IN REINFORCING, SHALL BE 40 BAR DIAMETERS, NON-CONTACT LAP SPICES MAY BE USED PROVIDED REINFORCING IS NOT SPACED MORE THAN 5" APART FOR #5 BARS.
FORMWORK AND SHORING SHALL REMAIN IN PLACE UNTIL CONCRETE HAS REACHED AT LEAST 2/3 OF THE REQUIRED 28 DAY STRENGTH.

4. REINFORCED MASONRY:
DESIGN PER ACI 530-13
REQUIRED COMPRESSIVE STRENGTHS:
MASONRY WALLS f'm = 1500 PSI
REINFORCING STEEL - ASTM A615 GRADE 60.
SPICES IN REINFORCING, SHALL BE 48 BAR DIAMETERS.
ALL CONCRETE MASONRY UNITS SHALL BE COMPOSED OF ASTM C90, GRADE N-1 HOLLOW CONCRETE MASONRY UNITS WITH TYPE "S" MORTAR. GROUT ALL CELLS CONTAINING VERTICAL REINFORCEMENT WITH 3000 PSI PEA ROCK CONCRETE GROUT. ALL CELLS BELOW FINISHED GRADE SHALL BE GROUTED SOLID. ALL EXTERIOR WALLS SHALL BE REINFORCED FULL HEIGHT AT DOT LOCATIONS ON PLAN.

5. DELEGATED-ENGINEERED WOOD ROOF TRUSSES:
ALL WOOD ROOF TRUSSES SHALL BE DESIGNED BY A DELEGATED TRUSS ENGINEER PER RULE 61G15-31.003 OF THE FLORIDA ADMINISTRATIVE CODE. ALL TRUSSES SHALL HAVE TEMPORARY BRACING PER "COMMENTARY" AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, HIB-91." FOR OTHER BRACING REQUIREMENTS, NOTIFY ENGINEER. PROVIDE PERMANENT BRACING PER TRUSS MFR. SHOP DRAWINGS. IF PERMANENT BRACING IS NOT SPECIFIED, CONTACT ENGINEER.

6. FOUNDATION:
CONVENTIONAL SHALLOW CONCRETE FOOTINGS
SOIL BEARING CAPACITY
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL CONDITIONS FOR THE INTENDED STRUCTURE AND ASSUMED SOIL BEARING CAPACITY. IT IS RECOMMENDED THAT A GEOTECHNICAL FIRM BE HIRED TO PERFORM A SITE EVALUATION.

7. DIMENSIONS: VERIFY ALL DIMENSIONS WITH HOUSE PLANS. SEE HOUSE PLANS, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. WHICH ARE NOT SHOWN ON STRUCTURAL DRAWINGS.

8. MEANS AND METHODS: THE STRUCTURAL ENGINEER SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, OR SEQUENCES. TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO SUPPORT STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CONSTRUCT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

9. SHOP DRAWINGS: SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED TO THE ENGINEER FOR REVIEW FOR ALL STRUCTURAL ELEMENTS UTILIZING PREFABRICATED COMPONENTS. ONE SET OF SIGNED & SEALED TRUSS ENGINEERING SHALL BE DELIVERED TO THE ENGINEER OF RECORD FOR THE STRUCTURE PER FLORIDA ADMINISTRATIVE CODE 61G15-30.005 AND 61G15-31.003.

REVISIONS

NO.	DESCRIPTION	DATE

STRUCTURAL ENGINEERING:
STRUCTURAL SYSTEMS OF NORTH FLORIDA
1834 S.E. 47th STREET, SUITE #2
CAPE CORAL, FL 33904
(239) 549-4554
CA# 8629

DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL

BUILDER:
D.R. HOHON • PH
America's Builder

STRUCTURAL DETAILS
MODEL 1499 A
3688 PEBBLE TERRACE
PORT CHARLOTTE, FLORIDA
LOT: 53 SUBDIVISION: RIVER CLUB

DESIGN/DRAWN
DWB/DWB
CHECKED
DWB
DATE
10/03/19
SCALE
VARIES
JOB NO.
DR10926
SHEET

S-3

SHEET 3 OF 3