

**\*\*UNLESS NOTED\*\***  
REACTION VALUES ARE UNDER 5000#  
UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24"o.c. UNLESS NOTED OTHERWISE  
\*\*\*\*\*CAUTION\*\*\*\*\*  
DO NOT ATTEMPT TO ERECT TRUSSES WITH-  
OUT REFERRING TO THE ENGINEERING DWGS.  
IT IS NECESSARY TO REFER TO THE ENGINEERING  
DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION,  
ORIENTATION AND WEB BRACING  
REFER TO WTCA/TPI BSCI-B1 SUMMARY  
SHEET FOR HANDLING METHODS & TEMPORARY  
BRACING, WHICH IS ALWAYS REQUIRED  
BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA  
CORP. "+/-" BEARING DIFFERENCES SHOWN ARE CRITICAL.  
IF ANY HEIGHTS DEVIATE - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS		
	0'-0"	ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

HANGER SCHEDULE		
(C) USP HUS 26	(M) USP THDH 28-3	
(F) USP HUS 28	(N) USP THD 48	
(H) USP THDH 28	(P) USP JUS 24	
(I) USP THDH 28-2	(B) USP MSH 422	
(W) USP HJC 26	(X)	
HANGER VALUES HAVE BEEN BASED ON 16D COMMON NAILS EXCEPT THE FOLLOWING LUS24 - 10D COMMON THJA26 - 10D x 1-1/2		

\*\*\*\*\*ATTENTION\*\*\*\*\*  
APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY  
BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS,  
PITCHES, OVERHANGS, ELEVATIONS, CEILING &  
BEARING CONDITIONS. SCOSTA CORPORATION IS  
RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH  
PLANS AND/OR INFORMATION PROVIDED BY  
CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN.  
CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF  
INFORMATION AND PLANS PROVIDED TO SCOSTA  
CORPORATION, AND TO VERIFY CONFORMANCE TO  
FIELD CONDITIONS, AND/OR OWNER CHANGES.  
TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE  
APPROVED LAYOUT.  
APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_ REQUESTED DELIVERY DATE: \_\_\_\_\_  
JOBSITE CONTACT NAME: \_\_\_\_\_  
PHONE #: \_\_\_\_\_  
E-MAIL: \_\_\_\_\_

SCOSTA CORP.

WOOD, STEEL OR TIMBER  
ROOF & FLOOR TRUSSES

3670 COMMERCE CENTER DRIVE  
SEBRING, FL 33870  
(863) 385-8242

SCALE:  
1/4"=1'-0"

DATE:  
05/24/18

REVISED BY:  
KD 09/15/18

DRAWN BY:  
KRISTY

JOB ADDRESS:  
1499 A  
GARAGE RIGHT  
LEE

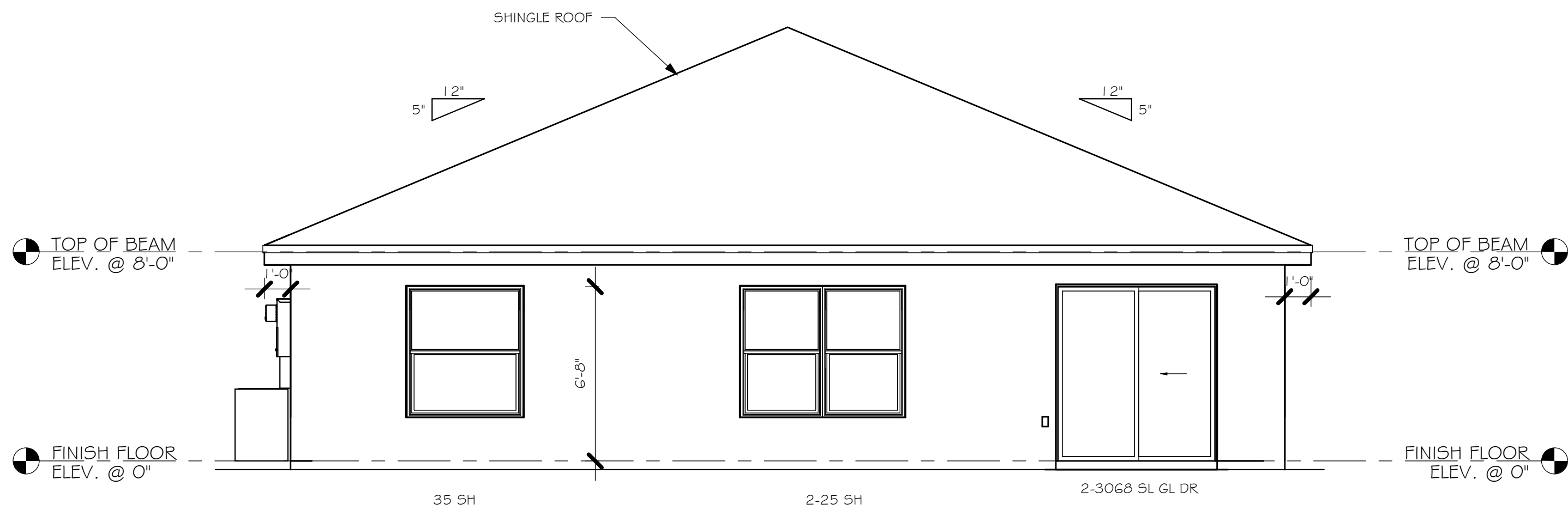
1 of 1

CUSTOMER:  
D.R. HORTON

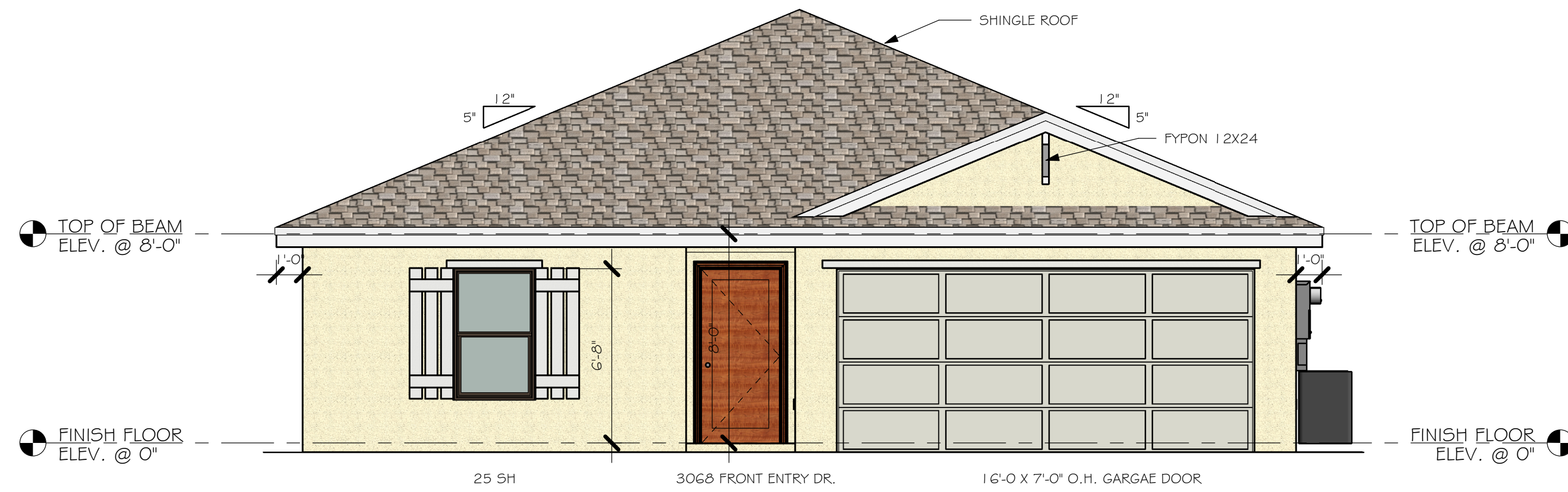
JOB #  
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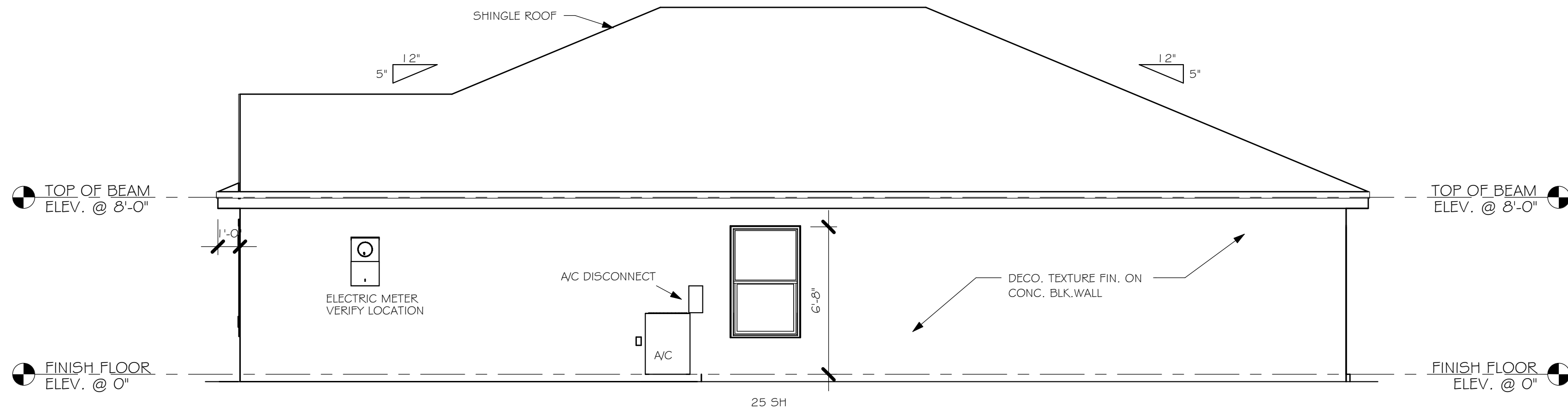
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BLK 8040 1499 AR\REVIT\10946 1499 AR.rvt



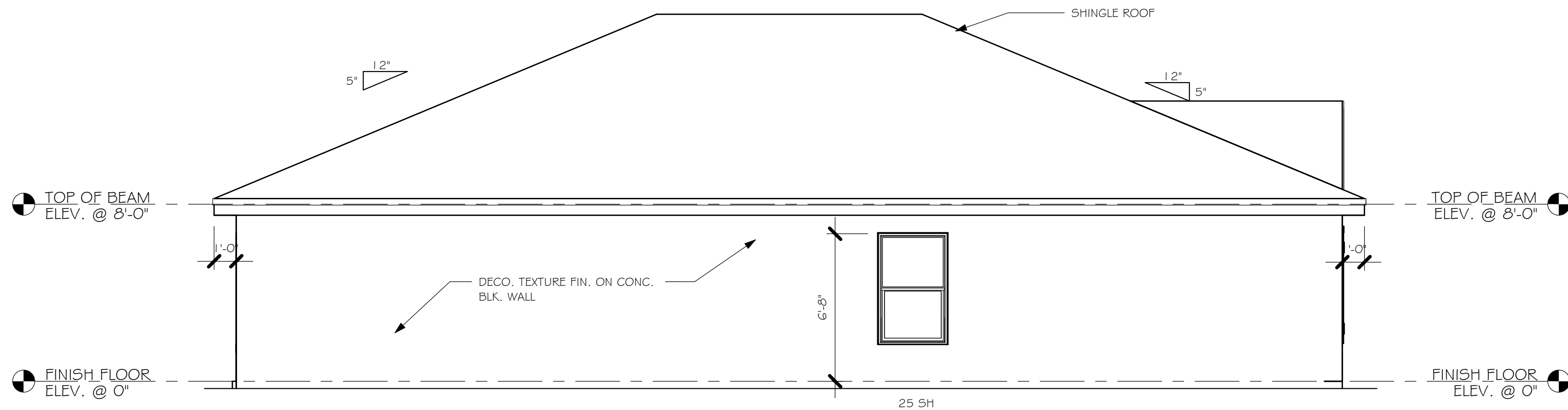
REAR ELEVATION  
1/4" = 1'-0"



FRONT ELEVATION  
1/4" = 1'-0"



RIGHT ELEVATION  
1/4" = 1'-0"



LEFT ELEVATION  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION



Gulf Coast  
Drafting & Design, Inc.  
EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-8223  
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 87  
SUBDIVISION: ENTRADA 505  
ADDRESS: 2712 TARRAGONA CT  
D.R.H. #: 579030223

MODEL  
#1499 A  
GCD JOB # 10946

DATE: 07/26/19

DRAWN BY: JSL

CHECKED BY: JWC

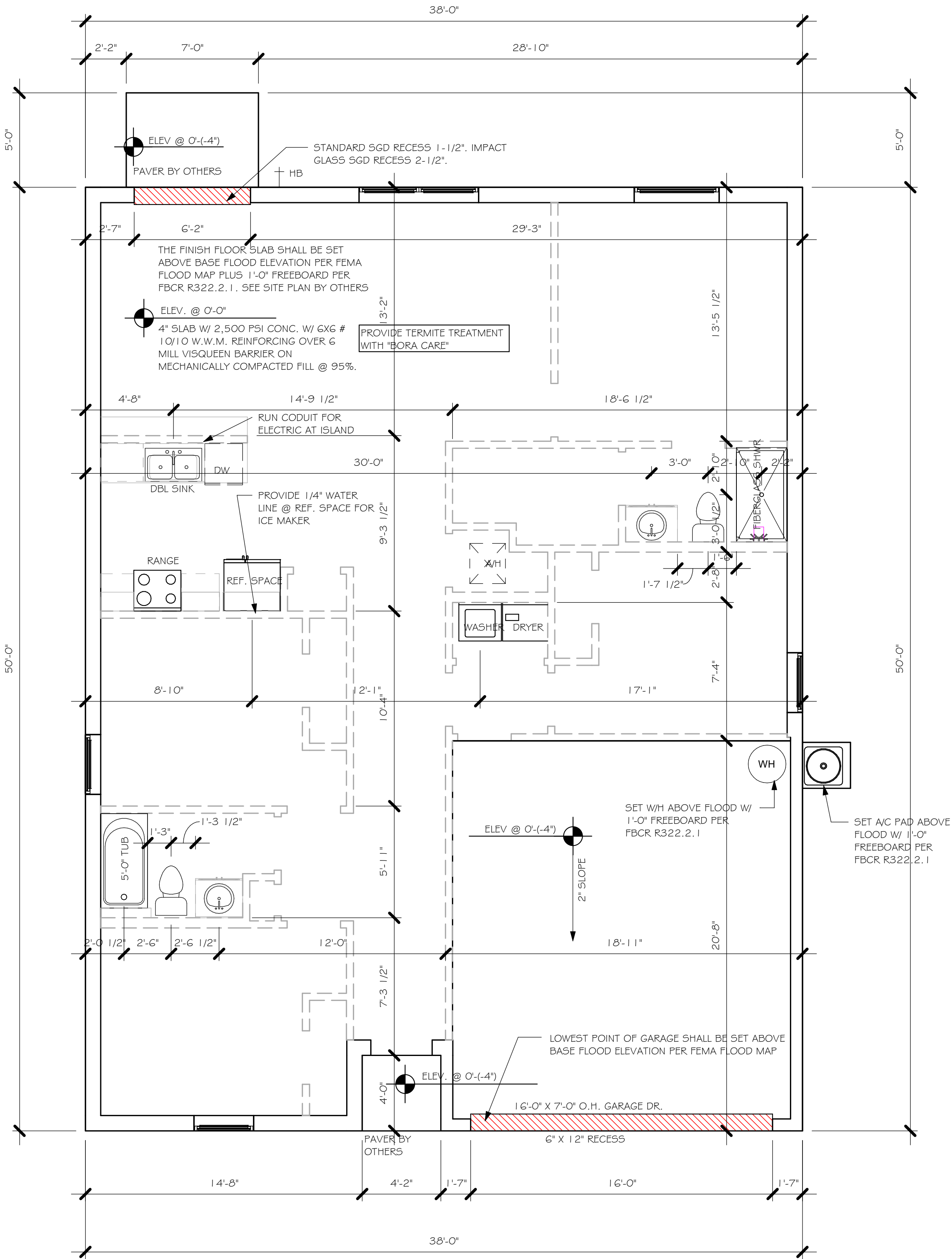
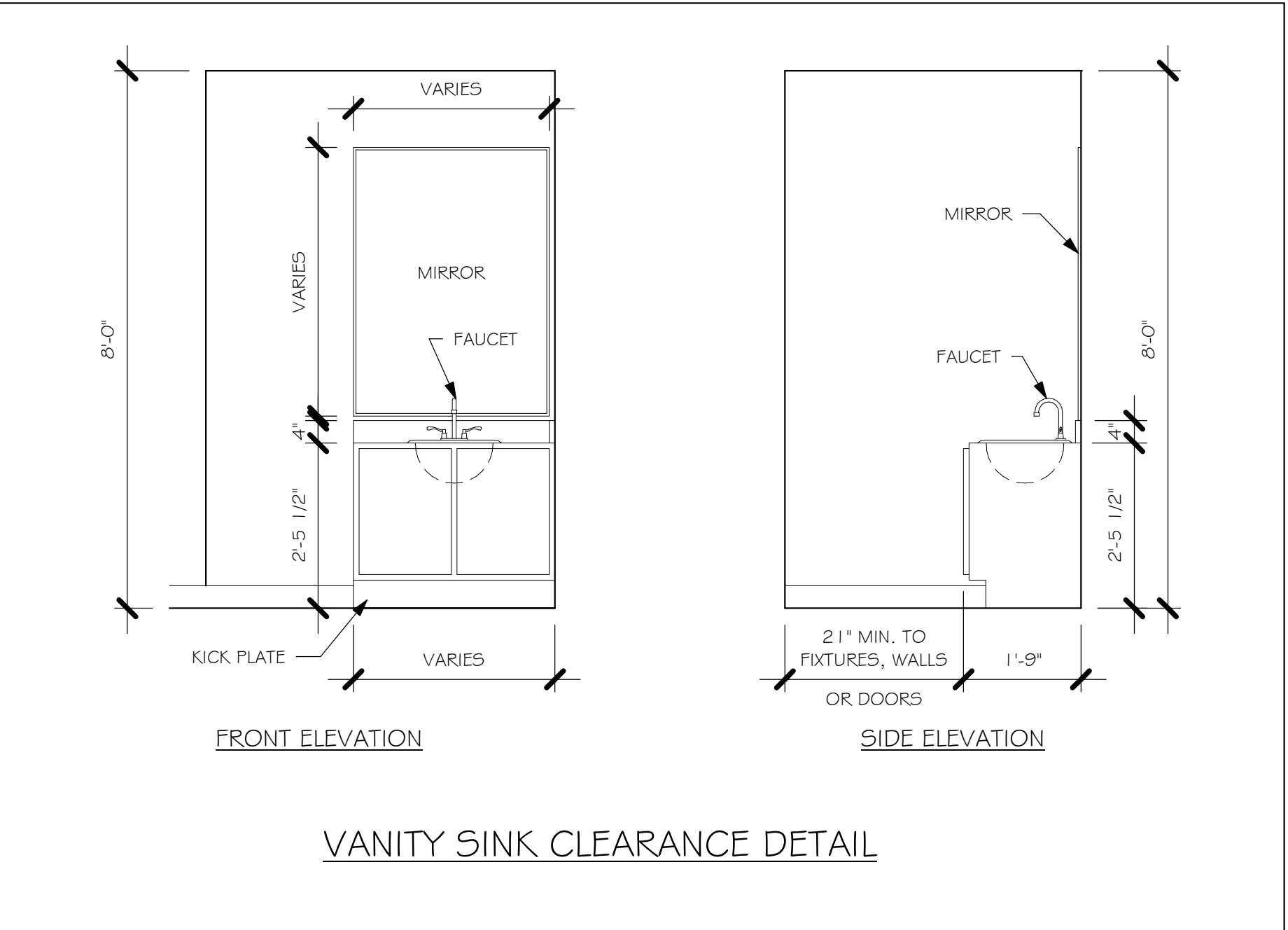
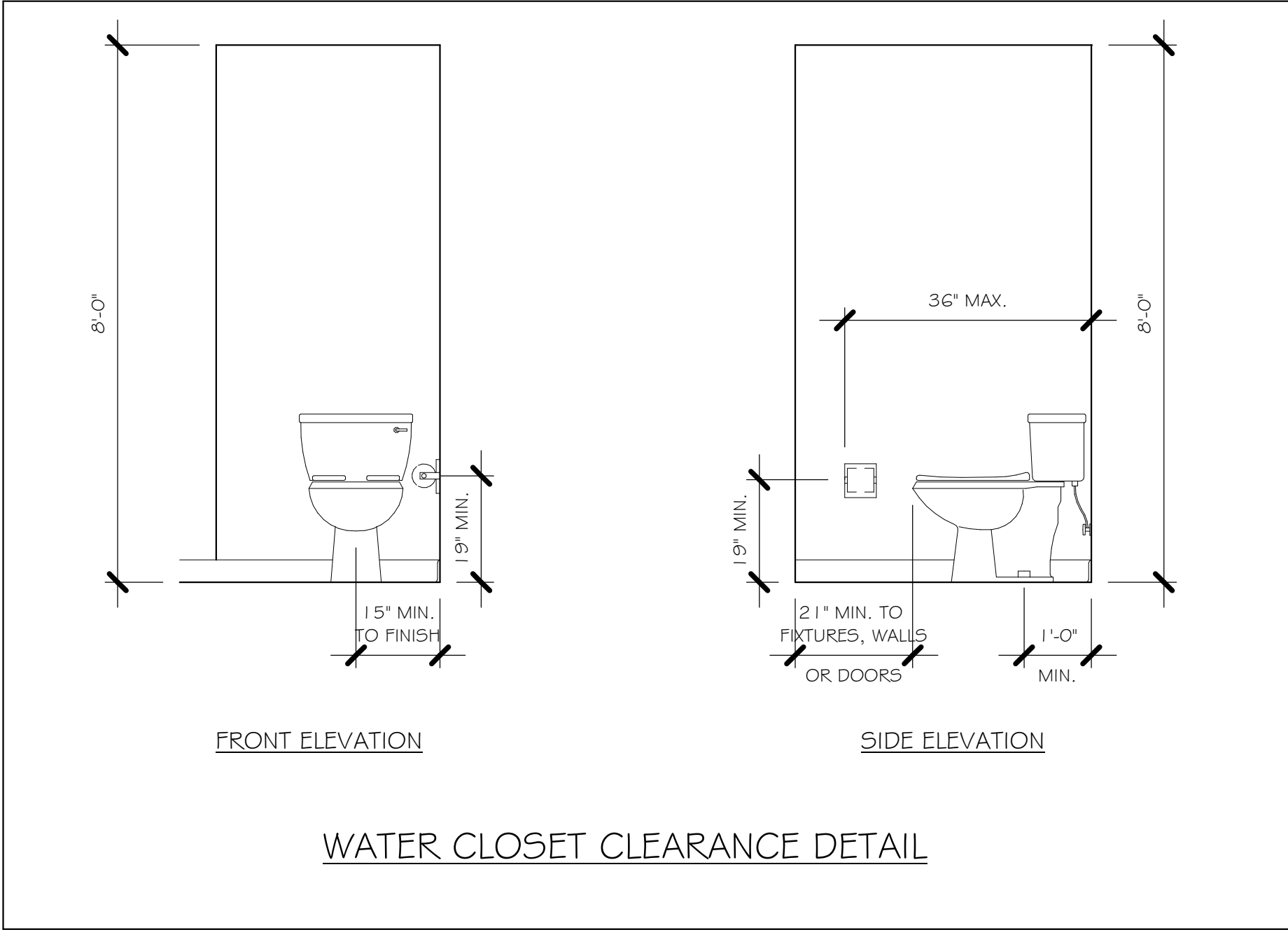
REVISED:

PLAN: ELEVATION

SCALE: 1/4" = 1'-0"

A-1





SLAB PLUMBING  
1/4" = 1'-0"

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BLK 8040 1499 AR\REVIT\10946 1499 AR.rvt

DOOR SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COUNT
1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	2-3068 SL. GL. DR.	DISTINCTION	6'-8"	6'-0"	1
3	16080 OHGD	GARAGE	7'-0"	16'-0"	1

WINDOW SCHEDULE				
MARK	DESCRIPTION	HEIGHT	WIDTH	COUNT
A	2-25 SH	5'-3"	6'-4"	1
B	25 SH	5'-3"	3'-2"	3
D	35 SH	5'-3"	4'-6"	1

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

PLAN NOTES	
1)	VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
2)	PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
3)	PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
4)	NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
5)	PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
6)	KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
7)	INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
8)	WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" 5/8" RESISTANT PER SEC. 702.3.5
9)	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD OR EQUIVALENT
10)	INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5.
11)	ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH RG12.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PRVENTION DEVICE
12)	ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.

INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	B.P. = BI-PASS DOOR
4	2'-4"	
5	2'-0"	L.V. = LOUVERED DOOR
6	1'-8"	
7	1'-6"	
8	2'-11"	

SQUARE FOOTAGE	
LIVING AREA	1499
GARAGE AREA	385
FRONT PORCH/ ENTRY AREA	16
TOTAL SQUARE FOOTAGE	1,900

BATHROOM NOTES	
TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS

3'-2"

TOWEL BAR

4'-0"

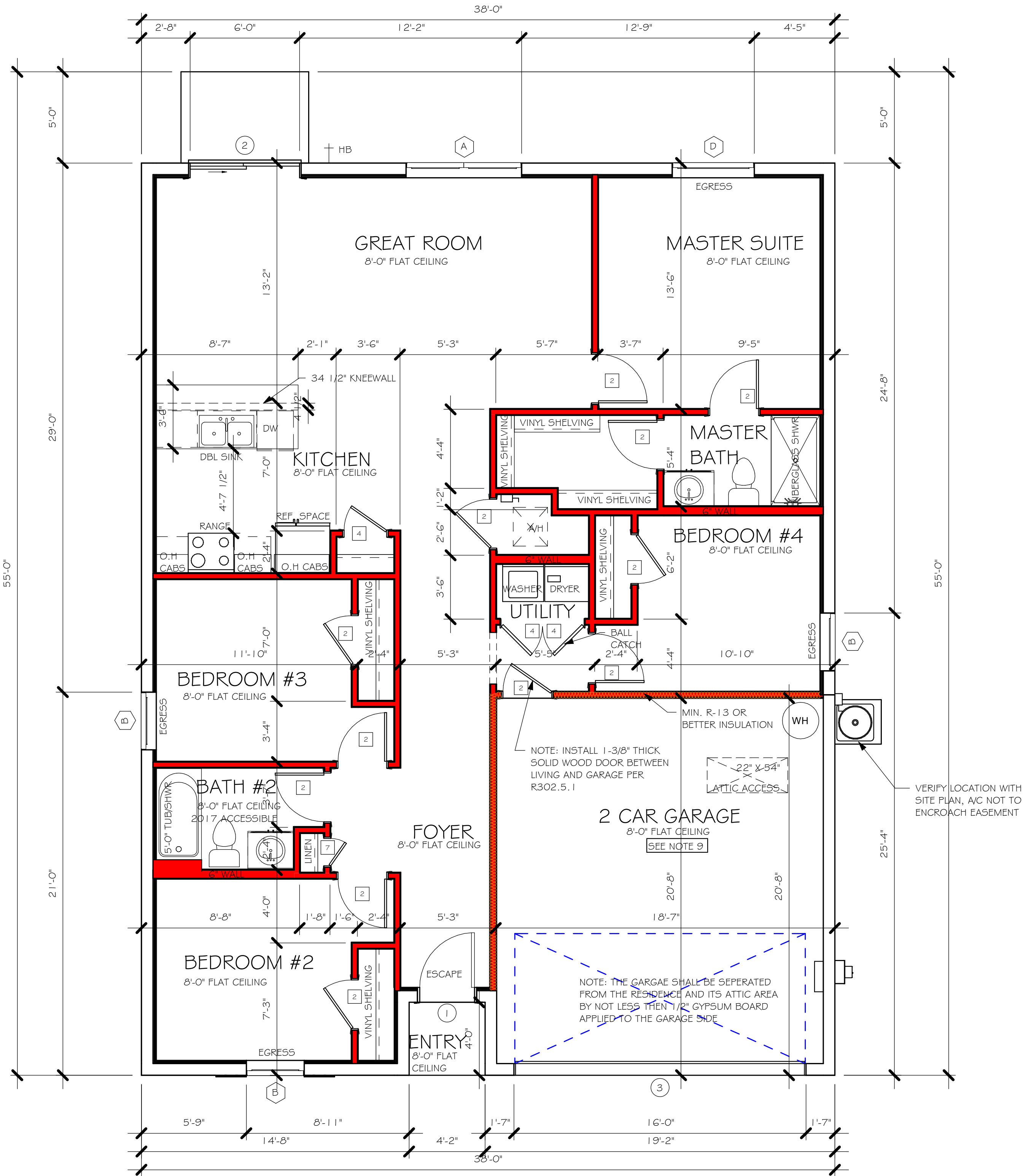
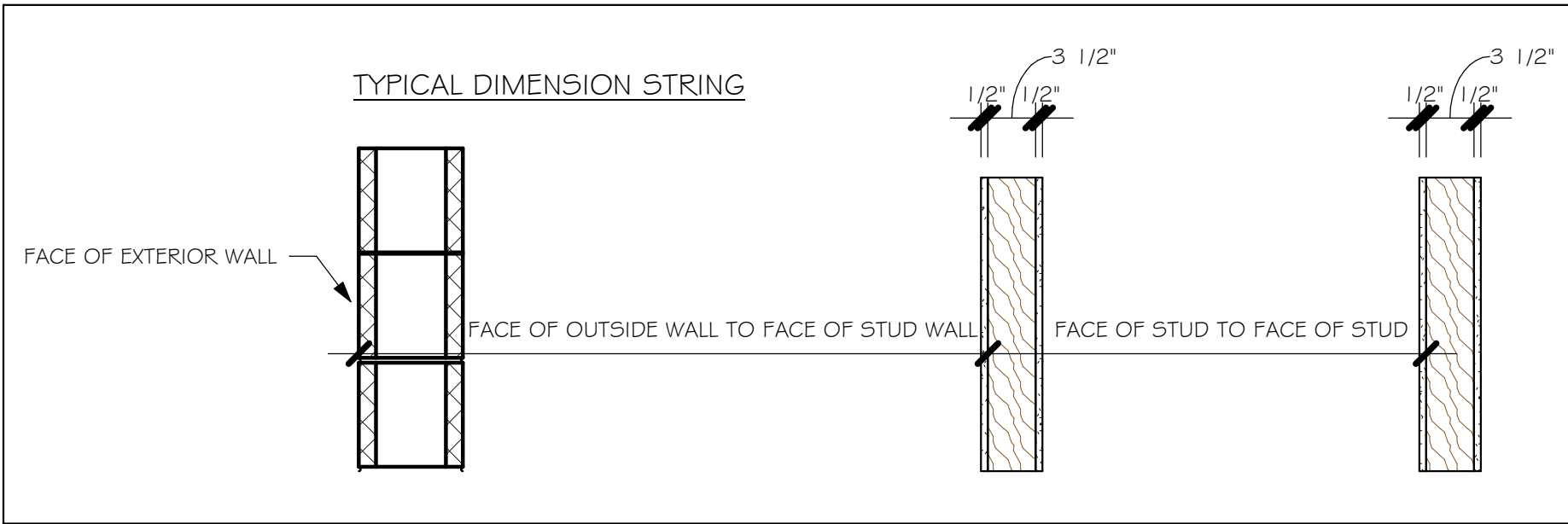
2'-4"

TOILET PAPER ROLL

1'-5"

MIN MIN

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE



FLOOR PLAN  
1/4" = 1'-0"

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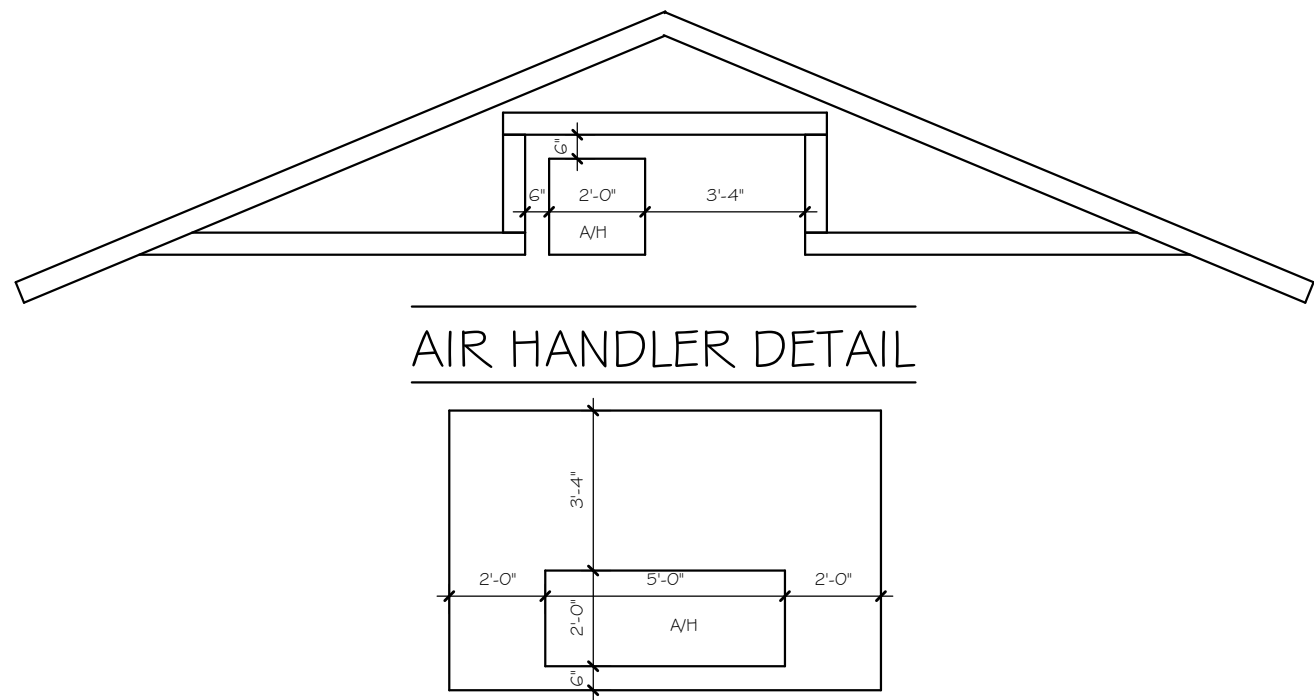
LOT: 87	BLOCK: 8040
SUBDIVISION: ENTRADA 505	
ADDRESS: 2712 TARRAGONA CT	
D.R.H. #: 579030223	

MODEL # 1499 A	GCD JOB # 10946
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DATE:	07/26/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	
PLAN:	FLOOR
SCALE:	As indicated



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BLK 8040 1499 AR\REVIT\10946 1499 AR.rvt



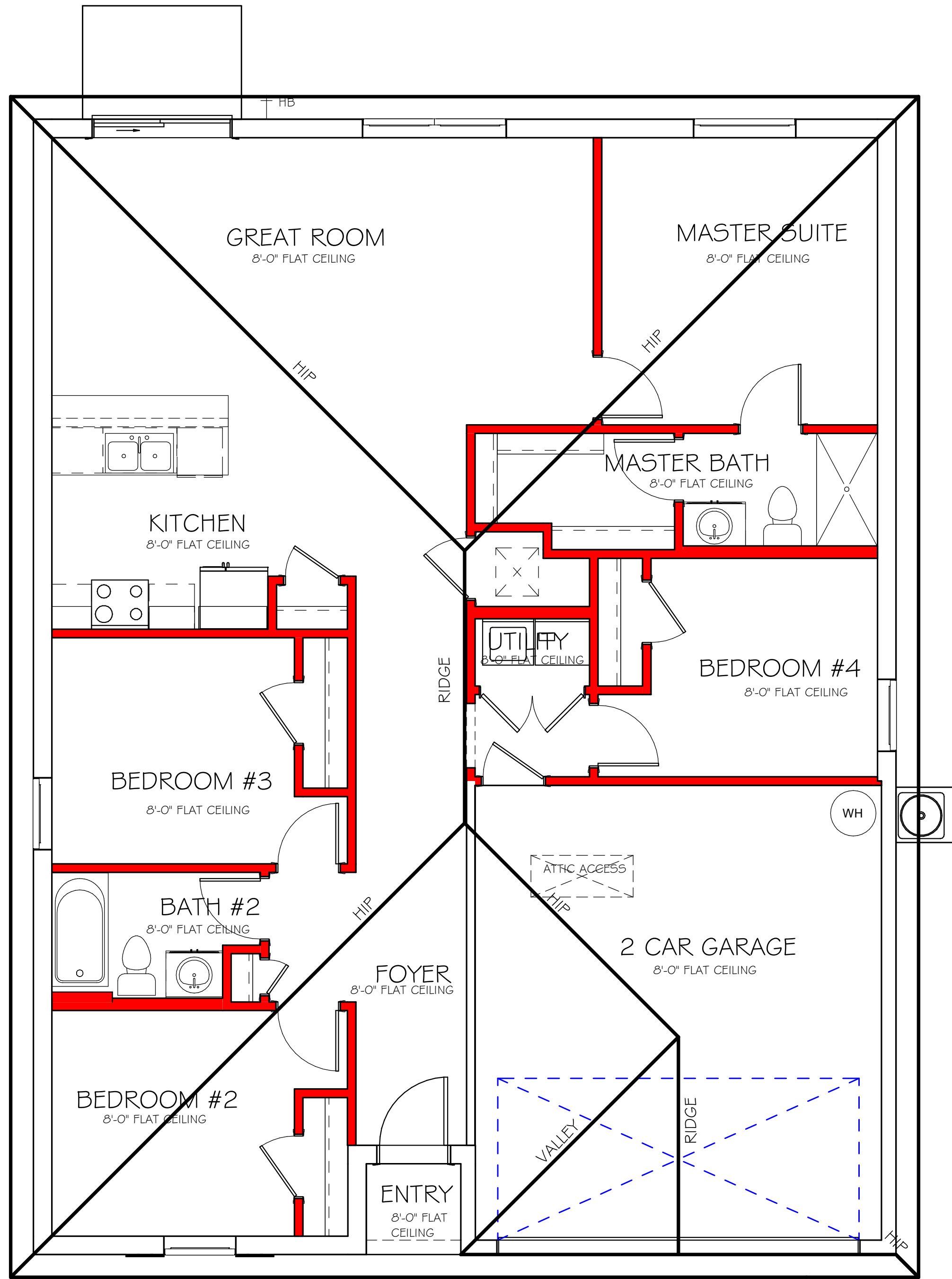
### MODEL 1499 A: ATTIC VENTILATION FBCR R806

COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS

AREAS (SQ. FT.)			SOFFIT ONLY (1/150) (NO ROOF VENTS)			WITH ROOF VENTS (1/300) (R.V.)		
ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED		
MARK	ATTIC	SOFFIT	ATTIC AREA/150	REQD AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT
1st STORY	2080.0 SQ. FT.	180.0 SQ. FT.	13.87 SQ. FT.	7.71%	8.15%	~ SQ. FT.	-	~%
"SOFFIT ONLY" QUALIFIES			ROOF VENTS ARE NOT REQUIRED					
SOFFIT MODEL			ROOF VENT MODEL					
ACM QUAD 4: FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW			32" BASE 22.3/6" BASE LOMANCO 770-D 0.97 SQ. FT. FREE AIR					

BEARING HEIGHT

= BEARING @ 8'-0"



ROOF PLAN

1/4" = 1'-0"

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**Gulf Coast**  
Drafting & Design, Inc.  
EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-1822  
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 87

BLOCK: 8040

MODEL

DATE:

DRAWN BY:

CHECKED BY:

REVISED:

PLAN:

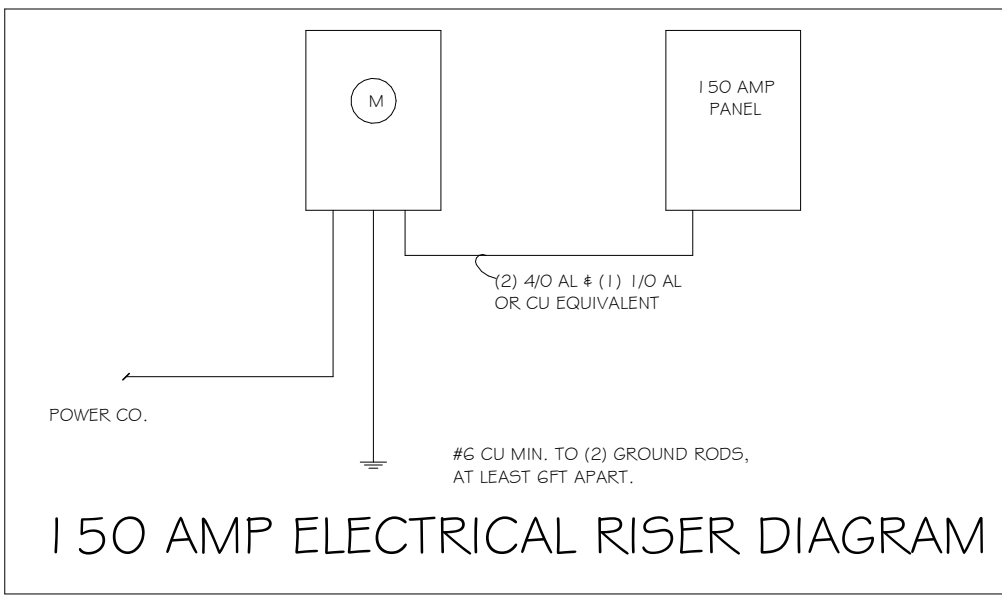
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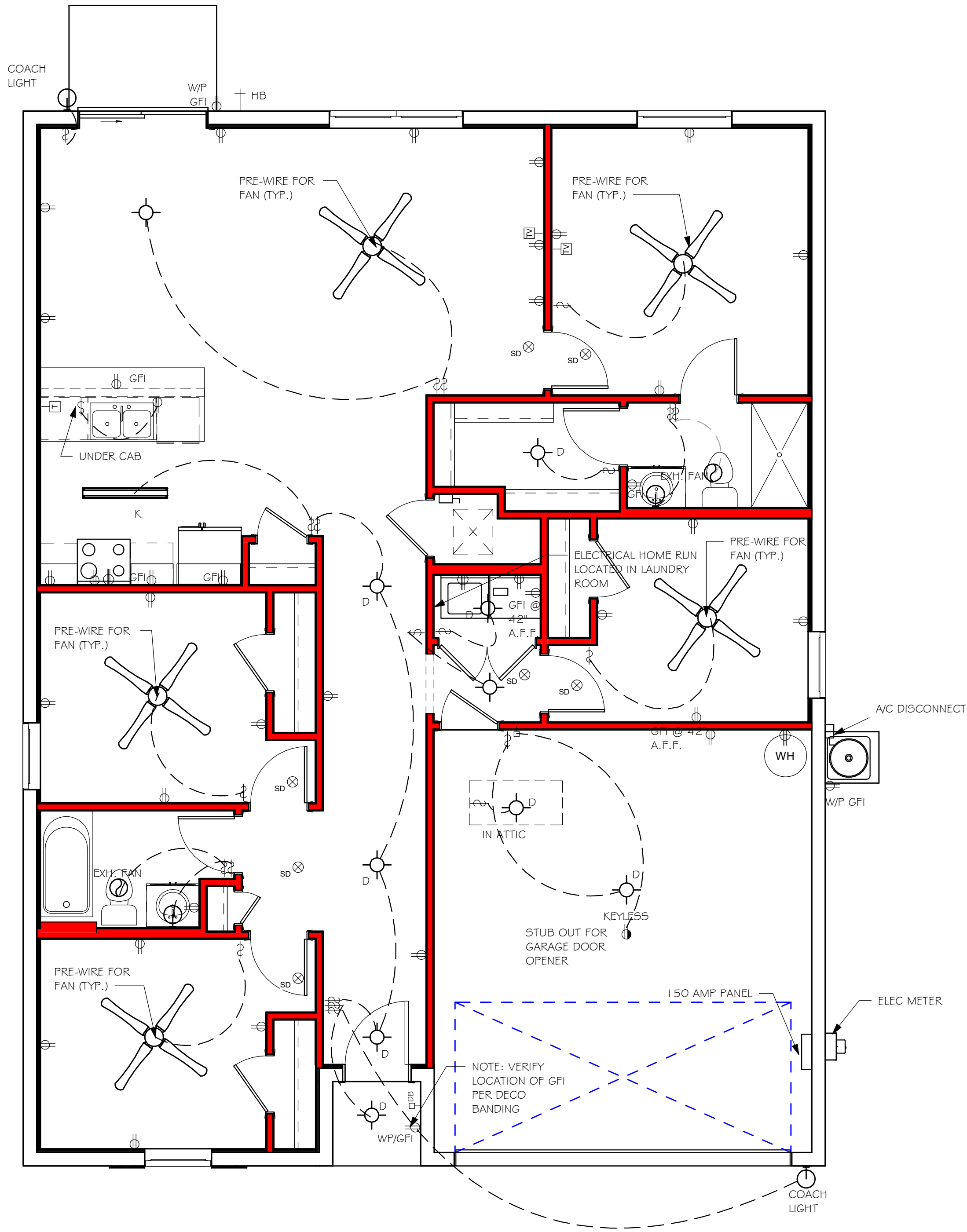


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ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE AT ELEV. A.F.F.
	DUPLEX RECEPTACLE - ABOVE COUNTER
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES, PER RULE 9B-3.04.72 SD (SMOKE DETECTOR) SCD (CARBON MONOXIDE/ SMOKE DETECTOR)
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	RECESSED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON (FB) / DOOR BELL (DB)
	INTERCOM
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT
NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.	
ELECTRICAL NOTES:	
ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.1.1	
ALL ELECTRICAL EQUIPMENT TO BE SET AT OR ABOVE BASE FLOOD ELEVATION.	
ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S.	
INSTALL PHONE AND T.V PER CONTRACT.	
INSTALL ALL ELECTRICAL PER NEC 2014	



ELECTRICAL PLAN		
150 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(X)	(RECESSED CANS)
B	(X)	(VAPORS)
C	(X)	(PENDANT LIGHT
D	(9)	(10" MUSHROOMS)
E	(2)	(24" 3 LT)
F	(X)	(36" LT)
G	(X)	(NOT USED)
H	(2)	(COACH LIGHTS)
I	(X)	
J	(X)	(J BOX)
K	(1)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(SLT CHANDELIER)
N	(X)	(3 LT.)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)



ELECTRICAL PLAN  
1/4" = 1'-0"

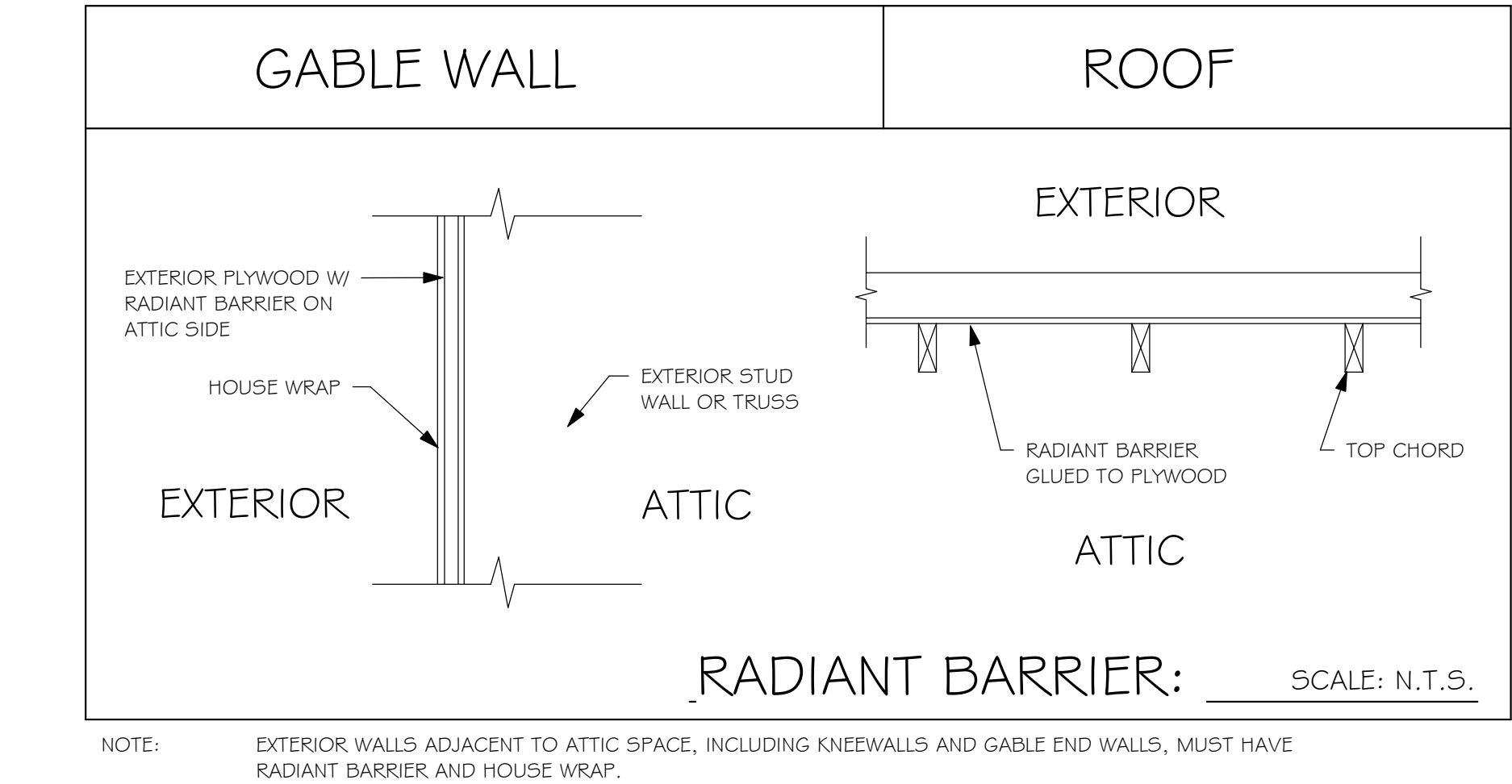
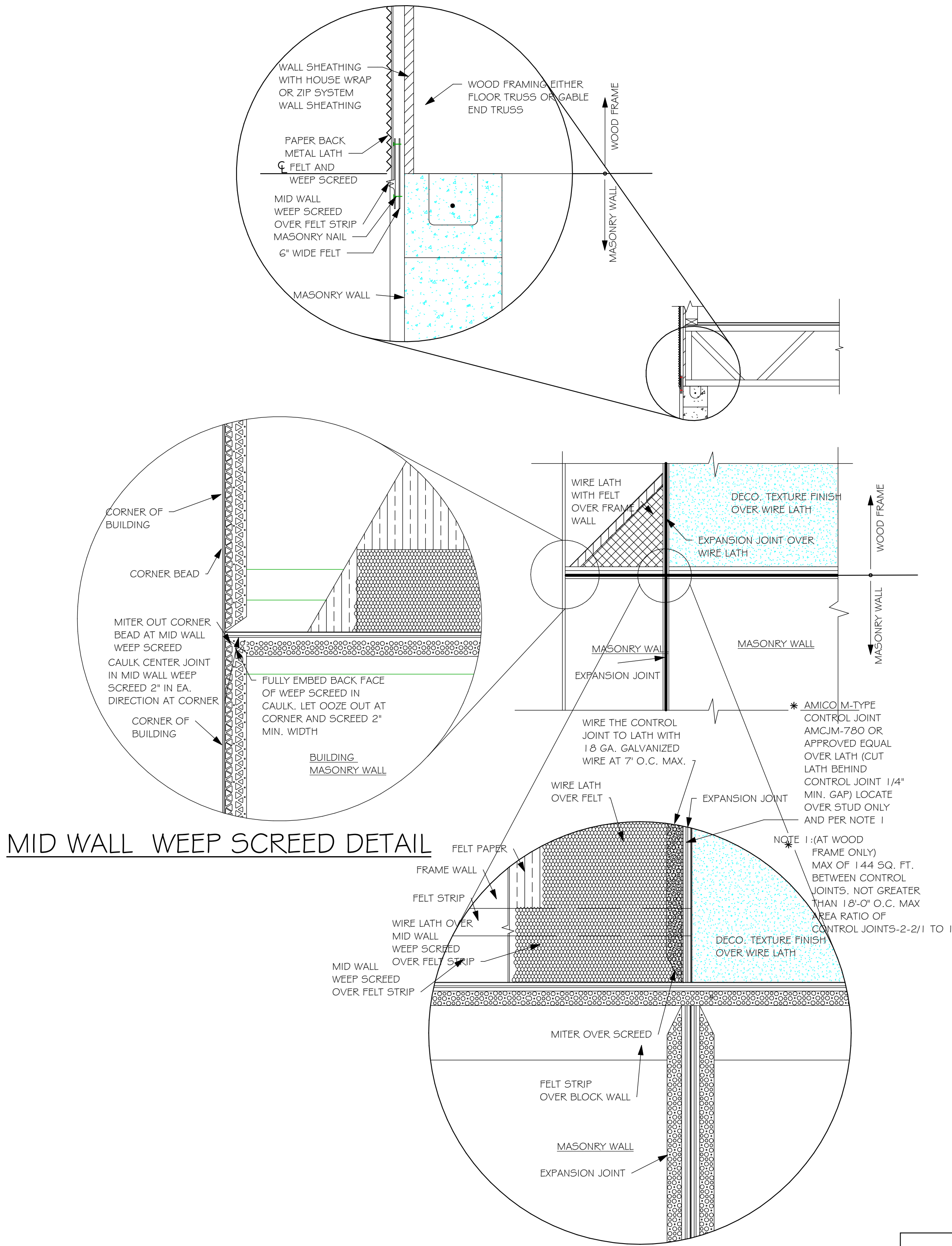
DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION

EMAIL: [PLANS@GULFCOASTDRAFTING.COM](mailto:PLANS@GULFCOASTDRAFTING.COM)  
PHONE: 239-540-1822  
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 87	BLOCK: 8040	MODEL	DATE:
SUBDIVISION: ENTRADA 505		# 1499 A	07/26/19
ADDRESS: 2712 TARRAGONA CT		GCD JOB # 10946	DRAWN BY: JSL
D.R.H. #: 579030223			CHECKED BY: JWC
			REVISED:
			PLAN: ELECTRICAL
			SCALE: As indicated
			A-5

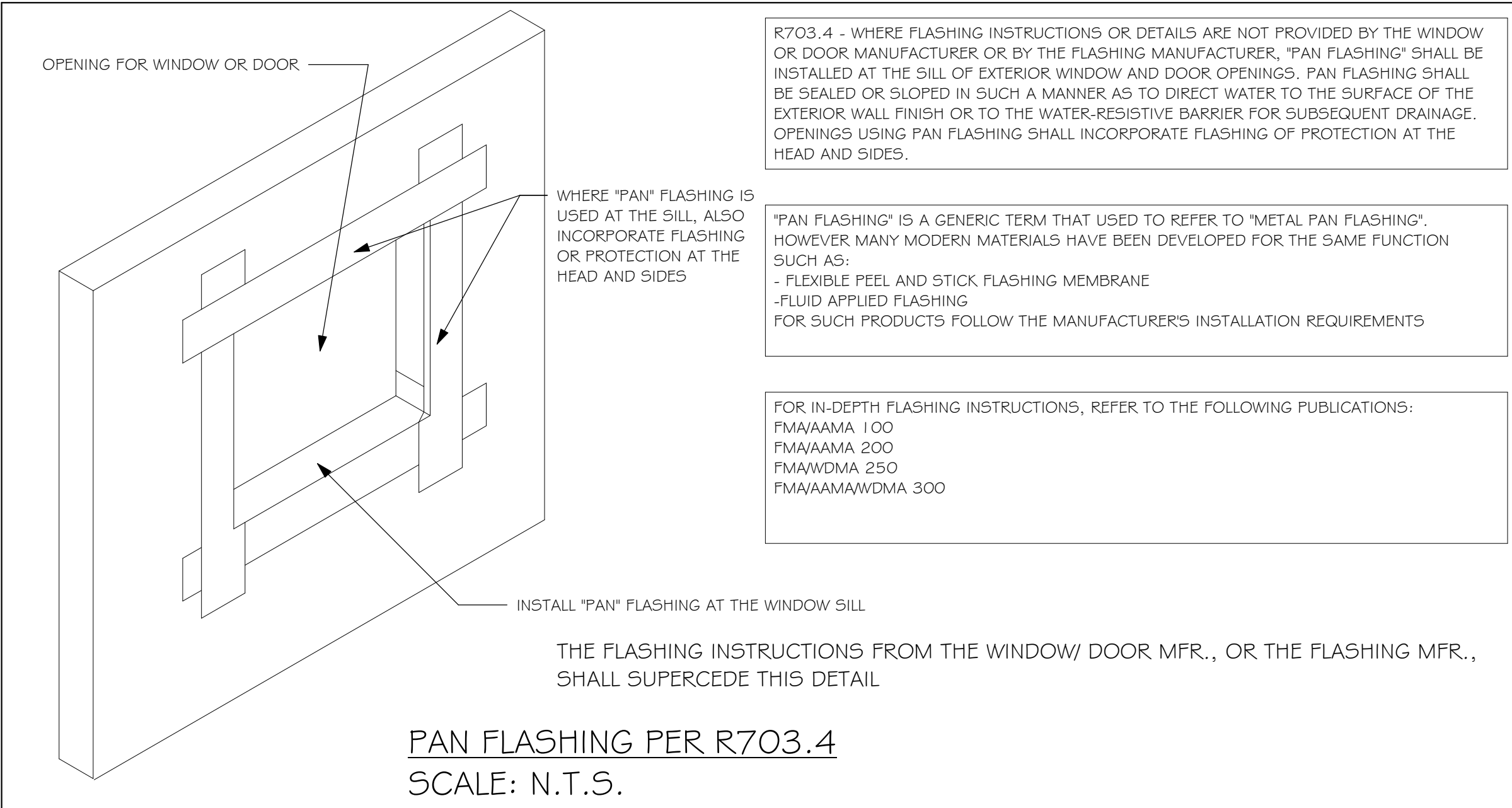


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BLK 8040 1499 AR\REVIT\10946 1499 AR.rvt



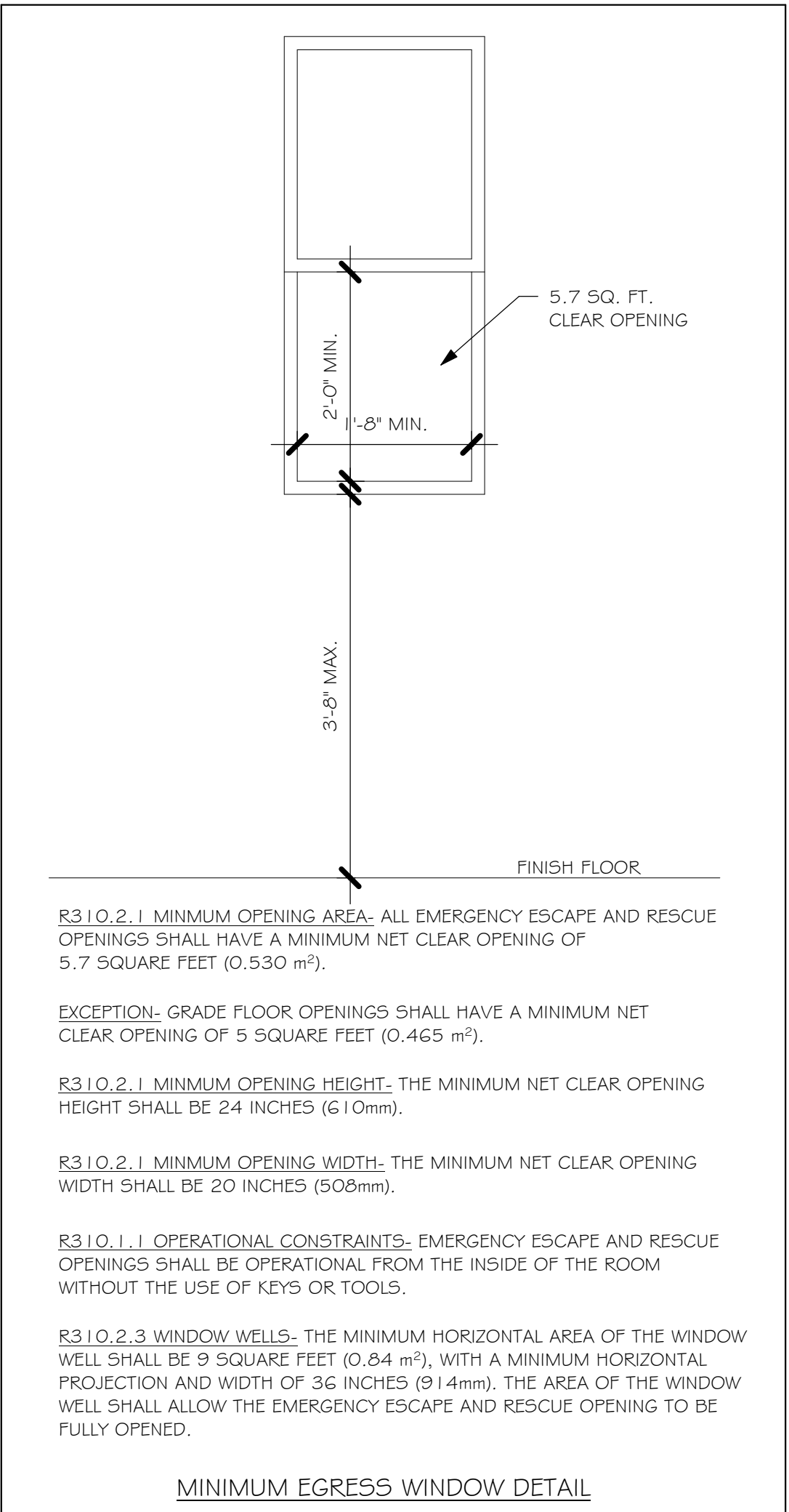
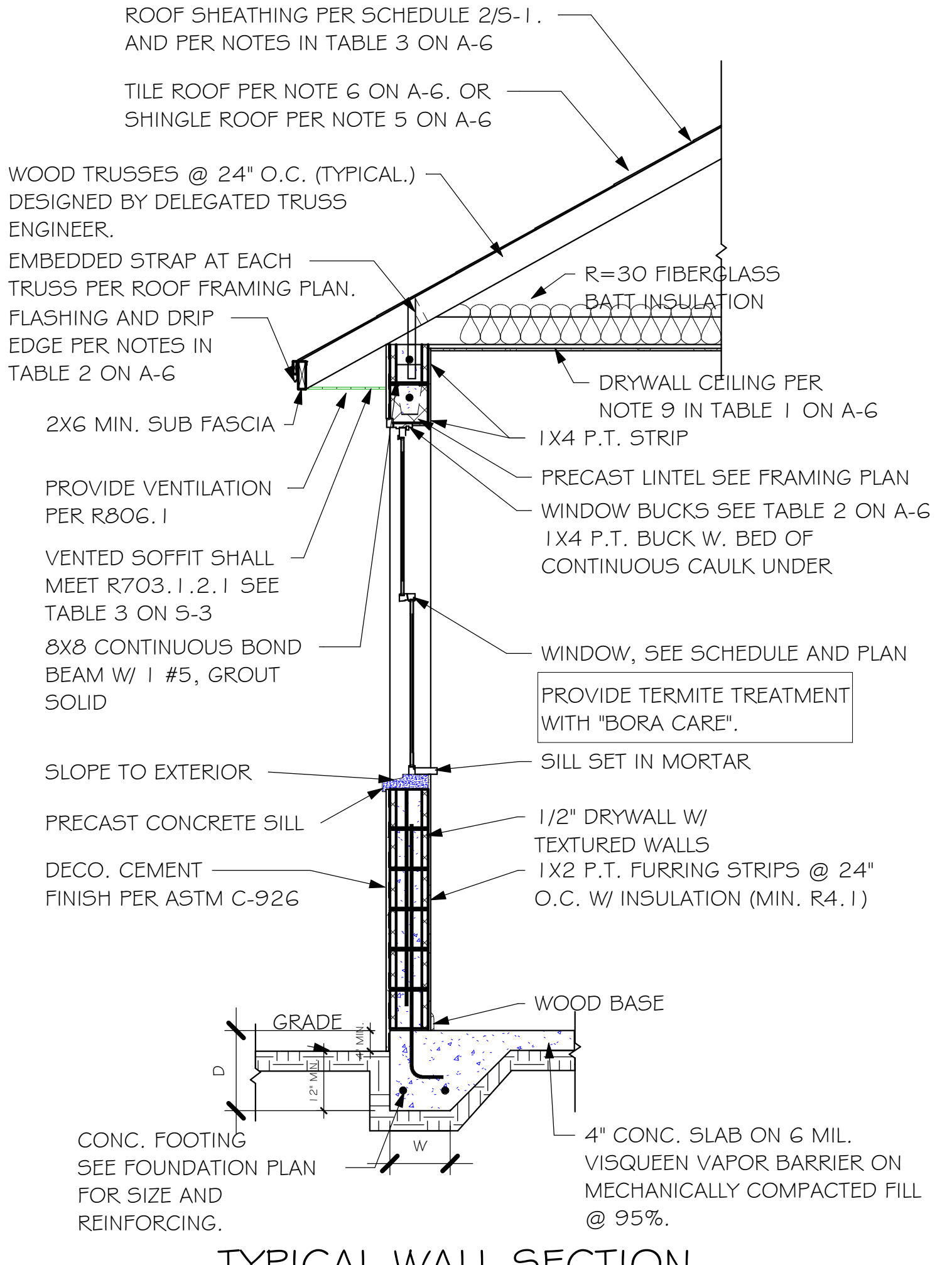
- ### RESIDENTIAL SPECIFICATIONS
- #### GENERAL NOTES
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
  - THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
  - ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
  - SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
  - STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
  - ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING, THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT. ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
  - TREATED WOOD REQUIREMENTS:- ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
  - THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
  - CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
  - LANAI CEILINGS & COVERED ENTRY CEILINGS 1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS, 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

- #### DOOR AND WINDOW ANCHORAGE
- ANCHORAGE REQUIREMENTS- ALL PASS AND SLIDING GLASS DOORS AND ALL WINDOW ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A MANNER SPECIFIED BY THE PUBLISHED MANUFACTURERS LITERATURE. THERE SHALL BE NO SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER.
- MASONRY OPENING**
- WHERE WINDOW FRAME IS DESIGN TO FASTEN WITH SCREWS THROUGH THE FRAME AND INTO THE MASONRY, THE BUCK MATERIAL IS SIMPLY A SPACER. THE BUCK MAY BE FASTENED WITH THE T NAILS OR ANY SUITABLE FASTENER TO TACK IT INTO POSITION PRIOR TO WINDOW INSTALLATION. FASTEN WINDOW FRAME PER MFR INSTRUCTIONS. A WINDOW FASTENER SHALL PENETRATE MASONRY BY 2 1/4" MIN.
- WHERE WINDOW FRAME IS DESIGNED TO FASTEN ONLY TO THE WOOD BUCK (IE, FLANGED FRAME WITH WOOD SCREWS) THE BUCKS SHALL BE 2X WOOD WITH STRUCTURAL FASTENING TO THE MASONRY WITH 1/4 X 3 3/4 MASONRY SCREWS @ 24" OC AND 6" FROM EACH END.
- WOOD FRAMED OPENING-** ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURERS LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE OF RESISTING THE APPLIED LOADS AND SHALL BE LOCATED NEAR EACH FRAME FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE TIGHTENED.



- #### GENERAL ROOF ASSEMBLY
- ROOF SHEATHING**
- SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL "Y" CUPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 4" O.C. EDGE AND 6" O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK NAILS PER R803.2.3.1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.
- FLASHING**
- FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE AZ50 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURES PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).
- D RIP EDGE**
- D RIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS, LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". D RIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE D RIP EDGE FLANGE.
- #### ASPHALT SHINGLE ROOF SPEC'S
- SHINGLES**
- 15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELD-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF 2 FASTENERS PER SHINGLE TAB, AND SHALL IN NO CASE BE FASTENED WITH LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. INSTALLATION SHALL COMPLY WITH MANUFACTURES REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.
- FASTENERS**
- FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 12 GAUGE (0.105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL BE A LENGTH TO PENETRATE THE SHEATHING
- THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND SHALL BE CORROSION RESITANT BY ELECTRO GALVANIZATION, MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL

- #### CLAY AND CONCRETE ROOF TILE SPECS
- INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE LAYER APPLICATION UNDER TILE ROOF. THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF R905.3 F.B.C. MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURERS IDENTIFICATION MARK. APPLICATION SPECIFICATIONS: THE TILE MANUFACTURER'S WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING:
- TILE PLACEMENT AND SPACING.
  - ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CURRENT WIND CODE.
  - A. AMOUNT AND PLACEMENT OF MORTAR
  - B. AMOUNT AND PLACEMENT OF ADHESIVE
  - C. TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS.
  - UNDERLAYMENT
  - SLOPE REQUIREMENT.
- #### FLOOR SHEATHING AT 2ND FLOOR
- A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATING 48/24 OR BETTER, GLUED AND NAILED



DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

LOT: 87

SUBDIVISION: ENTRADA 505

ADDRES: 2712 TARRAGONA CT

D.R.H. #: 579030223

MODEL

# 1499 A

GCD JOB # 10946

DATE: 07/26/19

DRAWN BY: JSL

CHECKED BY: JWC

REVISED:

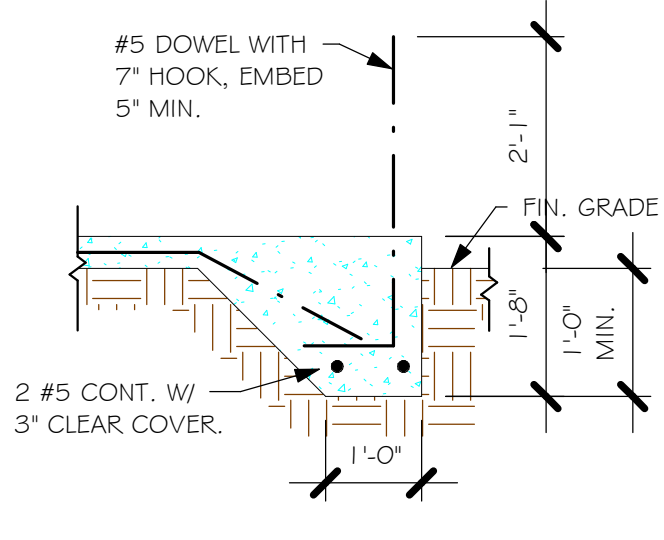
PLAN: SECTIONS

SCALE: As indicated

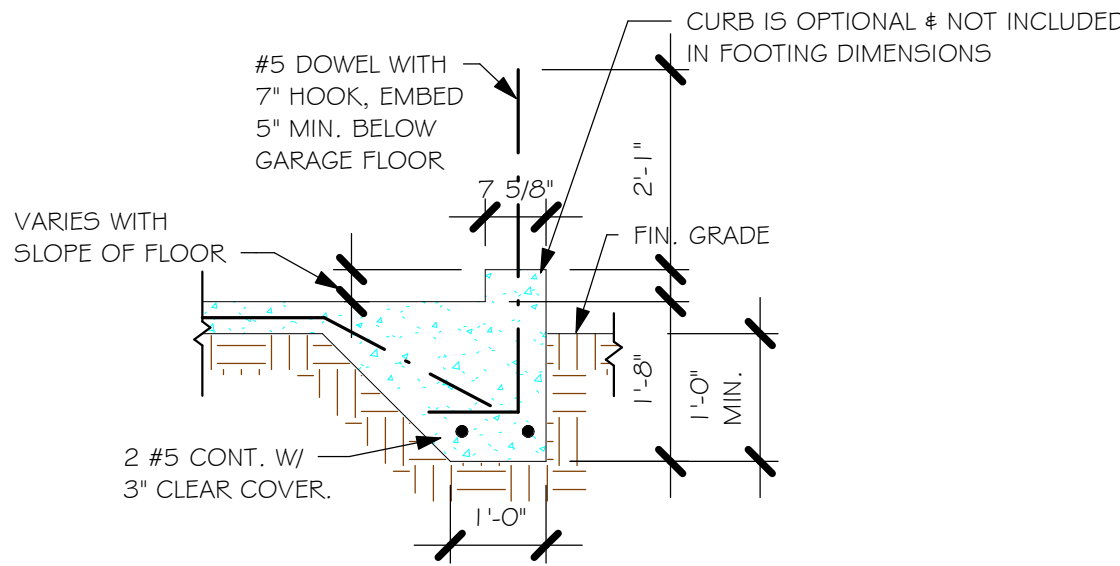
A-6



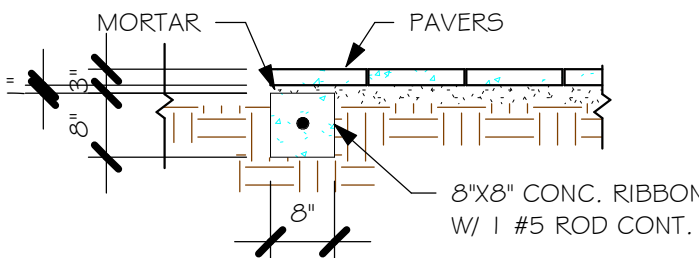
Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\ENTRADA 505\1094G LOT 87  
BLK 8040 1499 AR\REVIT\1094G 1499 AR.rvt



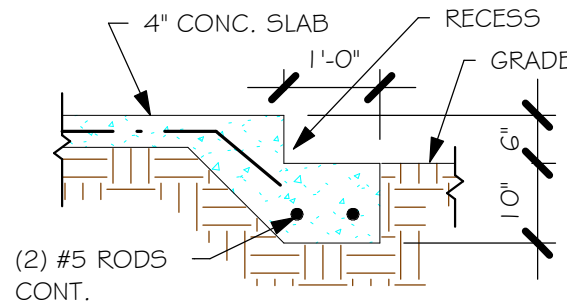
"F3" FOOTING  
1/2" = 1'-0"



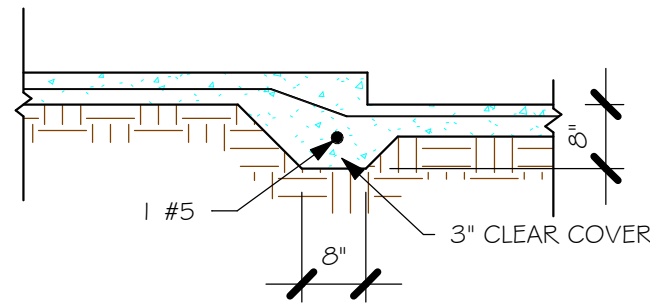
"F3" WITH CURB AT GARAGE  
1/2" = 1'-0"



"P" PAVERS DETAIL ENTRY/ LANAI  
1/2" = 1'-0"



GARAGE DOOR RECESS  
1/2" = 1'-0"



"F6A" STEP DOWN  
1/2" = 1'-0"

PAD FOOTING SCHEDULE							
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINF.		REMARKS
					LONG WAY	SHORT WAY	
	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5	-
	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5	-
	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5	-
	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5	-
	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5	-

WALL FOOTING SCHEDULE						
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING	SHAPE
	F1	CONT.	1'-4"	0'-8"	2-#5	
	F2	CONT.	1'-8"	0'-10"	2-#5	
	F3	CONT.	1'-0"	1'-8"	2-#5	
	F4	CONT.	1'-4"	1'-8"	2-#5	
	F5	CONT.	1'-4"	1'-0"	2-#5	
	F6	CONT.	1'-4"	1'-0"	2-#5	
	F6A	CONT.	0'-8"	0'-8"	1-#5	
	TE	CONT.	0'-8"	0'-8"	1-#5	

PROVIDE CORNER BARS PER 6/S-3

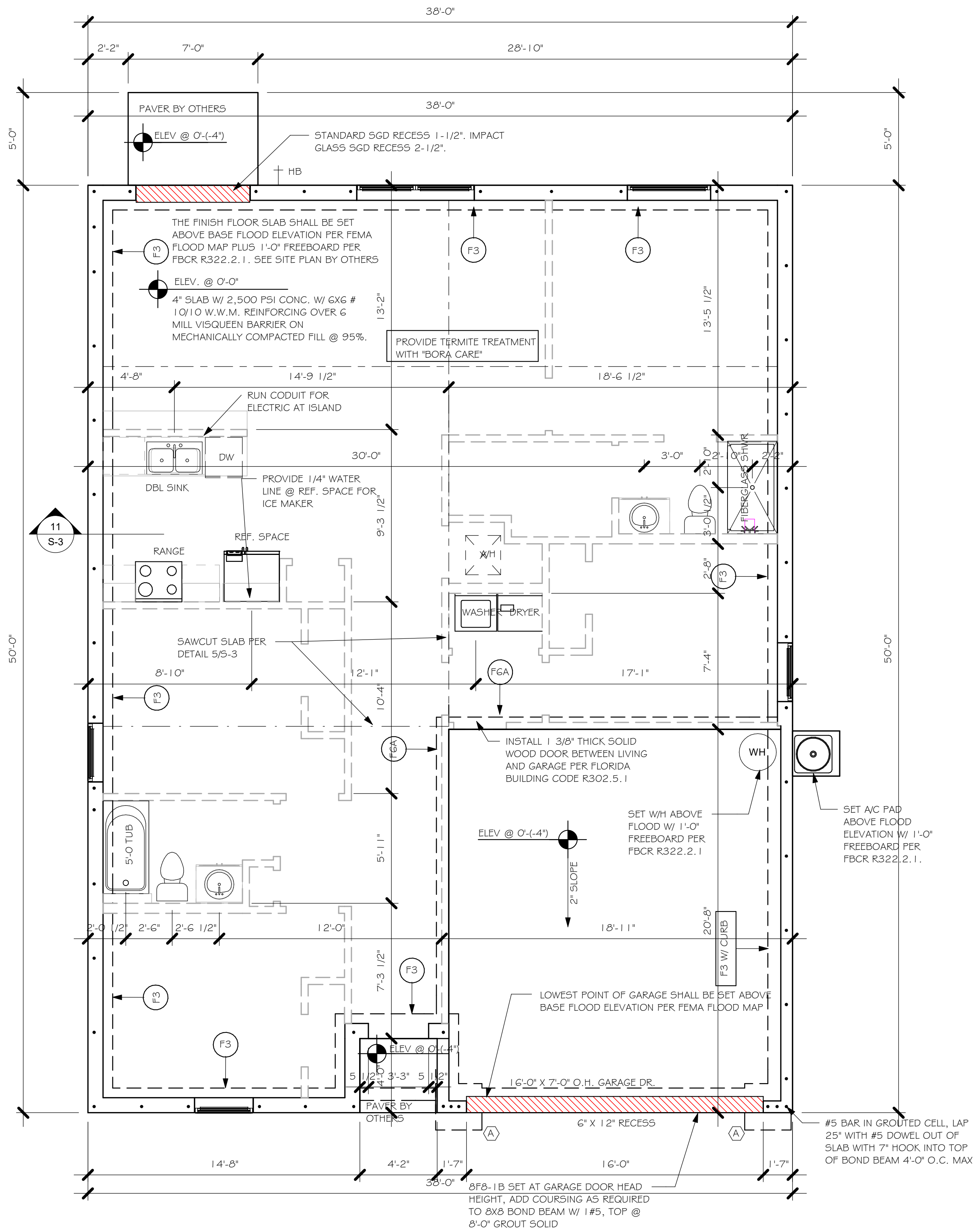
ADD CURB TO GARAGE, SEE DETAIL.

### FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

PLAN NOTES:

- TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0".
- "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
- # DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
- PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
- FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/ DOOR SUPPLIER.
- PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.



FOUNDATION  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION



**Gulf Coast**  
Drafting & Design, Inc.  
EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-1822  
1515 SE 47th ST. CAPE CORAL, FL 33904

STRUCTURAL DIVISION  
**STRUCTURAL SYSTEMS**  
OF NORTH FLORIDA  
INC.  
1515 SE 47th ST. CAPE CORAL, FL 33904  
(239) 549-4554  
CFL 8889

MODEL # 1499 A	LOT: 87	BLOCK: 8040
	SUBDIVISION: ENTRADA 505	
	ADDRESS: 2712 TARRAGONA CT	
	D.R.H. #: 579030223	

DATE:	07/26/19
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	
PLAN:	FOUNDATION PLAN
SCALE:	As indicated

S-1



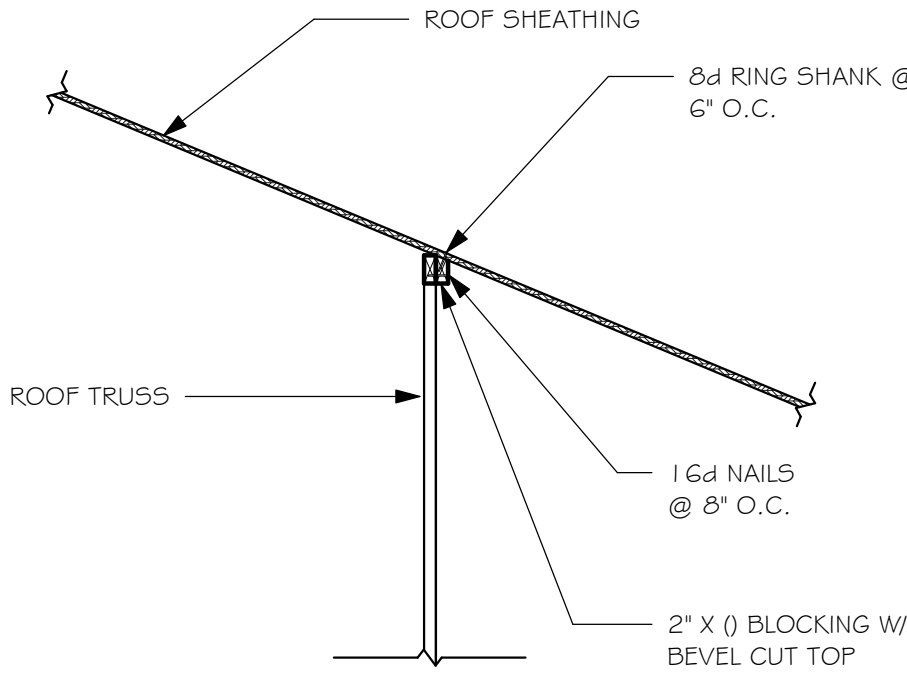
Z:\MASTER\2018 BUILDERS\2018 DR HORTON\SUBDIVISIONS\ENTRADA 505\10946 LOT 87  
BLK 8040 1499 AR\REVIT\10946 1499 AR.rvt

INSTALL HTA 16-18 AT ALL TRUSSES TO 1615 lb UPLIFT. FOR HIGHER UPLIFTS, SEE NOTES ON PLAN.

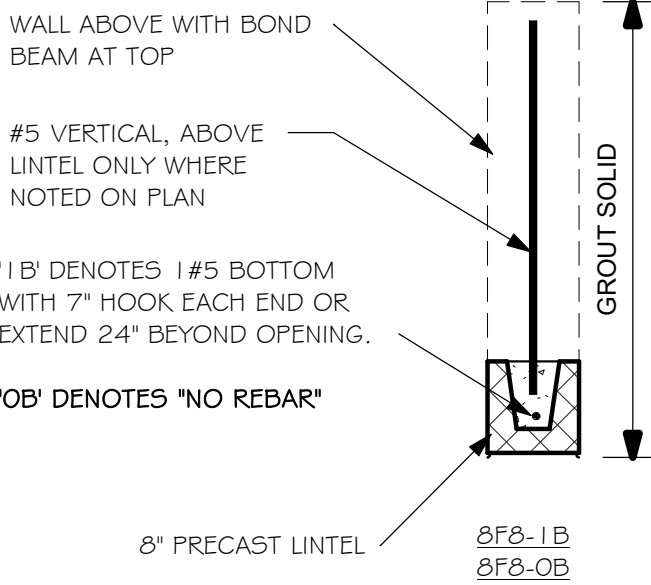
TRUSS STRAPPING TO MASONRY		
MAX TRUSS UPLIFT @ 24" OC (LBS)	CONNECTOR	FASTENER
1615	(1) HTA16-18	10-10d x 1/2", EMBED 4"
1870	(1) HTA20	10-10d x 1/2", EMBED 4"
2430 (1 PLY)	(2) HTA16-18	10-10d x 1/2", EMBED 4"
2800 (2 PLY)	(2) HTA16-18	10-10d x 1/2", EMBED 4"
3170 (2 PLY)	(2) HTA20	10-10d x 1/2", EMBED 4"
5005	HTT45	5/8" ATR, EPOXY 1/2"

- NOTES:
- PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON -CL OF WALL.
  - CONNECTORS ARE USP STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.
  - WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER 2/5-4.
  - \*ATR = ALLTHREAD. DRILL AND EPOXY WITH USP EPOXY PER MFR. INSTRUCTIONS.

REV2



BEVELLED BLOCKING DETAIL



PRECAST LINTEL SCHEDULE

AT SWING DOORS, USE 2" RECESS STYLE LINTEL IF NEEDED FOR ROUGH OPENING. LINTELS BEAR 4" MIN. EACH END

PLAN NOTES:

- ROOF TRUSS BEARING 8'-0", SEE LEGEND.
- ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET S-3.
- PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET.
- FOR NAILING OF ROOF AND FLOOR DECK, SEE 1 AND 2 ON S-3.
- 8" x 8" etc., DENOTES PRECAST LINTEL ABOVE DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET.
- AT TRUSS BEARING, PROVIDE 8" x 8" MASONRY BOND BEAM W/ 1 #5 CONTINUOUS, SEE DETAIL 11/5-3.

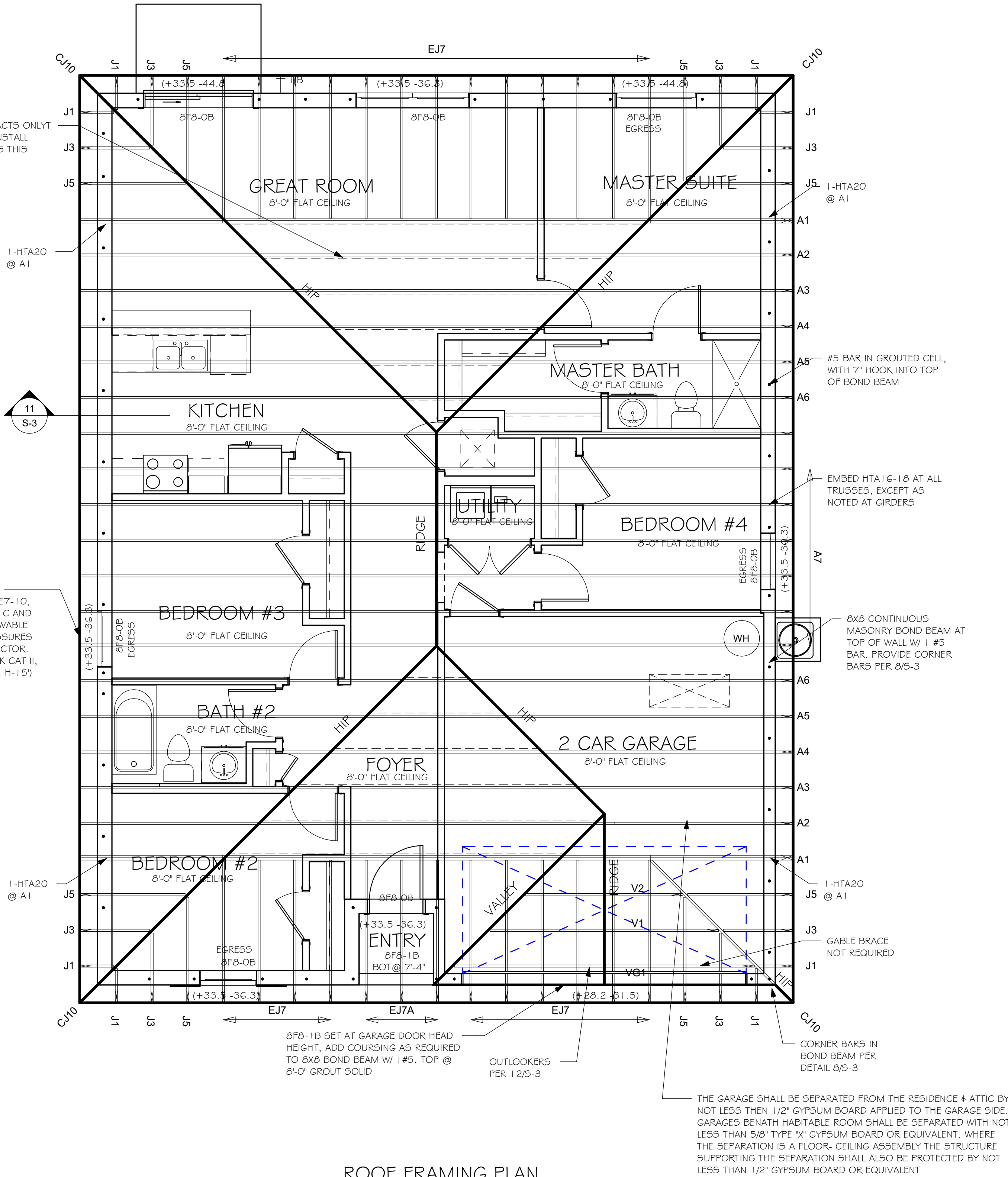
BEARING HEIGHT

= BEARING @ 8'-0"

TRUSS BEARING CONDITIONS AND STRAPPING IS BASED ON TRUSS LAYOUT PREPARED BY SCOSTA JOB# 44116 DATED: 05/24/18 REVISED 9/15/18

WHERE ROOF SHEATHING CONTACTS ONLY THE EDGE OF ROOF TRUSSES, INSTALL BEVELLED BLOCKING PER DETAILS THIS SHEET (DR. HORTON COMPANY REQUIREMENT)

(+33.5 -36.3) WIND PRESSURES PER ASCE7-10, 160 MPH, EXPOSURE C AND CONVERTED TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR. (Vmax=124 MPH, RISK CAT II, ENCLOSED, kd=0.85, H=15')



ROOF FRAMING PLAN  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

Express  
HOMES

Gulf Coast  
Drafting & Design, Inc.  
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STRUCTURAL SYSTEMS  
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1000 E. 10th Ave., Suite 100  
Cape Coral, FL 33904  
(239) 549-4554  
CA 889

LOT: 87

BLOCK: 8040

MODEL  
#1499 A

DATE:

07/26/19

DRAWN BY:

JSL

CHECKED BY:

JWC

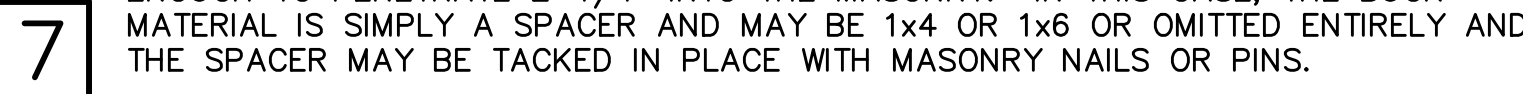
REVISED:

PLAN:  
ROOF FRAMING PLAN

SCALE:  
As indicated

S-2





NOTES:

- 1) WHERE EMBEDDED STRAP IS MISSING OR MIS-LOCATED, PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.
- 2) CONNECTORS ARE USP. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH USP PRINTED INSTRUCTIONS.
- 3) CONCRETE SCREW SHALL BE WEDGE-BOLT+, TITEN, TAPCON OR EQUIVALENT.

## 10 RETROFIT UPLIFT CONNECTOR SCHEDULE

**2** NOTE: EXTERIOR CEILINGS AND SOFFITS 1) AND 2) SPECIFIED  
HERE MEET THE DESIGN WIND PRESSURES PER R703.1.2.1.



12  
5

ROOF SHEATHING, SEE SCHEDULE 2/S-3

WOOD TRUSSES @ 24" OC, DESIGNED BY DELEGATED TRUSS ENGINEER

EMBEDDED STRAP AT EACH ROOF TRUSS, SEE ROOF PLAN. BREAK OUT WEB OF BLOCK AS NEEDED TO PROPERLY LOCATE EACH STRAP.

APPROVED ISOLATION PLATE

8"x8" CONTINUOUS MASONRY BOND BEAM w/ 1-#5, GROUT SOLID. PROVIDE CORNER BARS PER DETAIL 6/S-3

#5 VERT. IN GROUTED CELL AT DOT LOCATIONS ON PLAN (48" OC MAX EXTERIOR)

SOFFITS SHALL MEET WIND DESIGN PRESSURES PER R703.1.2.1. FOR FIELD FRAMING, SEE TABLE 2/S-

#5 VERTICAL SHALL HAVE 7" STANDARD HOOK INTO TOP OF BOND BEAM



- 1) TABLE MAY BE USED FOR ANY SIZE WINDOW OR DOOR IN EACH TYPE.
- 2) USE "INTERIOR ZONE 4" PRESSURES UNLESS WINDOW OR DOOR IS LOCATED WITHIN THE "END ZONE 5" (SEE DIAGRAM BELOW), THEN USE THE HIGHER PRESSURES UNDER THE "END ZONE 5" COLUMN.
- 3) ALL GLASS / GLAZING SHALL BE IMPACT RATED OR USE IMPACT RATED SHUTTERS.
- 4) SUBMIT PRODUCT APPROVALS TO THE BUILDING DEPARTMENT AS REQUIRED BY THE LOCAL JURISDICTION.
- 5) MANUFACTURED SOFFIT PRODUCTS SHALL BE INSTALLED PER MFR ENGINEERING SPEC SHEETS.

\* ON IRREGULAR SHAPED BUILDINGS, THERE IS NO GUIDANCE IN THE CODE FOR HOW FAR A CORNER MAY PROTRUDE FROM THE MAIN BUILDING TO BE CONSIDERED "ZONE 5". WE HAVE CHOSEN >15" THIS SUBJECT TO JUDGEMENT CALL BY THE AUTHORITY HAVING JURISDICTION.

IN ZONE 5, MANUFACTURED SOFFIT PRODUCTS MAY REQUIRE ADDITIONAL BATONS OR FASTENING PER MFR ENGINEERING SPEC SHEETS TO MEET THE PRESSURE REQUIREMENTS.

END ZONE 5 PRESSURES OCCUR AT PRIMARY OUTSIDE CORNER OF BUILDING (BOLD LINES)

INTERIOR ZONE 4 PRESSURES



At Exterior Stud Walls and Gable Ends with Wall Sheathing, apply plaster over metal lath over water resistive barrier as follows:

**Plaster R703.7.2:** 3-coat 7/8" thick portland cement based plaster per ASTM C926.

**Metal Lath R703.7.1:** Self furring paper backed 2.5lb diamond mesh metal lath per ASTM C847, G60 galvanized, fastened per ASTM C1063 with 1-1/2" long, 11 gage nails with 7/16" head (roofing nails) at 7" oc, or 1-1/2" long, 16 gage staples at 6" oc, into the framing members (ie, the nails or staples must align with and penetrate 3/4" into the framing studs).

**Water Resistive Barrier (WRB) R703.7.3:** Water-resistive vapor-permeable barrier with a performance at least equivalent to 15 mils of polyethylene. The individual layers shall be installed independently. An approved house wrap may be used for the 1st layer and metal lath with approved paper backing may be the 2nd layer (Note: ZIP wall sheathing with seam tape qualifies as the first layer).

[illegible]

STRUCTURAL ENGINEERING:

---

**STRUCTURAL  
SYSTEMS  
OF NORTH FLORIDA**

1634 S.E. 47th STREET, SUITE #3  
CAPE CORAL, FL 33904  
(239) 549-4554

CA# 8829

DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL

DESIGNED

**STRUCTURAL DETAILS**  
**MODEL 1499 A**  
2712 TARRAGONA COURT  
CAPE CORAL, FLORIDA  
LOT: 87 BLOCK: 8040 SUBDIVISION: ENTRADA

DESIGN/DRAWN
DWB/DWB
CHECKED
DWB
DATE
07/31/19
SCALE
VARIAS
JOB NO.
DR10946
SHEET

S-3

SHEET 3 OF 3