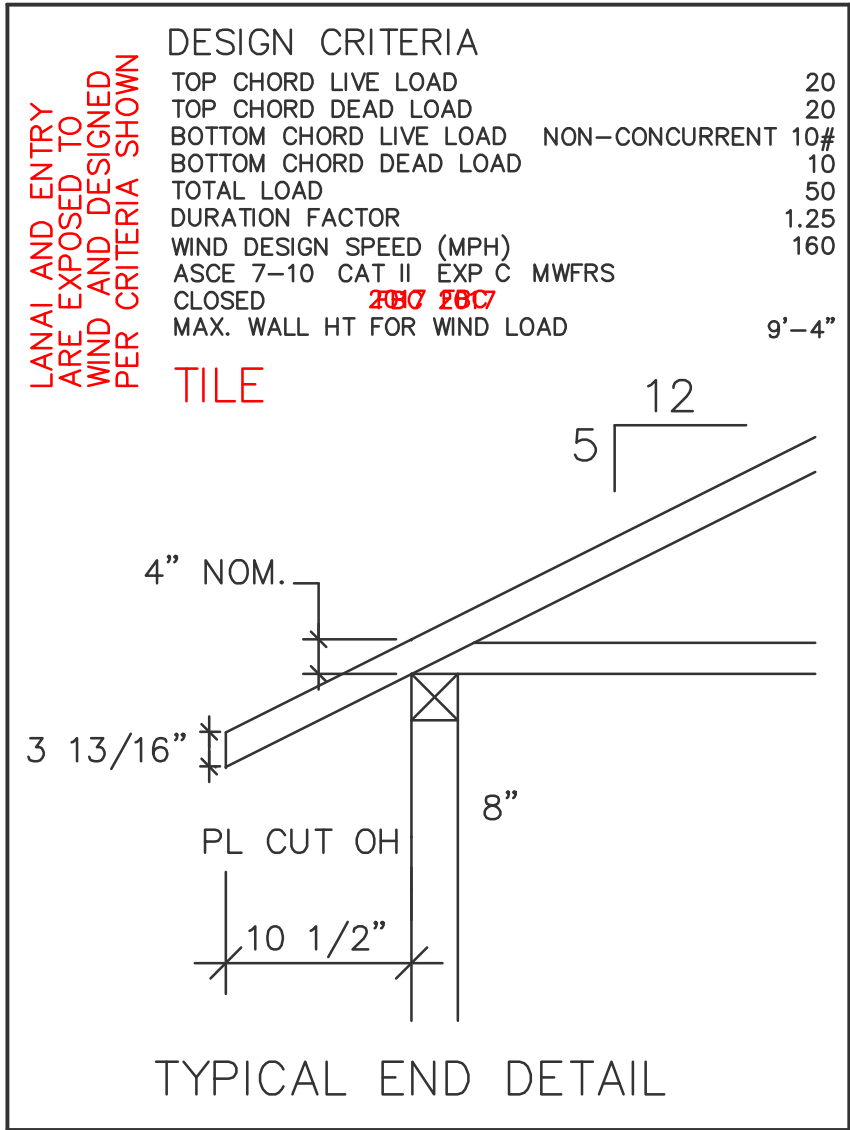
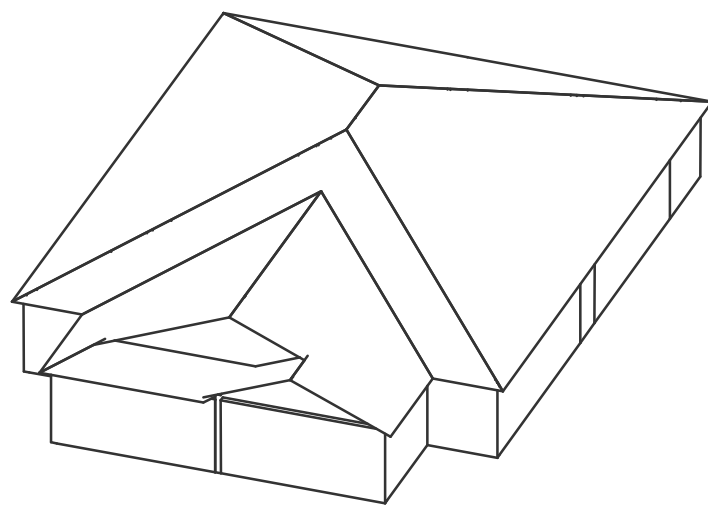
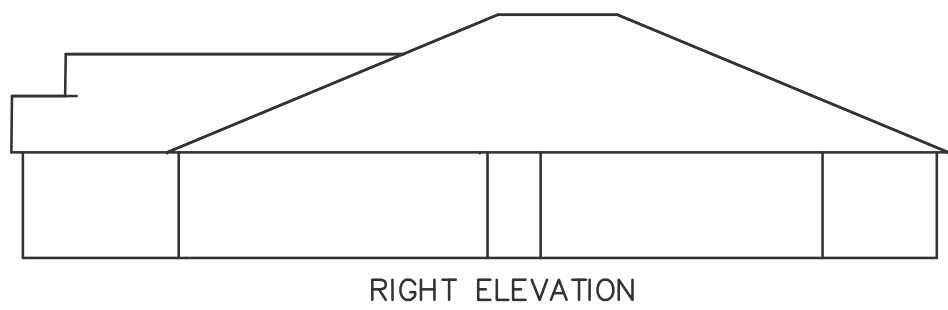
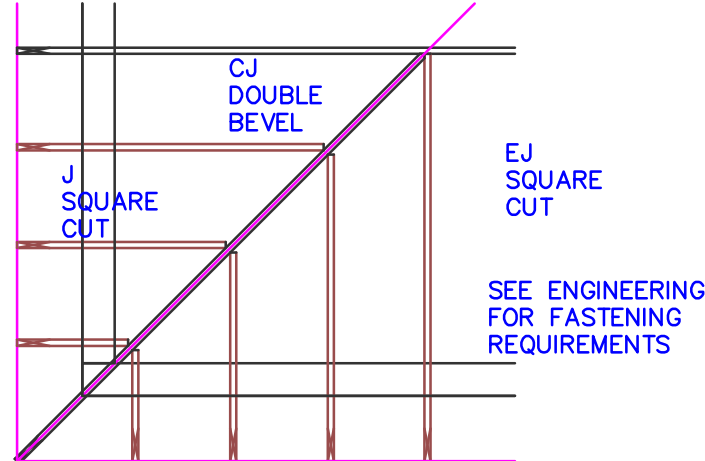


TYPICAL JACK CUTS



****UNLESS NOTED****
REACTION VALUES ARE UNDER 5000#
UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24"o.c. UNLESS NOTED OTHERWISE

*******CAUTION*******

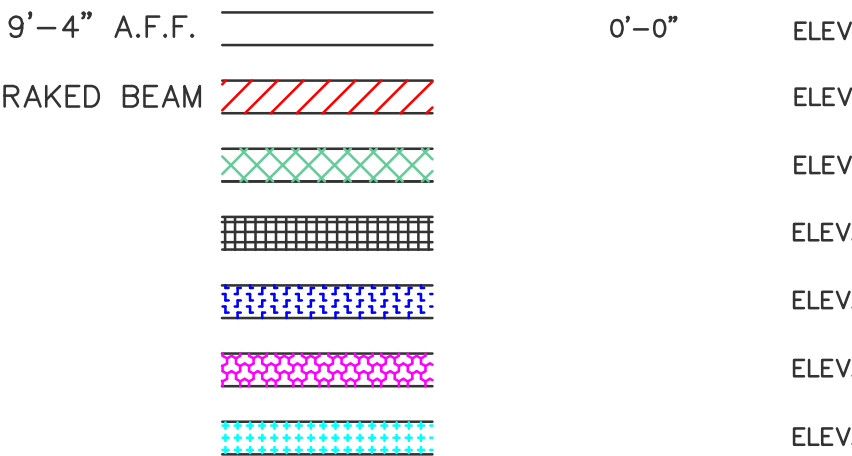
DO NOT ATTEMPT TO ERECT TRUSSES WITH-
OUT REFERRING TO THE ENGINEERING DWGS.

IT IS NECESSARY TO REFER TO THE ENGINEERING
DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION,
ORIENTATION AND WEB BRACING

REFER TO WTCA/TPJ BSCI-B1 SUMMARY
SHEET FOR HANDLING METHODS & TEMPORARY
BRACING, WHICH IS ALWAYS REQUIRED

BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA
CORP. +/- BEARING DIFFERENCES SHOWN ARE CRITICAL.
IF ANY HEIGHTS DEVIATE - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS



TYPICAL HANGER SCHEDULE

- | | |
|-----------------------|-----------------------|
| (C) SIMPSON HUS 26 | (M) SIMPSON HGUS 28-3 |
| (F) SIMPSON HUS 28 | (N) SIMPSON HHUS 48 |
| (H) SIMPSON HGUS 28 | (P) SIMPSON LUS 24 |
| (I) SIMPSON HGUS 28-2 | (B) SIMPSON THA 422 |
| (W) SIMPSON THJA26 | (X) |

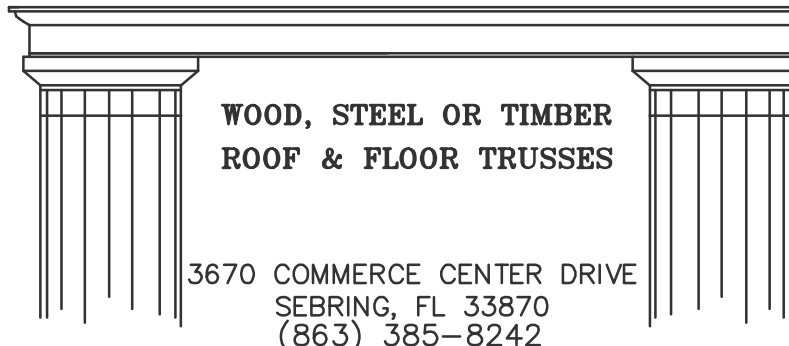
HANGER VALUES HAVE BEEN BASED ON 160
COMMON NAILS EXCEPT THE FOLLOWING
LUS24 - 100 COMMON THJA26 - 100 x 1-1/2

*******ATTENTION*******

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY
BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS,
PITCHES, OVERHANGS, ELEVATIONS, CEILING &
BEARING CONDITIONS. SCOSTA CORPORATION IS
RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH
PLANS AND/OR INFORMATION PROVIDED BY
CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN.
CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF
INFORMATION AND PLANS PROVIDED TO SCOSTA
CORPORATION, AND TO VERIFY CONFORMANCE TO
FIELD CONDITIONS, AND/OR OWNER CHANGES.
TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE
APPROVED LAYOUT.

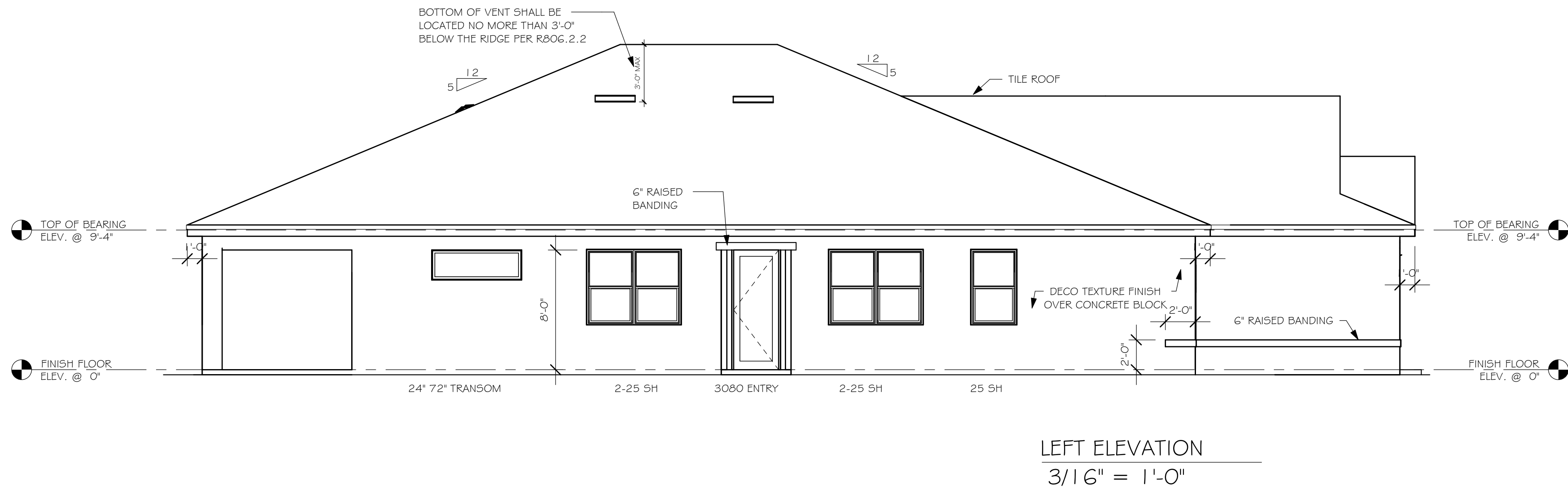
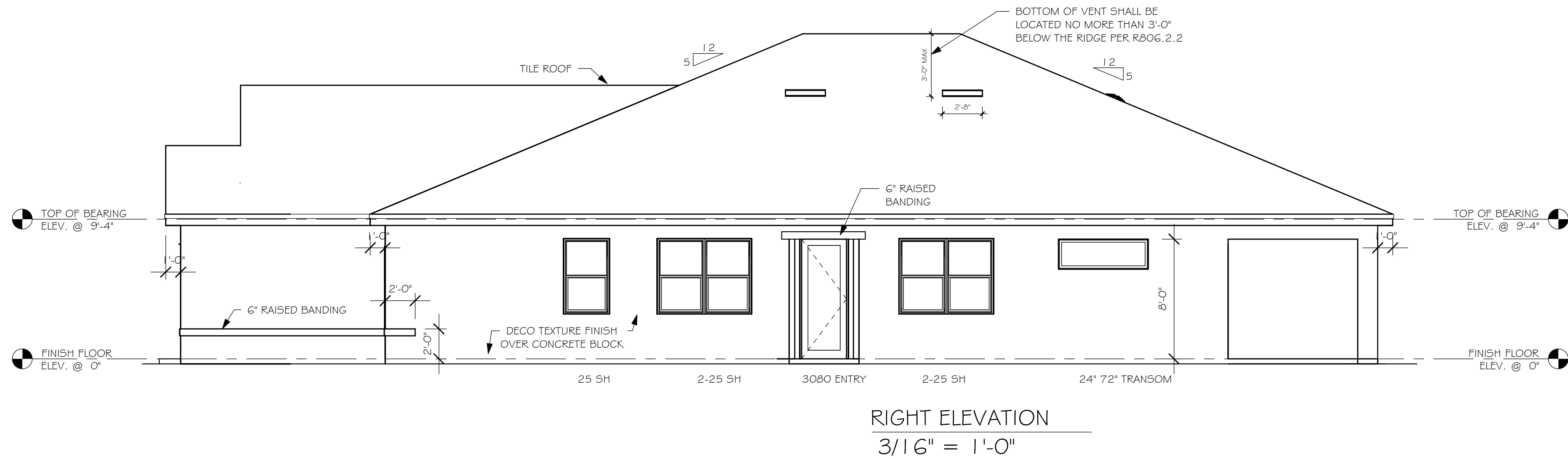
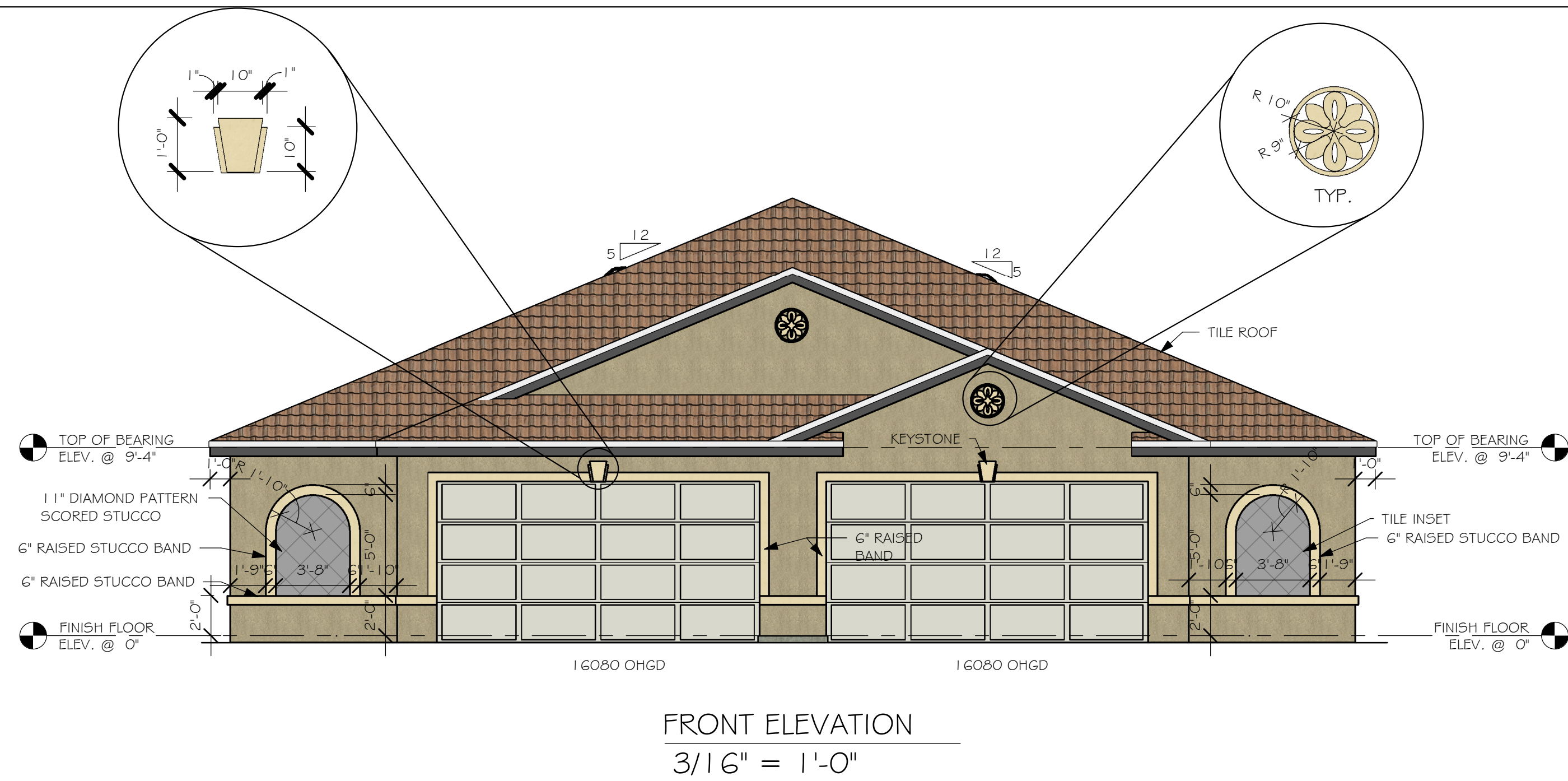
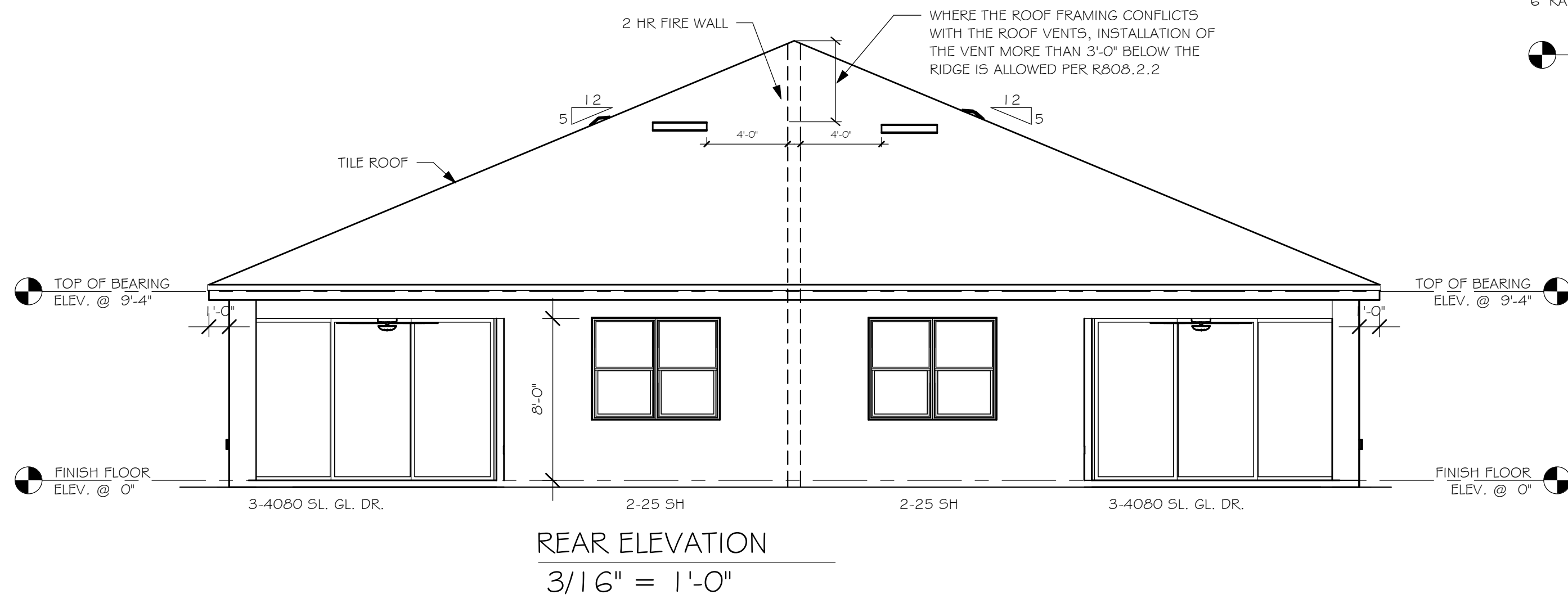
APPROVED BY: _____
DATE: _____ REQUESTED DELIVERY DATE: _____
JOBSITE CONTACT NAME: _____
PHONE #: _____
E-MAIL: _____

SCOSTA CORP.



SCALE: 1/4"=1'-0"	DATE: 06/18/19	REVISED BY: KD 11/27/19	DRAWN BY: CD
JOB ADDRESS: 1526 TWIN VILLA	1 of 1		
CUSTOMER: LEE/COLLIER/CHARLOTTE	JOB # 44151GB		

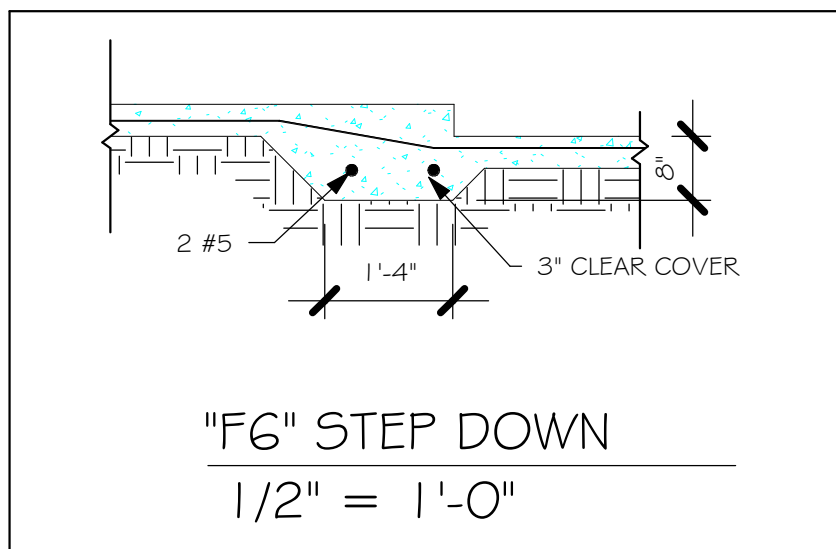
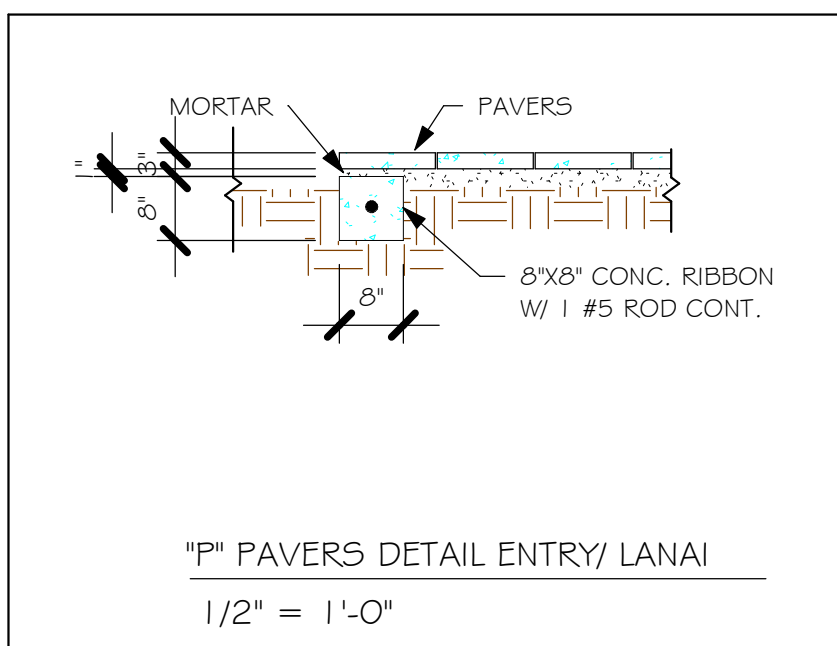
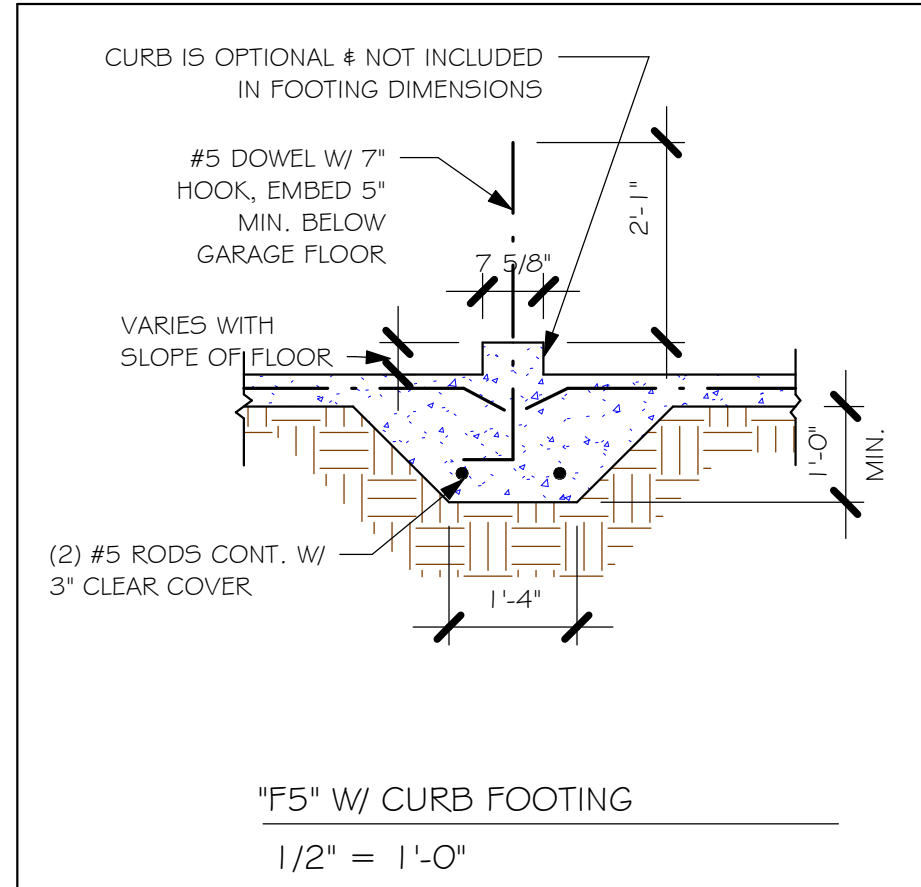
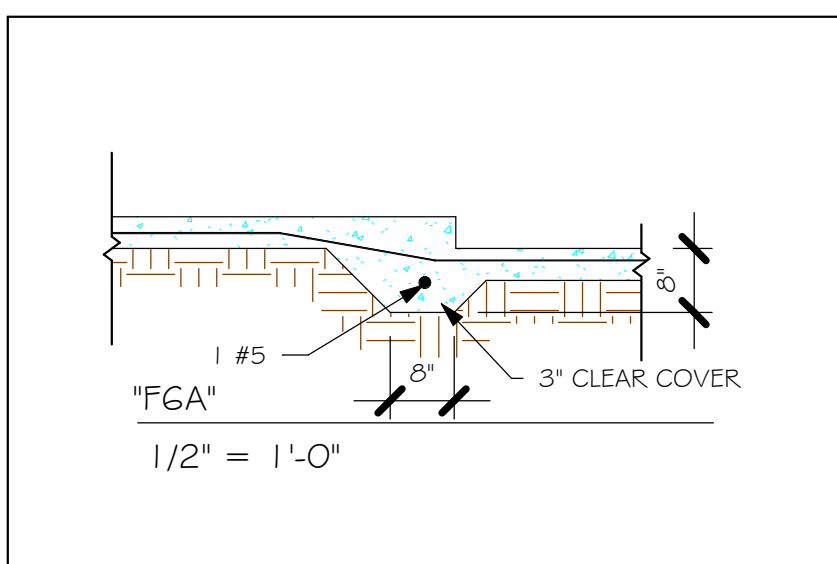
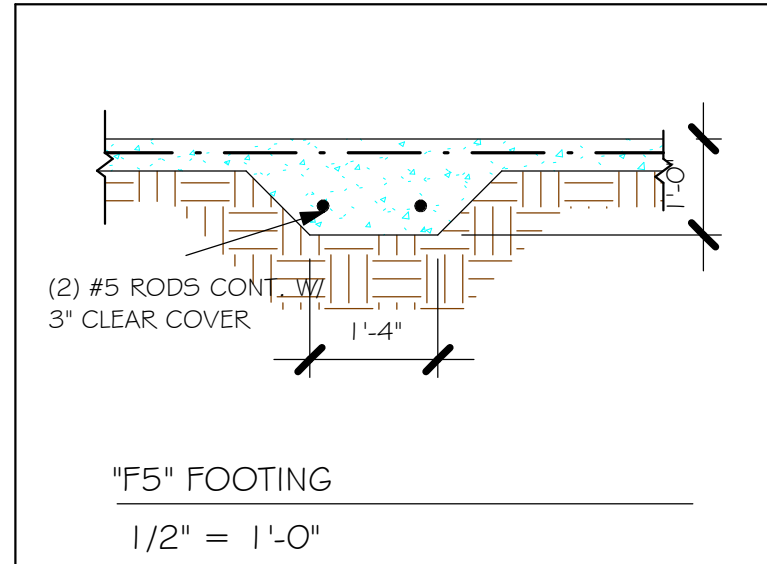
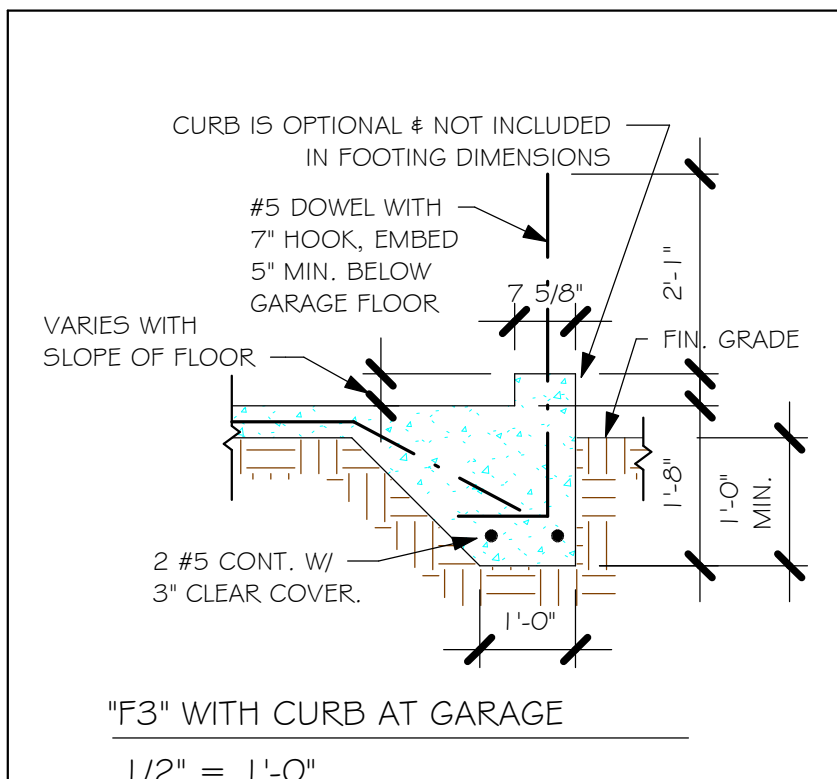
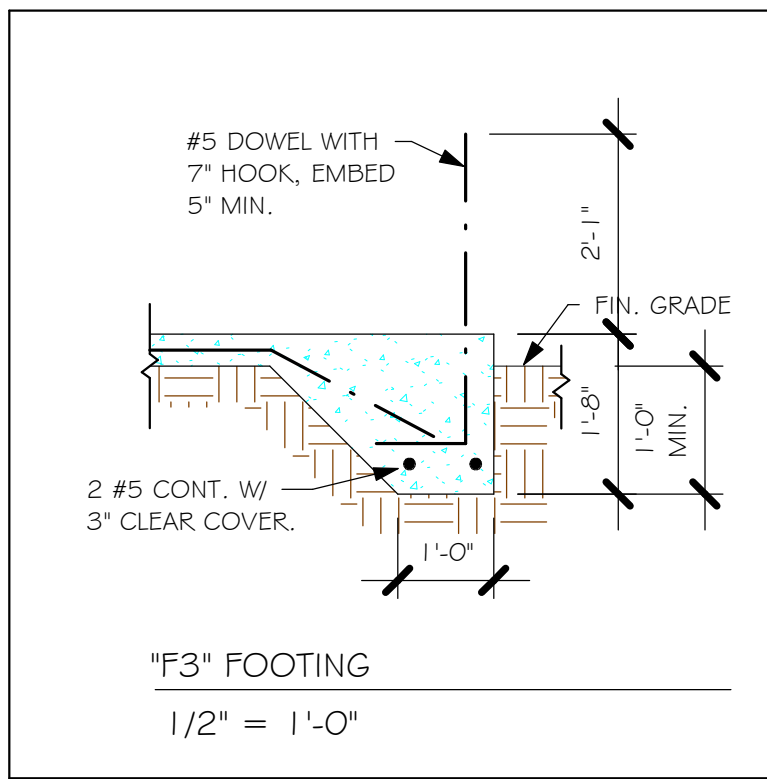
Y:\0-New Data\1 -MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\WEST VILLAGES TV's\1 1622 LOT 222-223 1526 AREVIT\1 1622 1526 A.rvt



DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

D.R. HORTON America's Builder	
Gulf Coast Drafting & Design, Inc. EMAIL: PLANS@GULFCOASTDRAFTING.COM PHONE: 239-540-1822 1515 SE 47th ST. CAPE CORAL, FL 33904	
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STRUCTURAL SYSTEMS OF NORTH FLORIDA 1515 SE 47th ST. CAPE CORAL, FL 33904 (239) 549-4554 CFL 889	
LOT: 222	SUBDIVISION: WEST VILLAGES TV's
ADDRESS: 20670 SAINT KITTS WAY	
D.R.H. #: 579780067	
MODEL 1526 VILLA	
GCD JOB # 11622	
DATE:	05/28/20
DRAWN BY:	JBL
CHECKED BY:	JWC
REVISED:	
PLAN:	ELEVATION
SCALE:	As indicated
A-1	

Y:\0-New Data\1 -MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\WEST VILLAGES TVS\1 1622 LOT 222-223 1526 A.rvt



PAD FOOTING SCHEDULE							
USED	TYPE	LENGTH	WIDTH	DEPTH	LONG BOTTOM	SHORT BOTTOM	REMARKS
	A	2'-6"	2'-	1'-	3'-	3'-	-
	B	3'-0"	3'-	1'-	4'-	4'-	-
	C	3'-6"	3'-	1'-	4'-	4'-	-
	D	4'-0"	4'-	1'-	5'-	5'-	-
	E	5'-0"	5'-	1'-	6'-	6'-	-

WALL FOOTING SCHEDULE					
USED	TYPE	LENGTH	WIDTH	DEPTH	SHAP
	F1	CONT.	1'-	0'-	2'-
	F2	CONT.	1'-	0'-1	2'-
	F3	CONT.	1'-	1'-	2'-
	F4	CONT.	1'-	1'-	2'-
	F5	CONT.	1'-	1'-	2'-
	F6	CONT.	1'-	1'-	2'-
	F6A	CONT.	0'-	0'-	1'-
	TE	CONT.	0'-	0'-	1'-#5

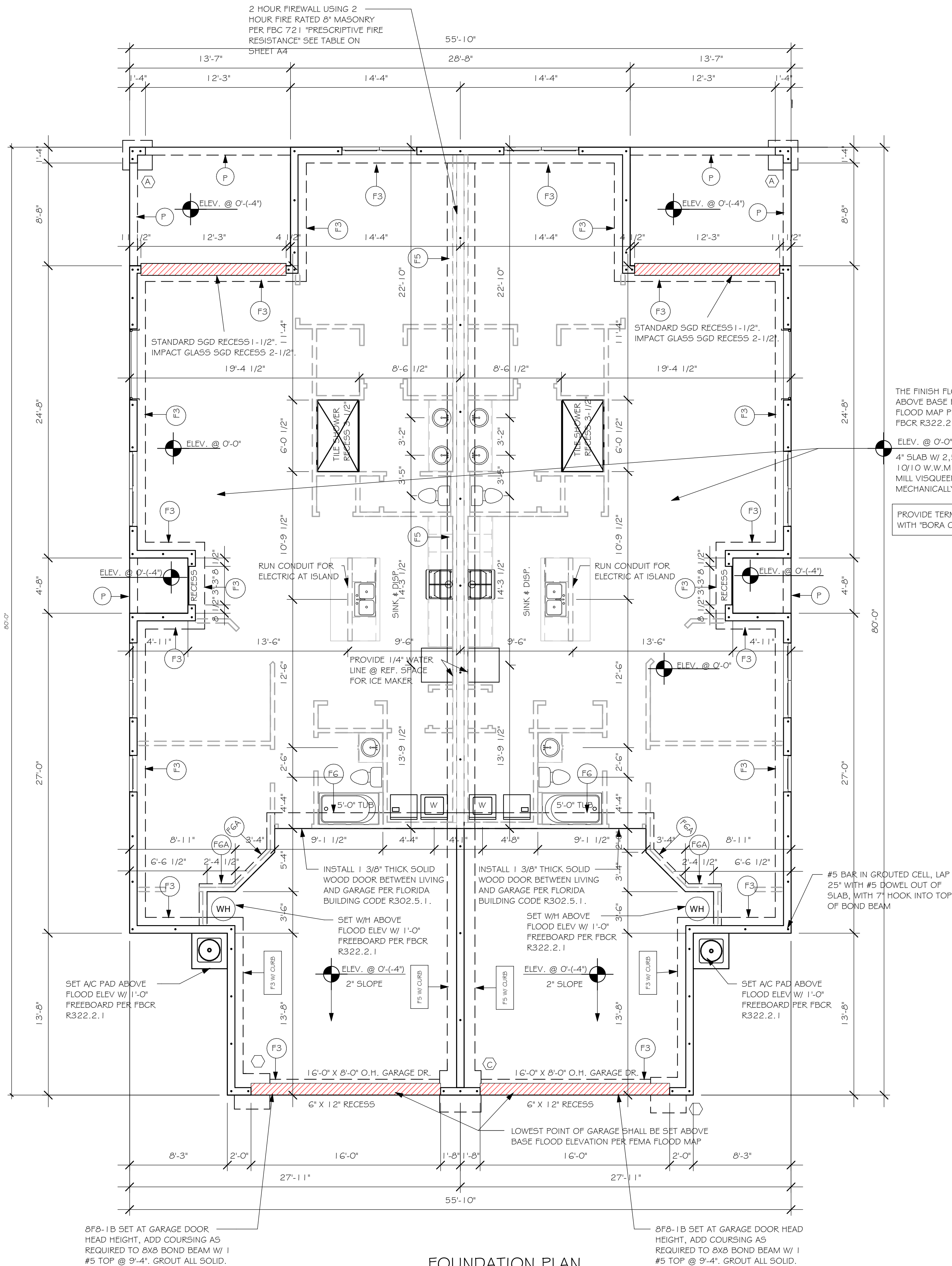
PROVIDE CORNER BARS PER 6/5-1

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

PLAN NOTES:

- TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
- "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
- # DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
- PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
- FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH



FOUNDATION PLAN
3/16" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

D.R.HORTON
America's Builder

Gulf Coast
Drafting & Design, Inc.

EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-8222
1535 SE 47th ST. CAPE CORAL, FL 33904

STRUCTURAL DIVISION
STRUCTURAL SYSTEMS
OF NORTH FLORIDA

DALE E. GORDON, P.E.
229-549-4254
CA 889

LOT: 222
SUBDIVISION: WEST VILLAGES TVS
ADDRESS: 20670 SAINT KITTS WAY
D.R.H. #: 579780067
GCD JOB # 11622

DATE: 05/28/20
DRAWN BY: JBL
CHECKED BY: JWC
REVISED:
PLAN: FOUNDATION
SCALE: As indicated

A-2

Y:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\WEST VILLAGES TV's\1 1622 LOT 222-223 1526 AREVIT\1 1622 1526 A.rvt

DOOR SCHEDULE							
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	ZONE 4	ZONE 5	QTY
1	16080 OHGD	GARAGE DOOR	8'-0"	16'-0"	+28.2/-31.5	+28.2/-31.5	2
2	3080 ENTRY	DISTINCTION	8'-0"	3'-0"	+33.5/-36.3	+33.5/-44.8	2
3	(3)-4080 SL. GL. DR.	DISTINCTION	8'-0"	12'-0"	+29.4/-33.3	+29.4/-33.3	2

WIND PRESSURES PER ASCE7-10, 160 MPH, EXPOSURE C, AND CONVERTED TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR. V_{asd} = 124 MPH

GARAGE DOOR ASSUMES 2' IN ZONE 5.

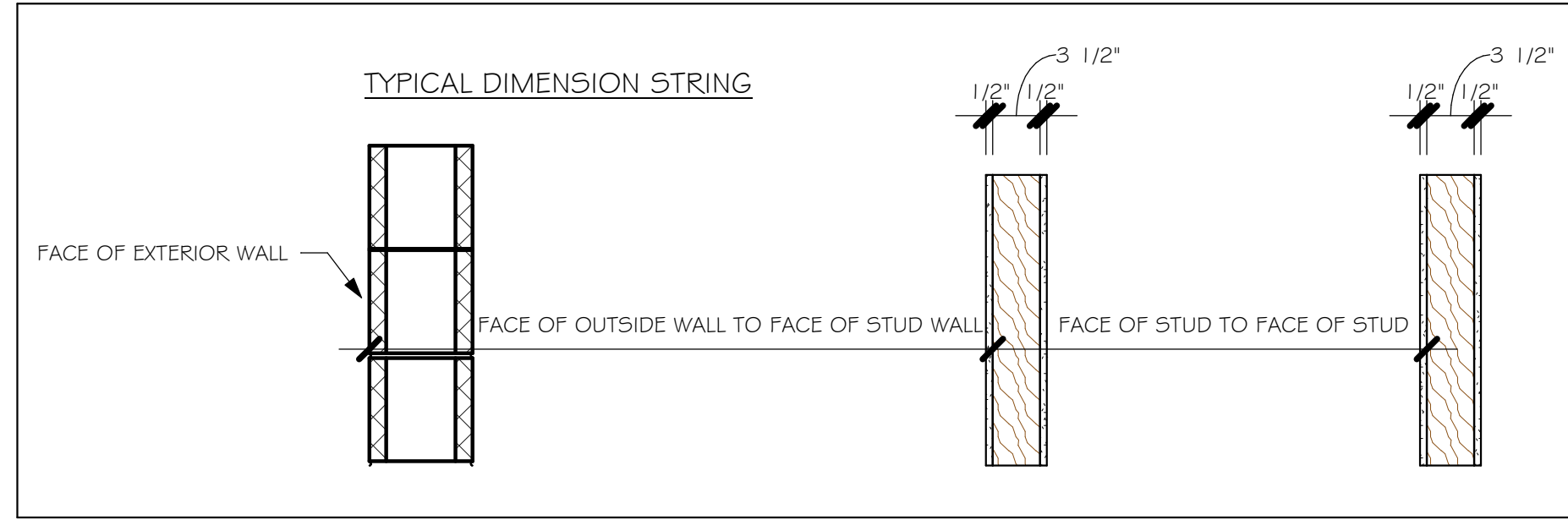
WINDOW SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	ZONE 4	ZONE 5	QTY
A	25 SH		5'-3"	3'-2"	+33.5/-36.3	+33.5/-44.8	2
B	2-25 SH		5'-3"	6'-4"	+33.5/-36.3	+33.5/-44.8	6
C	24'X72" FIXED GLASS		2'-0"	6'-0"	+33.5/-36.3	+33.5/-44.8	2

WIND PRESSURES PER ASCE7-10, 160 MPH, EXPOSURE C, AND CONVERTED TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR. V_{asd} = 124 MPH

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

PLAN NOTES	
1)	VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
2)	PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
3)	PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
4)	NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
5)	PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
6)	KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
7)	INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
8)	WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
9)	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD OR EQUIVALENT
10)	INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.5.1.
11)	ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PRVENTION DEVICE
12)	ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.
13)	ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED AT OR ABOVE FLOOD PLUS 1'-0" FREEBOARD.

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

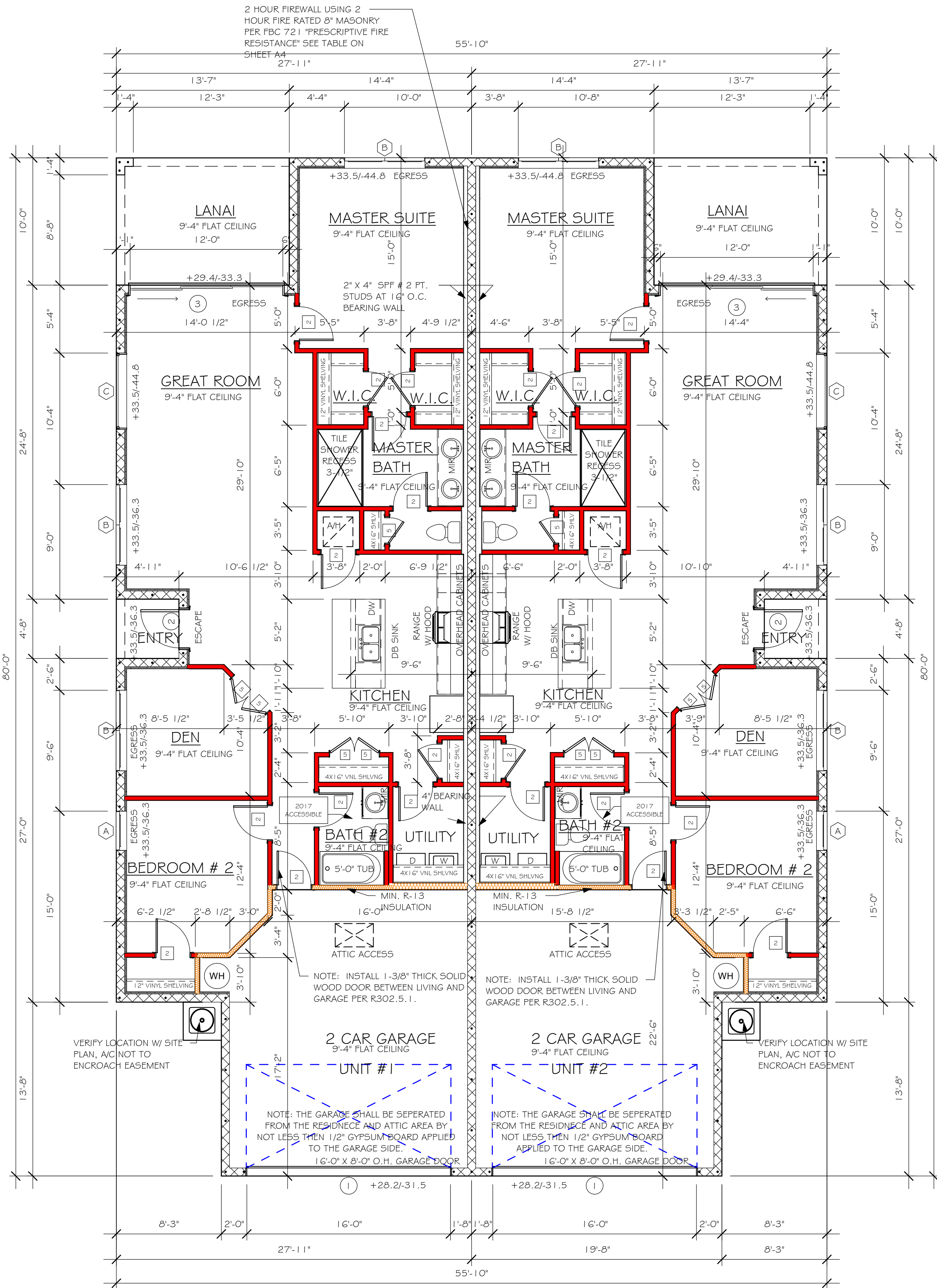
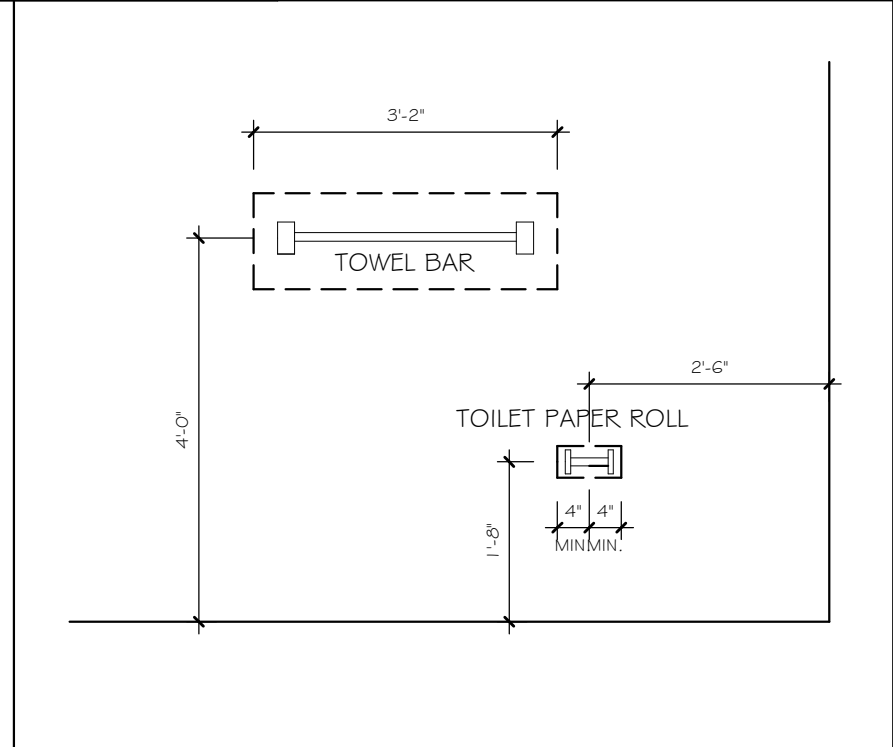


INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	B.P. = BI-PASS DOOR
4	2'-4"	L.V. = LOUVERED DOOR
5	2'-0"	
6	1'-8"	
7	1'-6"	
8	2'-1 1/4"	

SQUARE FOOTAGE UNIT 1	
LIVING AREA	1,513
GARAGE AREA	433
LANAI AREA	146
FRONT PORCH/ ENTRY AREA	29
TOTAL SQUARE FOOTAGE	2,121

SQUARE FOOTAGE UNIT 2	
LIVING AREA	1,513
GARAGE AREA	433
LANAI AREA	146
FRONT PORCH/ ENTRY AREA	29
TOTAL SQUARE FOOTAGE	2,121

BATHROOM NOTES	
TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS



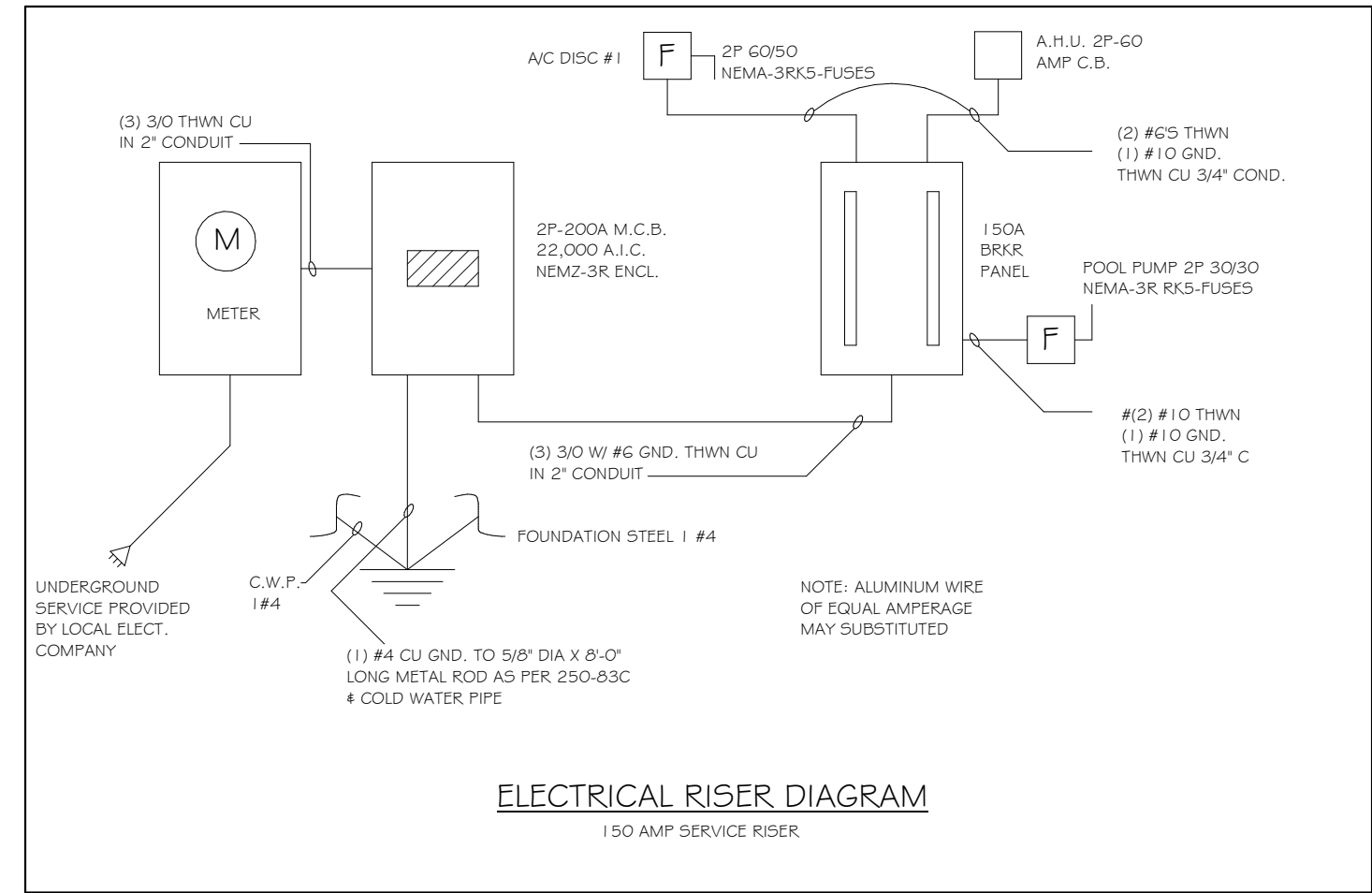
FLOOR PLAN
3/16" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

Y:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\WEST VILLAGES TV's\1 | 1622 LOT 222-223 | 1526 AREVIT\1 | 1622 | 1526 A.rvt

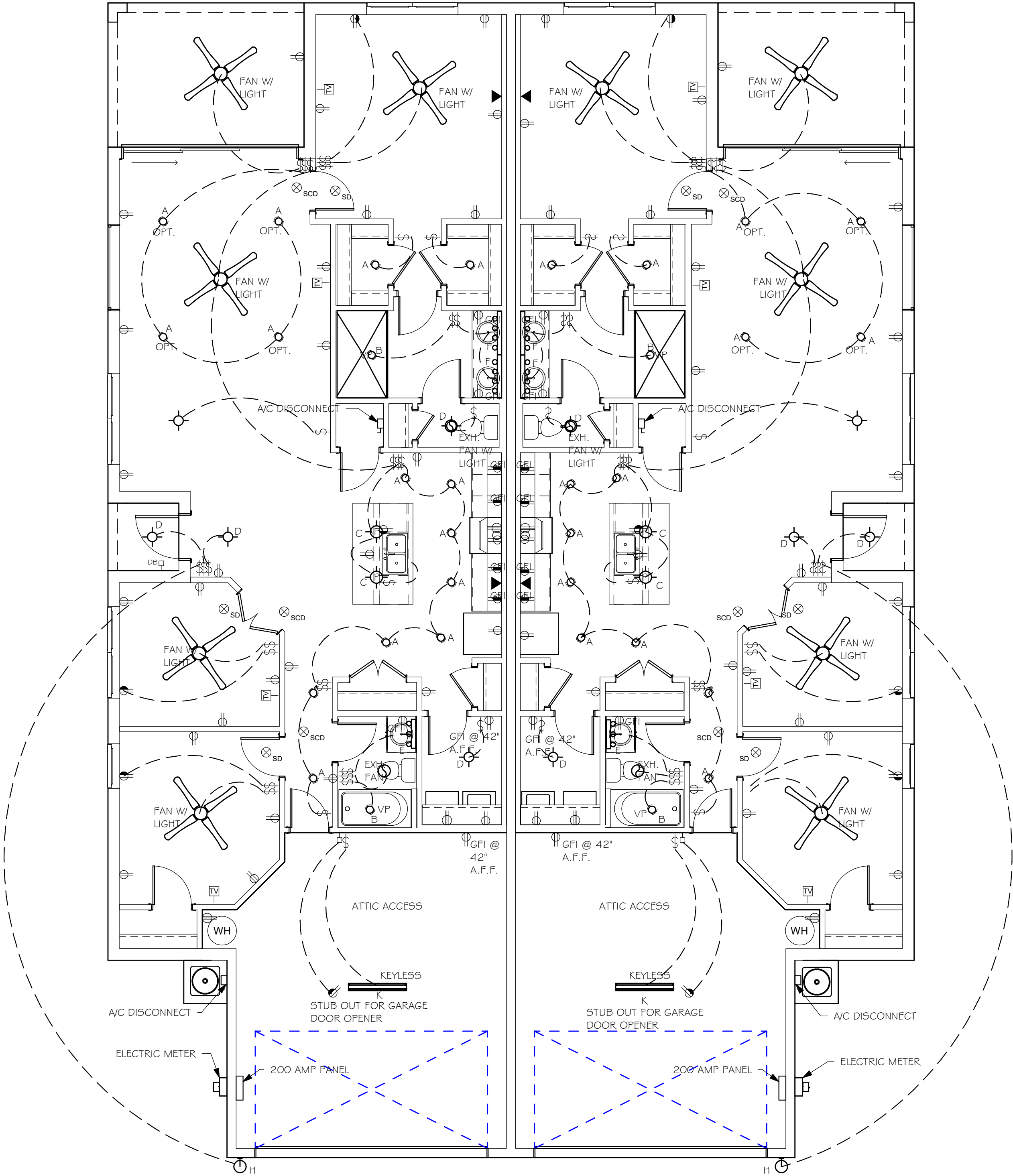
ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V. RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE AT ELEV. A.F.F.
	DUPLEX RECEPTACLE - ABOVE COUNTER
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES. PER RULE 9B-3.04.72 SD (SMOKE DETECTOR) SCD (CARBON MONOXIDE/ SMOKE DETECTOR)
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	FLUSH MOUNTED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON (PB) / DOOR BELL (DB)
	INTERCOM
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT
NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.	
ELECTRICAL NOTES: ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.11 ALL ELECTRIC, ELECTRICAL EQUIPMENT AND APPLIANCES TO BE SET AT OR ABOVE BASE FLOOD ELEVATIONS PLUS 1'-0" FREEBOARD. ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S. INSTALL PHONE AND T.V PER CONTRACT. INSTALL ALL ELECTRICAL PER NEC 2014	

ELECTRICAL NOTES FOR FIRE RATED WALLS	
ELECTRICAL OUTLETS PLACED IN FIRE RATED WALLS SHALL BE IN CONFORMANCE WITH THE UNDERWRITERS LABORATORIES, INC., FIRE RESISTANCE DIRECTORY, CURRENT EDITION. THESE REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SPECIFIC ITEMS: A) INDIVIDUAL OUTLET/SWITCH BOXES SHALL NOT EXCEED (16) SQUARE INCHES IN AREA. B) AGGREGATE AREA OF OUTLET/SWITCH BOXES SHALL NOT EXCEED (100) SQUARE INCHES WITHIN (100) SUARE FEET OF WALL AREA. C) OUTLET/SWITCH BOXES LOCATED ON OPPOSITE SIDE OF THE SAME WALL SHALL BE SEPERATED BY A MINIMUM OF (24) INCHES. D) ALL OUTLET/SWITCH BOXES SHALL BE SECURELY ATTACHED TO THE STUDS AND THE OPENING IN THE WALL BOARD FACING SHALL BE CUT SO THAT THE CLEARANCE BETWEEN THE BOX AND THE WALLBOARD DOES NOT EXCEED 1/8 INCH.	



AIR CONDITIONING COORDINATION REQUIRED.
PRIOR TO ORDERING ROOF TRUSSES, THE CONTRACTOR SHALL WORK WITH THE AIR CONDITIONING SUB CONTRACTOR TO DESIGN/PLAN AND LAYOUT THE LOCATION OF AIR HANDLING EQUIPMENT, AIR DUCT SIZE AND LOCATION AND COORDINATE THAT DESIGN WITH THE TRUSSES FOR SPACE, CONNECTIVITY, AND POSITION REQUIREMENTS. THE CONTRACTOR MUST ADVISE THE TRUSS COMPANY PRIOR TO ANY CONSTRUCTION OF TRUSSES OF THE AIR CONDITIONING/HANDLING EQUIPMENTS SIZES AND WEIGHT AND DUCT LAYOUT CONCERNS OR REQUIREMENTS THAT MAY HAVE THE POTENTIAL TO CHANGE OR MODIFY THE TRUSSES TO ACCOMMODATE THE SAME. THE CONTRACTOR SHALL COORDINATE CONDENSATION DISCHARGE LINE LOCATION, AND ELECTRICAL SERVICE TO AIR EQUIPMENT, AND PROVIDE ANY LOCAL DISCONNECTS, LIGHTS AND SERVICE PLATFORMS THAT MAY BE REQUIRED.

ELECTRICAL PLAN		
200 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(26)	(FLUSH MOUNTED LT)
B	(4)	(VAPORS)
C	(4)	(PENDANT LIGHT
D	(8)	(10" MUSHROOMS)
E	(2)	(24" AVALON 3 LT)
F	(4)	(36" AVALON 4 LT)
G	(X)	(NOT USED)
H	(2)	(COACH LIGHTS)
I	(X)	(COACH LIGHTS)
J	(1)	(J BOX)
K	(2)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(5LT CHANDELIER)
N	(X)	(3 LT AVALON)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)



ELECTRICAL PLAN
3/16" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

D-R HORTON

NYSE

America's Builder

Gulf Coast

Drafting & Design, Inc.

EMAIL: PLANS@GULFCOASTDRAFTING.COM

PHONE: 239-540-1822

1515 SE 47th ST. CAPE CORAL, FL 33904

MODEL 1526 VILLA	LOT: 222	DATE: 05/28/20
	SUBDIVISION: WEST VILLAGES TV's	DRAWN BY: JBL
	ADDRESS: 20670 SAINT KITTS WAY	CHECKED BY: JWC
	D.R.H. #: 5797780067	REVISED:
GCD JOB # 1 1622		PLAN: ELECTRICAL
		SCALE: As indicated
A-5		

Y:\O-New Data\1 - MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\WEST VILLAGES TV's\1 1622 LOT 222-223 1526 AREVIT\1 1622 1526 A.rvt

1

RESIDENTIAL SPECIFICATIONS

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING. THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT.
ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT MOPED DIPPED GALVANIZED OR STAINLESS STEEL. CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
- TREATED WOOD REQUIREMENTS:-
ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY.
ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
- CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
- LANAI CEILINGS & COVERED ENTRY CEILINGS
1X4 STRIPPING @ 1'6" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS. 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

3

GENERAL ROOF ASSEMBLY

ROOF SHEATHING
SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL 1" CLIPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 4' O.C. EDGE AND 6' O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK NAILS PER R303.2.3.1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.

FLASHING
FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE A250 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G30. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURER'S PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R305.2.8 (1 TO 5).

D RIP EDGE
D RIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS, LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". D RIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE D RIP EDGE FLANGE.

6

ASPHALT SHINGLE ROOF SPECS

SHINGLES

15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF 2 FASTENERS PER SHINGLE TAB, AND SHALL IN NO CASE BE FASTENED WITH LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. INSTALLATION SHALL COMPLY WITH MANUFACTURES REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.

FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 1/2 GAUGE (0.105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL BE A LENGTH TO PENETRATE THE SHEATHING

THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND SHALL BE CORROSION RESISTANT BY ELECTRO GALVANIZATION, MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL

4

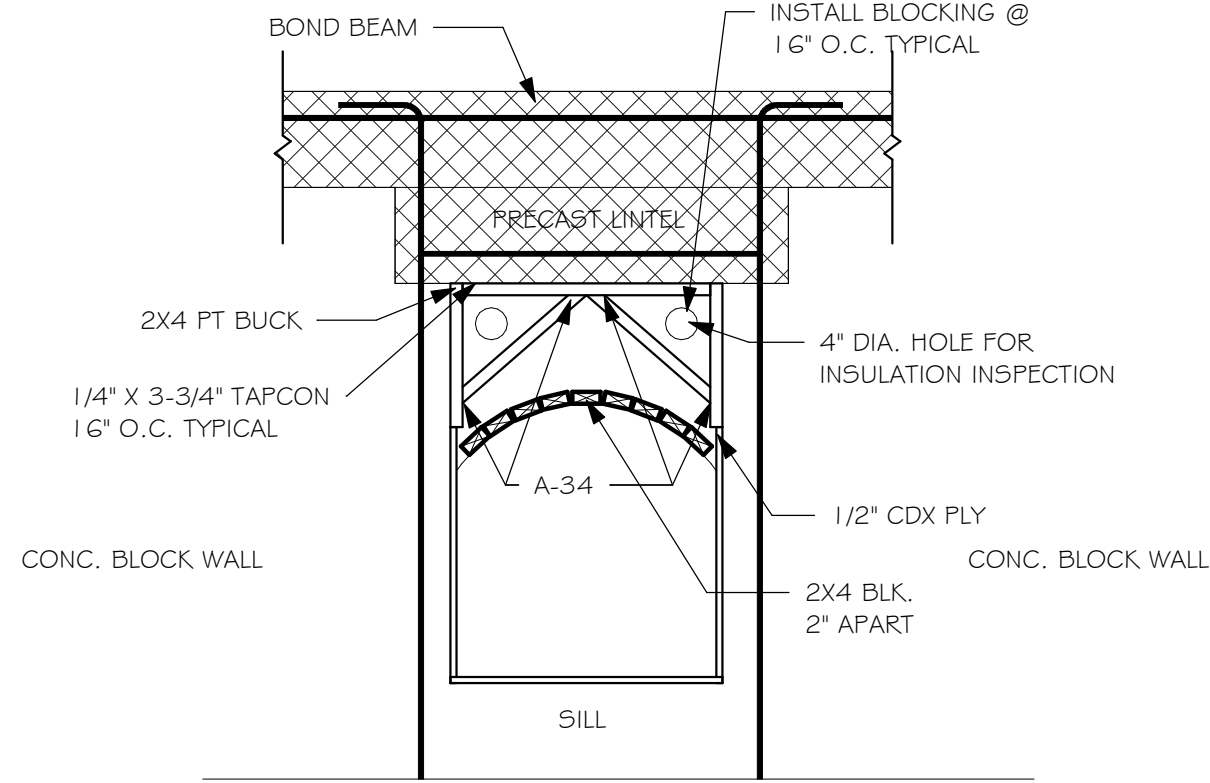
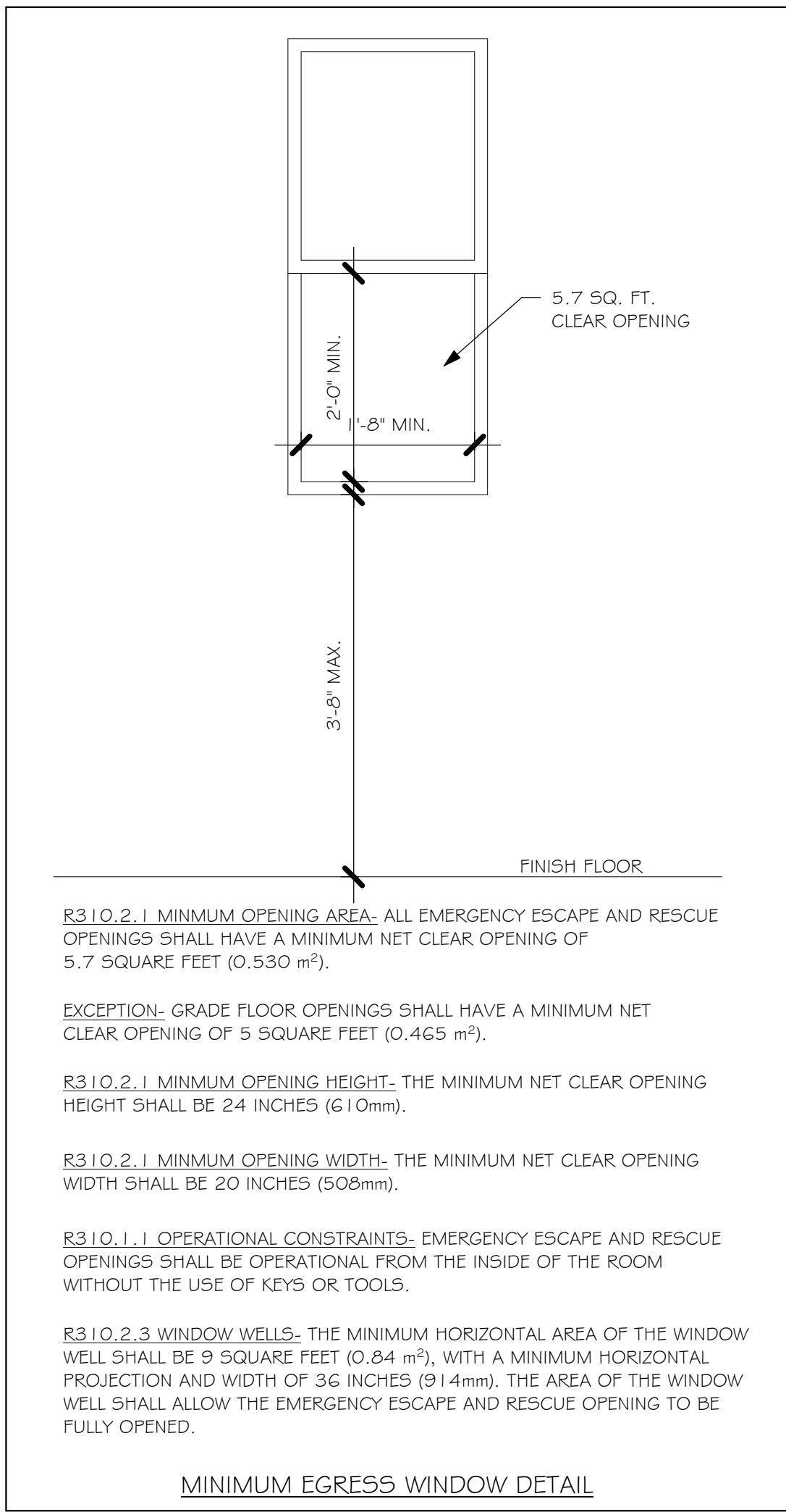
CLAY AND CONCRETE ROOF TILE SPECS

INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE LAYER APPLICATION UNDER TILE ROOF.
THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF R905.3 F.B.C.
MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURER'S IDENTIFICATION MARK.
APPLICATION SPECIFICATIONS: THE TILE MANUFACTURER'S WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING:
1. TILE PLACEMENT AND SPACING,
2. ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CURRENT WIND CODE,
A. AMOUNT AND PLACEMENT OF MORTART
B. AMOUNT AND PLACEMENT OF ADHESIVE
C. TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS.
3. UNDERLAYMENT
4. SLOPE REQUIREMENT.

5

FLOOR SHEATHNG AT 2ND FLOOR

A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATING 48/24 OR BETTER, GLUED AND NAILED



SPECIAL NOTE:

FRAMING OF DECORATIVE ARCHES AT WINDOW AND DOOR OPENINGS SHALL COMPLY WITH THE FOLLOWING:

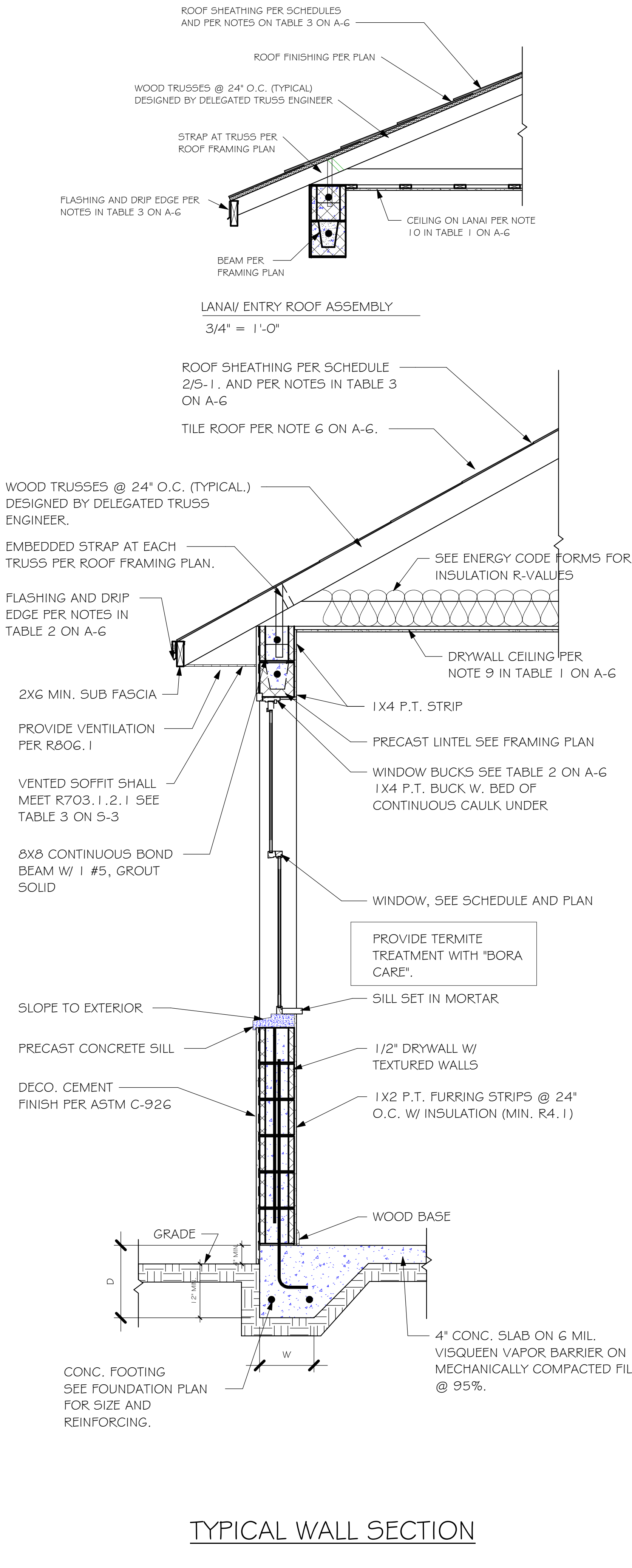
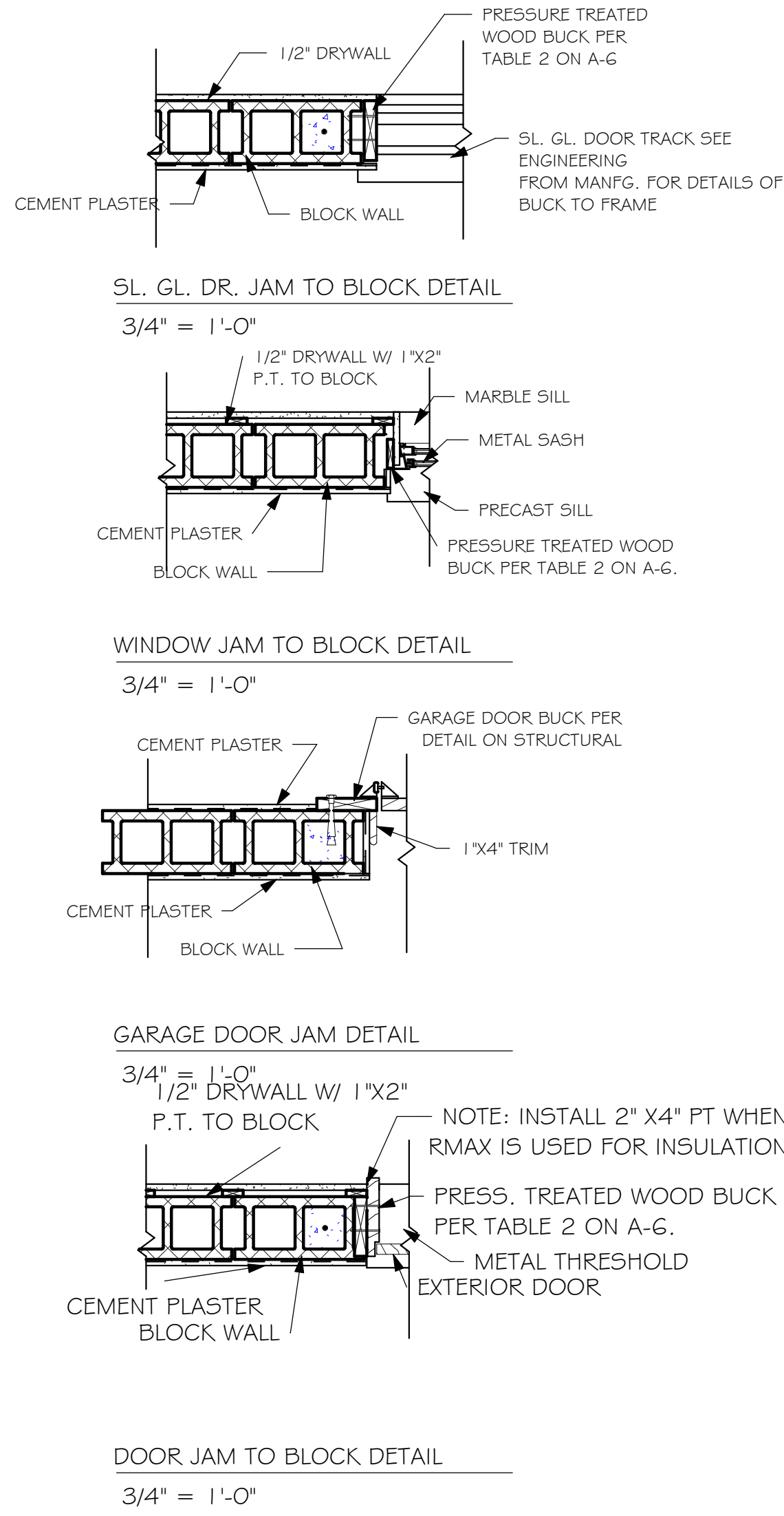
1 X 4 MIN. BLOCKING ATTACH W/ (2) 8d NAILS TYPICAL EACH END

4" DIA. HOLE FOR INSULATION INSPECTION

ATTACH 1X4 OR 1X8 PT W/ (2) 8d NAILS STAGGERED 8" O.C. FOR FRAME APPLICATIONS OR 1-1/2" O. 1 1/3" CASE HARDENED PNEUMATIC DRIVEN NAILS STAGGERED @ 8" O.C.

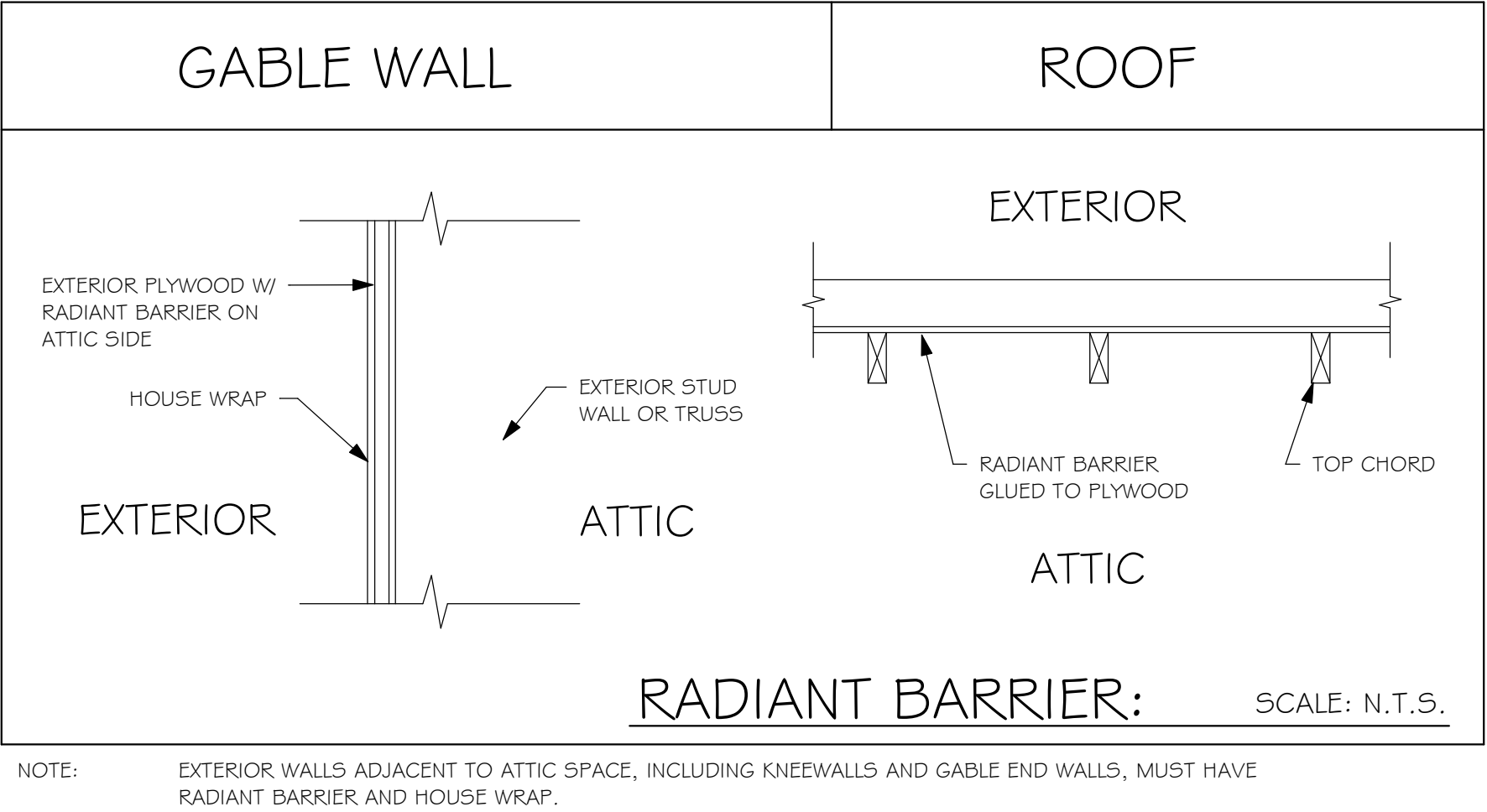
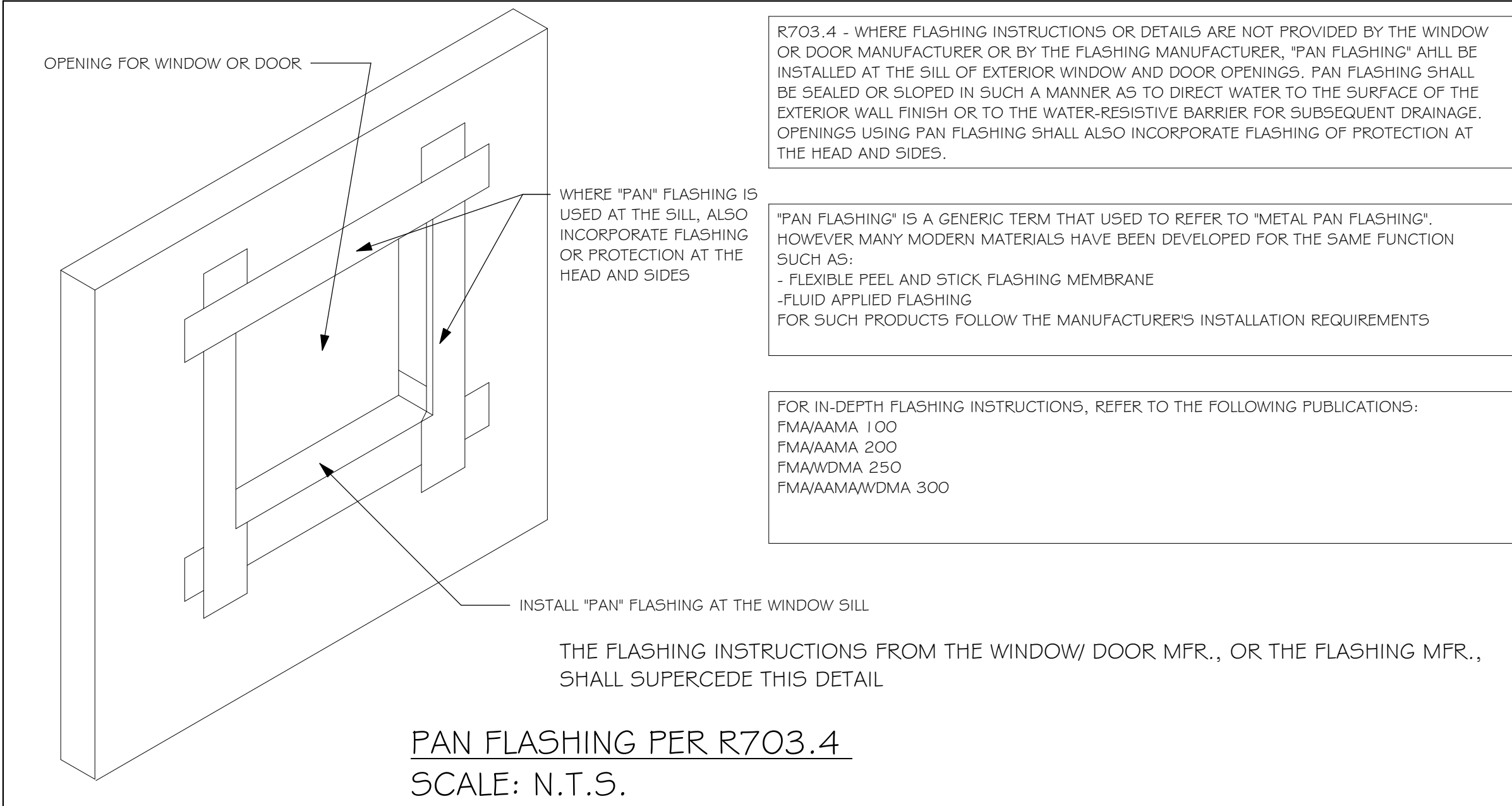
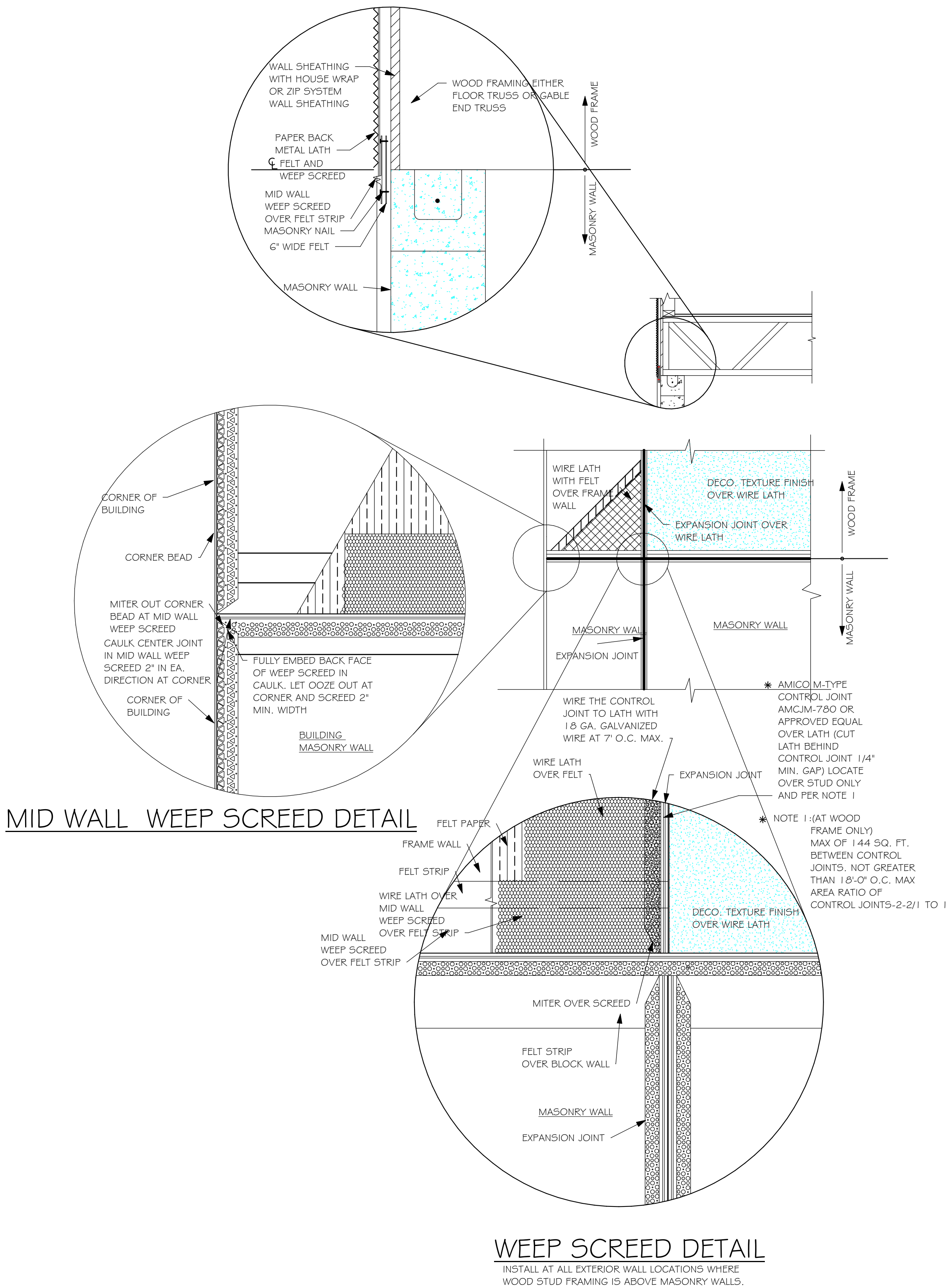
1-5/32" C-D PLYWOOD, BOTH SIDES. ATTACH W/ 8d NAILS 6" O.C. EDGE.

FILL IN FRAMING



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STRUCTURAL DIVISION SYSTEMS of North Florida 1515 SE 47th St. Cape Coral, FL 33904 (239) 549-4254 CDD 889	
LOT: 222	SUBDIVISION: WEST VILLAGES TV's
ADDRESS: 20670 SAINT KITTS WAY	
D.R.H. #: 579780067	
MODEL 1526 VILLA	
GCD JOB # 11622	
DATE: 05/28/20	
DRAWN BY: JBL	
CHECKED BY: JWC	
REVISED:	
PLAN: SECTIONS	
SCALE: As indicated	
A-6	

Y:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\WEST VILLAGES TV's\1 1622 LOT 222-223 1526 AREVIT\1 1622 1526 A.rvt



DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

D-R HORTON®

NYSE

America's Builder

Gulf Coast

Drafting & Design, Inc.

EMAIL: PLANS@GULFCOASTDRAFTING.COM

PHONE: 239-540-1822

1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 222	MODEL	DATE:
SUBDIVISION: WEST VILLAGES TV's	1526 VILLA	05/28/20
ADDRS: 20670 SAINT KITTS WAY	GCD JOB # 11622	DRAWN BY: JBL
D.R.H. #: 579780067		CHECKED BY: JWC
		REVISED:
		PLAN: BANDING DETAILS
		SCALE: As indicated
	A-7	



2 NOTE: EXTERIOR CEILINGS AND SOFFITS 1) AND 2) SPECIFIED
HERE MEET THE DESIGN WIND PRESSURES PER R703.1.2.1.

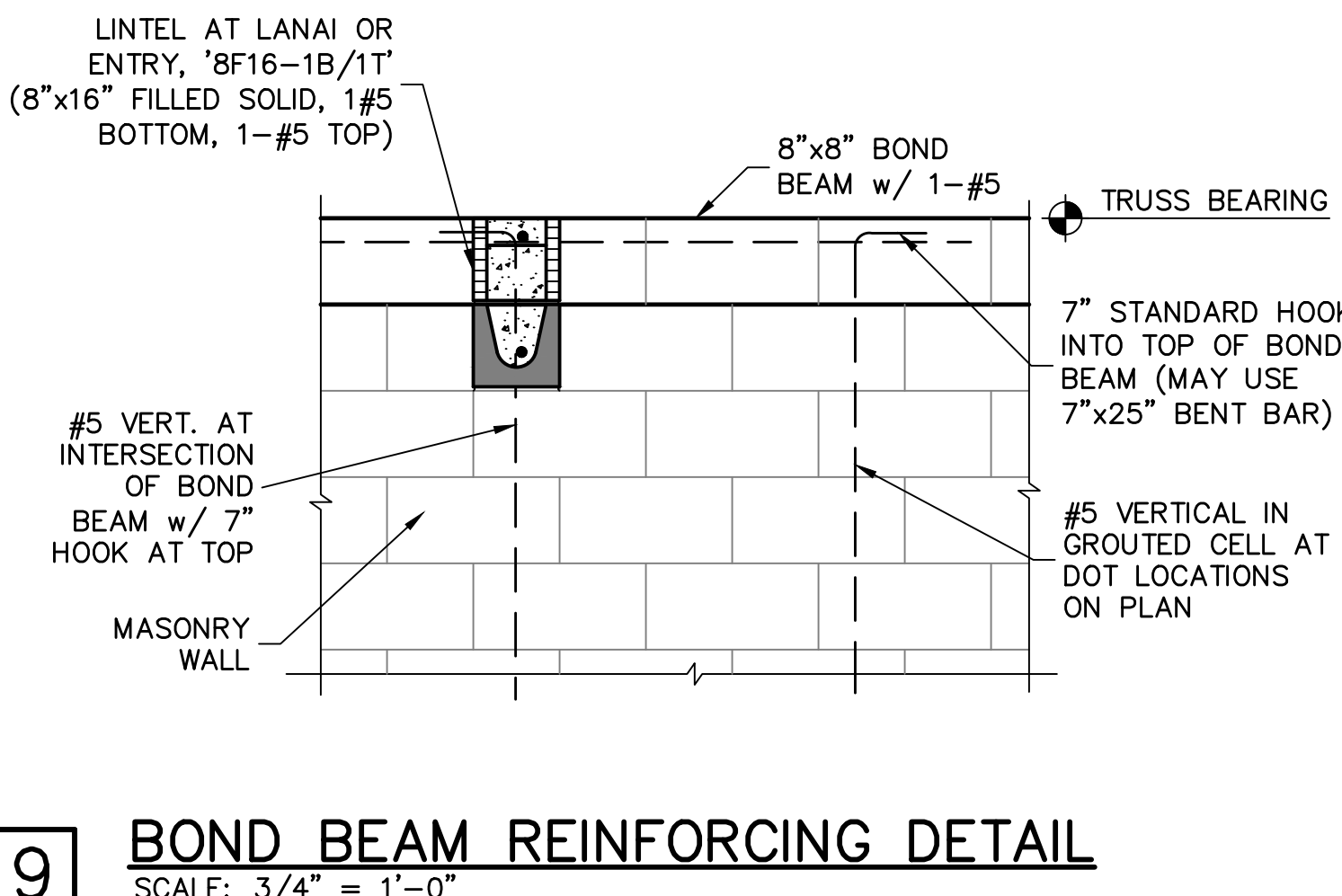
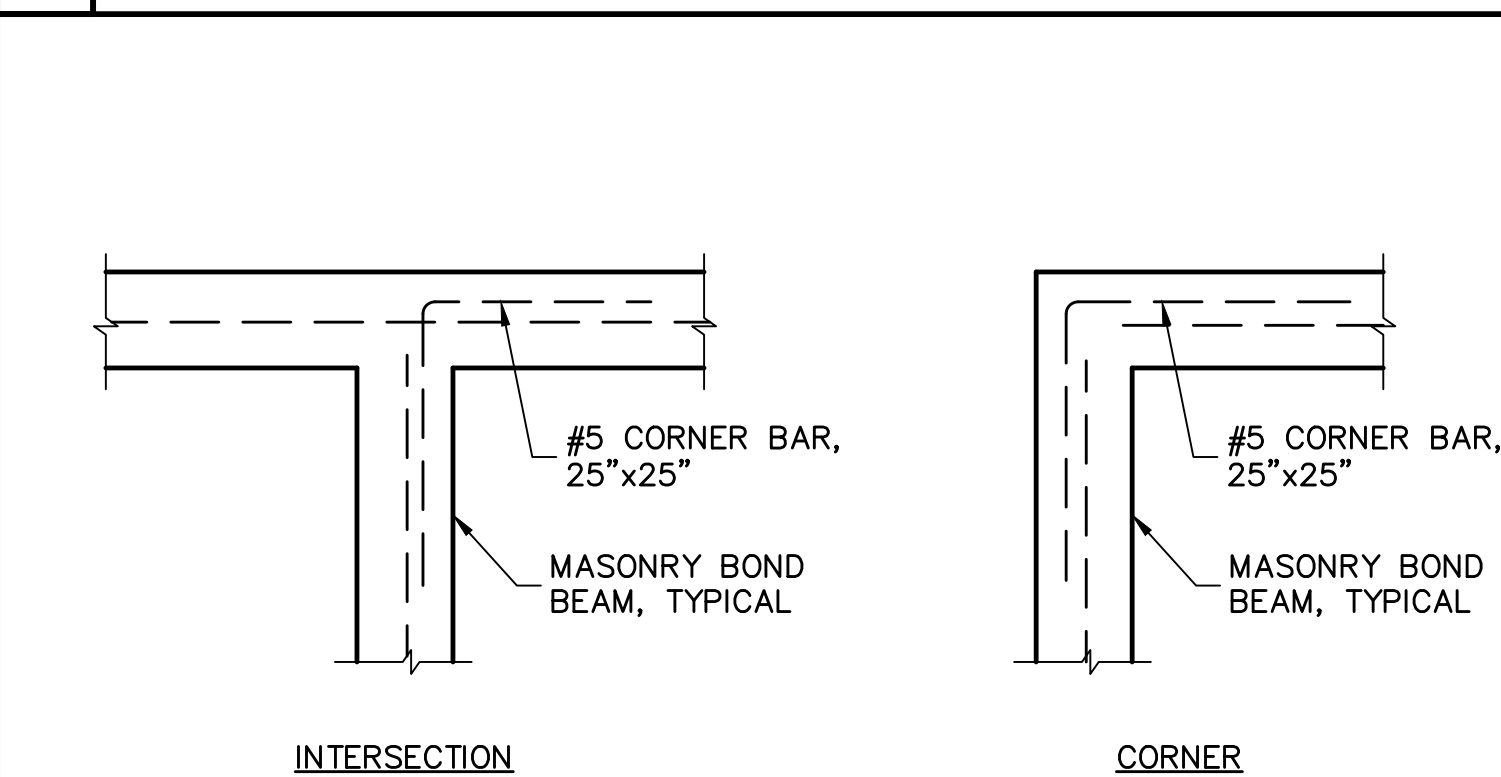
- 1) TABLE MAY BE USED FOR ANY SIZE WINDOW OR DOOR IN EACH TYPE.
- 2) USE "INTERIOR ZONE 4" PRESSURES UNLESS WINDOW OR DOOR IS LOCATED WITHIN THE "END ZONE 5" (SEE DIAGRAM BELOW), THEN USE THE HIGHER PRESSURES UNDER THE "END ZONE 5" COLUMN.
- 3) ALL GLASS / GLAZING SHALL BE IMPACT RATED OR USE IMPACT RATED SHUTTERS.
- 4) SUBMIT PRODUCT APPROVALS TO THE BUILDING DEPARTMENT AS REQUIRED BY THE LOCAL JURISDICTION.
- 5) MANUFACTURED SOFFIT PRODUCTS SHALL BE INSTALLED PER MFR ENGINEERING SPEC SHEETS.
ON IRREGULAR SHAPED BUILDINGS,
THERE IS NO GUIDANCE IN THE CODE
FOR HOW FAR A CORNER MUST
PROTRUDE FROM THE MAIN BUILDING
TO BE CONSIDERED "ZONE 5". WE
HAVE CHOSEN ">15'-", THIS IS SUBJECT
TO JUDGEMENT BY THE
AUTHORITY HAVING JURISDICTION.

TYPICAL HOUSE PLAN

- END ZONE 5 PRESSURE AT "PRIMARY" OUTSIDE OF BUILDING (BOLD LINE)
- INTERIOR ZONE 4 PRESSURES
- MEASURE FACE OF
- WIDTH = 5'-0"

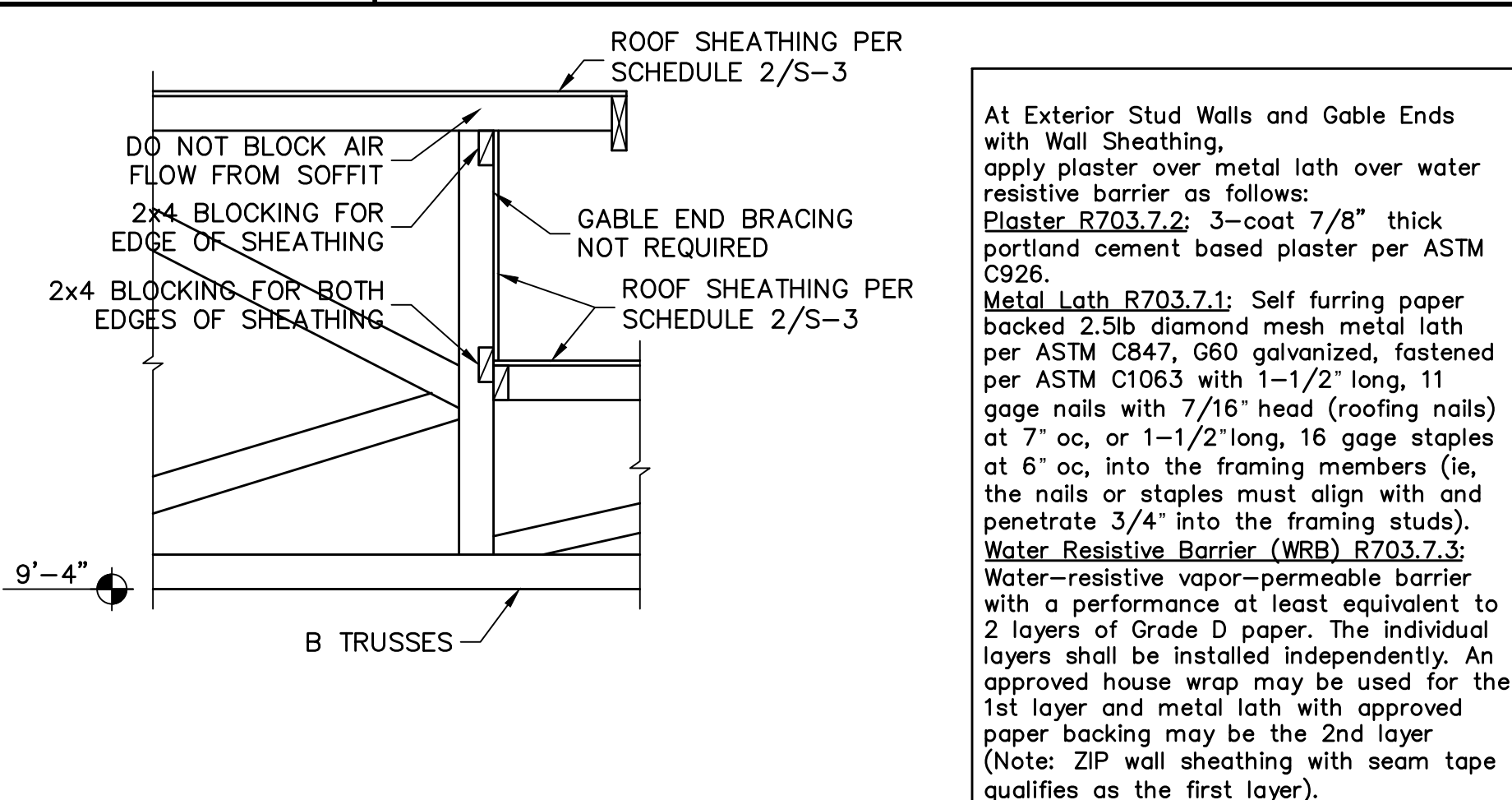
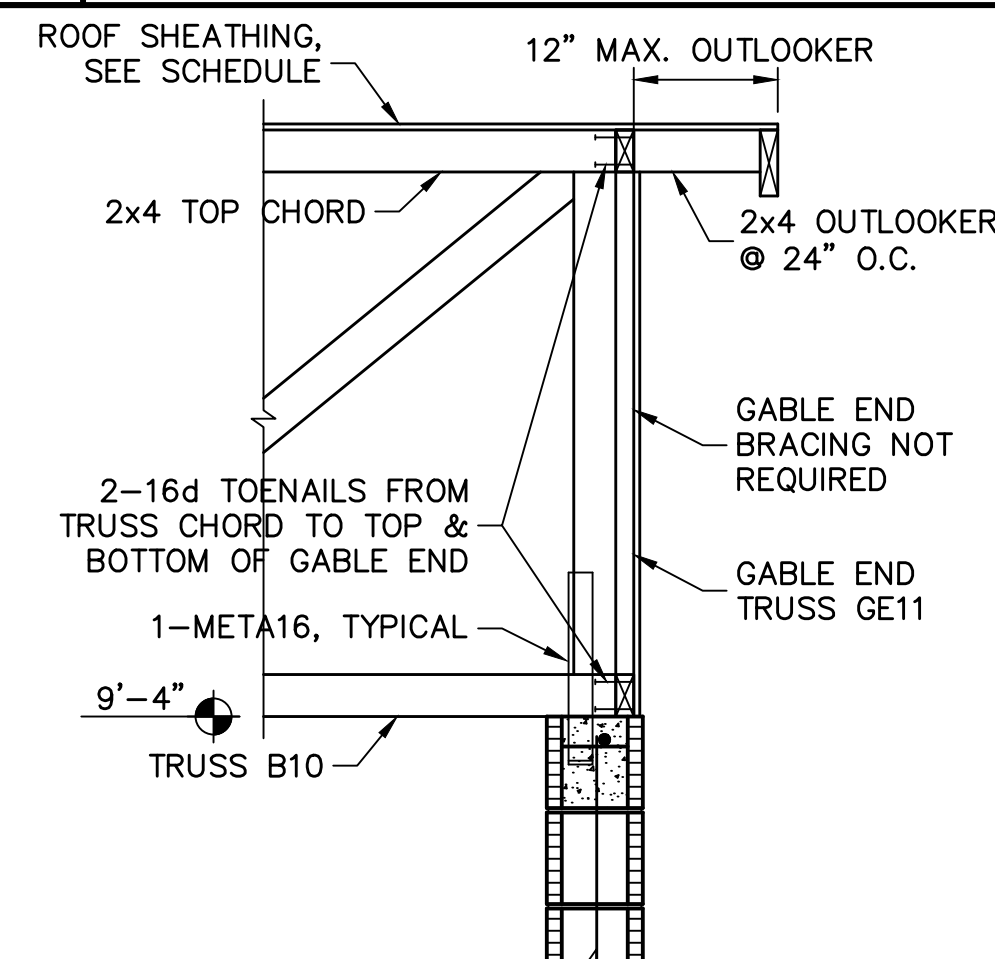
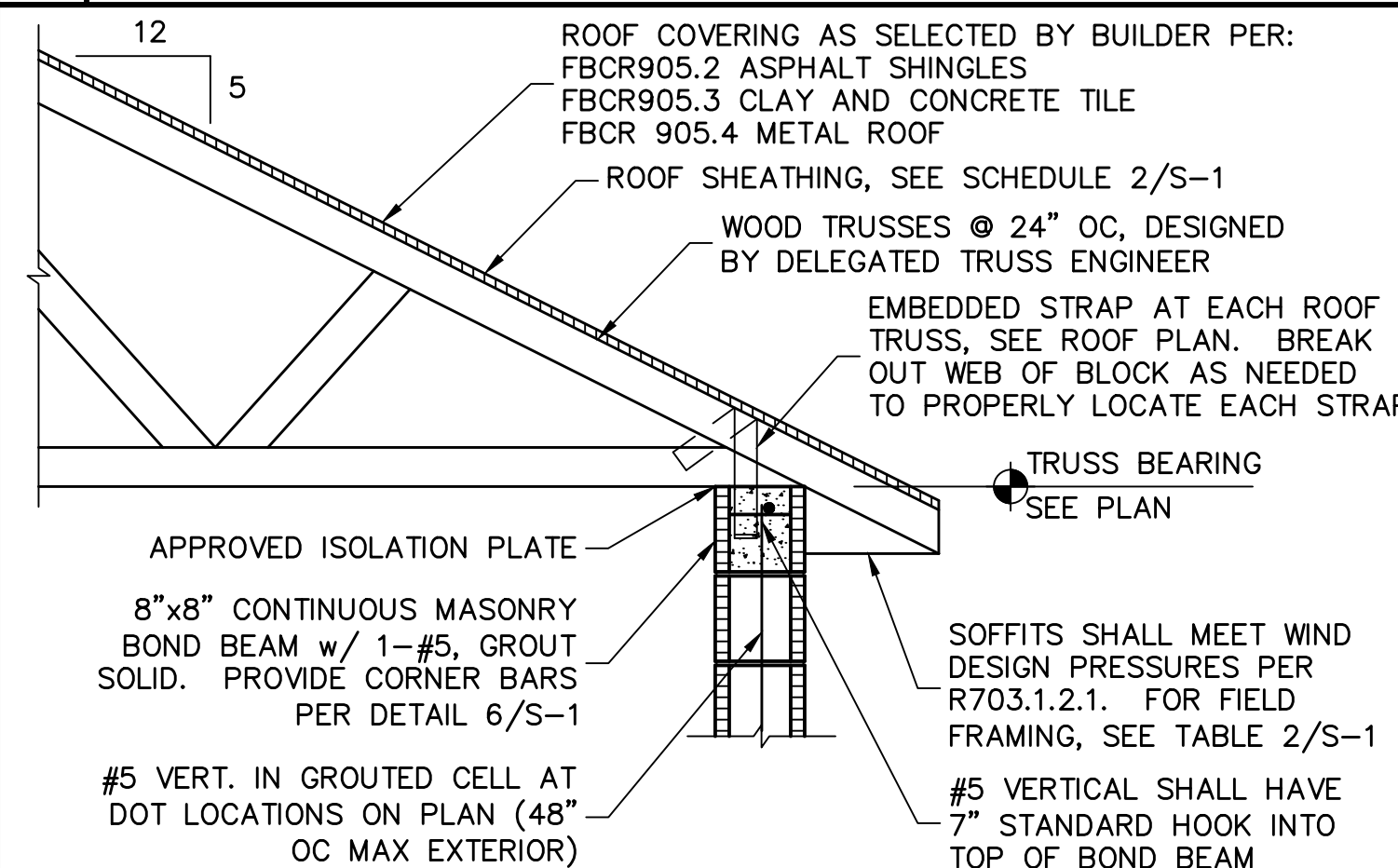
IN ZONE 5, MANUFACTURED SOFFT PRODUCTS MAY REQUIRE ADDITIONAL BATTONS OR FASTENING PER MFR ENGINEERING SPEC SHEETS TO MEET THE PRESSURE REQUIREMENTS.

-
- FIGURE 10-10. Footing Reinforcement Details.
-
- FIGURE 10-11. Footing Reinforcement Details.
- STEP FOOTING**
SCALE: NTS
- FOOTING CORNER BARS**
SCALE: NTS



NOTES:

- 1) WHERE EMBEDDED STRAP IS MISSING OR MIS-LOCATED, PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.
- 2) CONNECTORS ARE SIMPSON STRONG TIE. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SIMPSON PRINTED INSTRUCTIONS.

[illegible]

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(239) 549-4554
CA# 8829

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BUILDER:

D·R·HORTON · PHILADELPHIA
America's Builder

**STRUCTURAL DETAILS FOR
1526 SIGNATURE VILLA**

20670, 20676 SAINT KITTS WAY
VENICE, FLORIDA

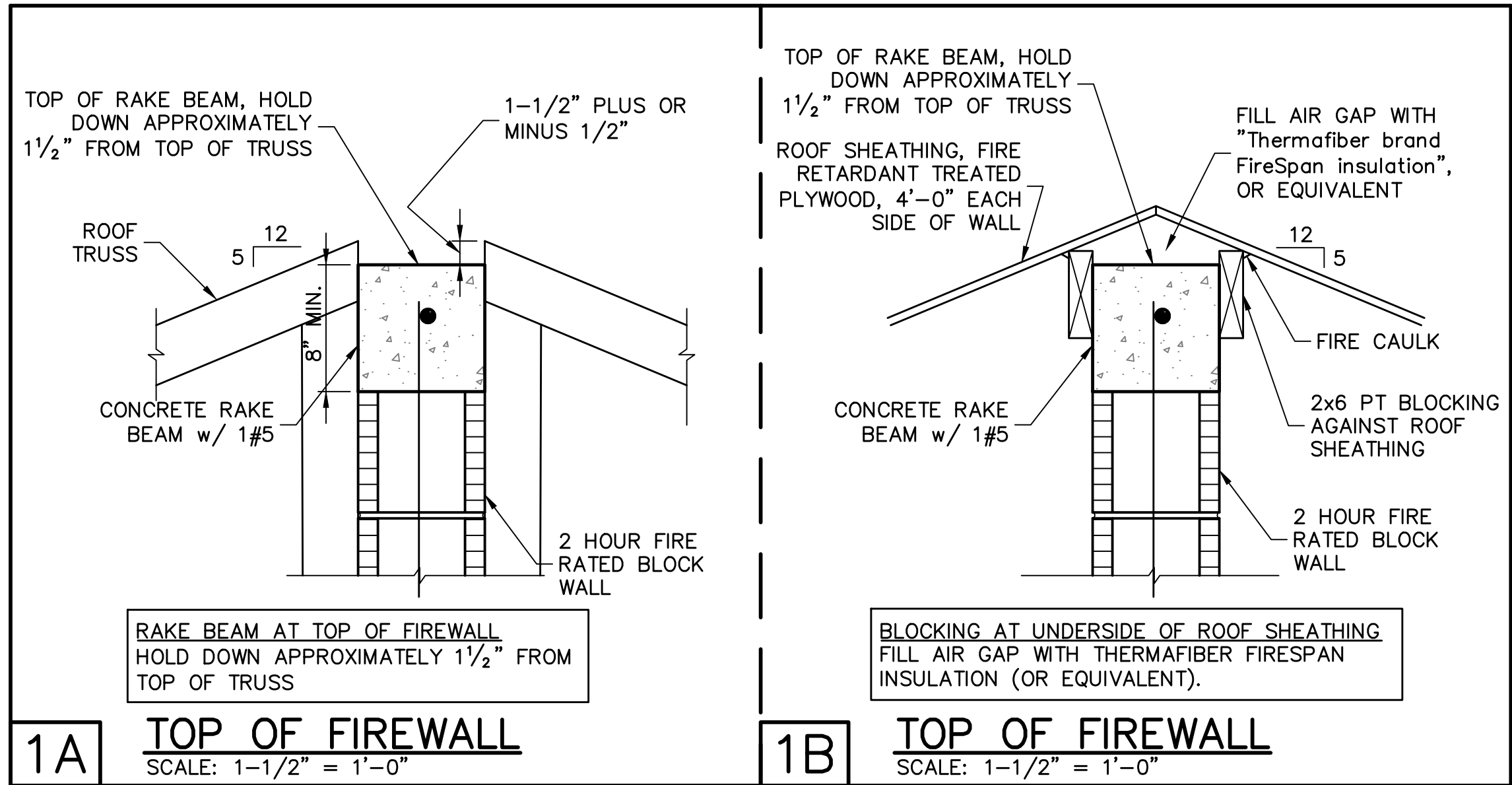
LOTS: 222-223 SUBDIVISION: WEST VILLAGES

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DATE
05/27/20
SCALE
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JOB NO.
DR11622
SHEET

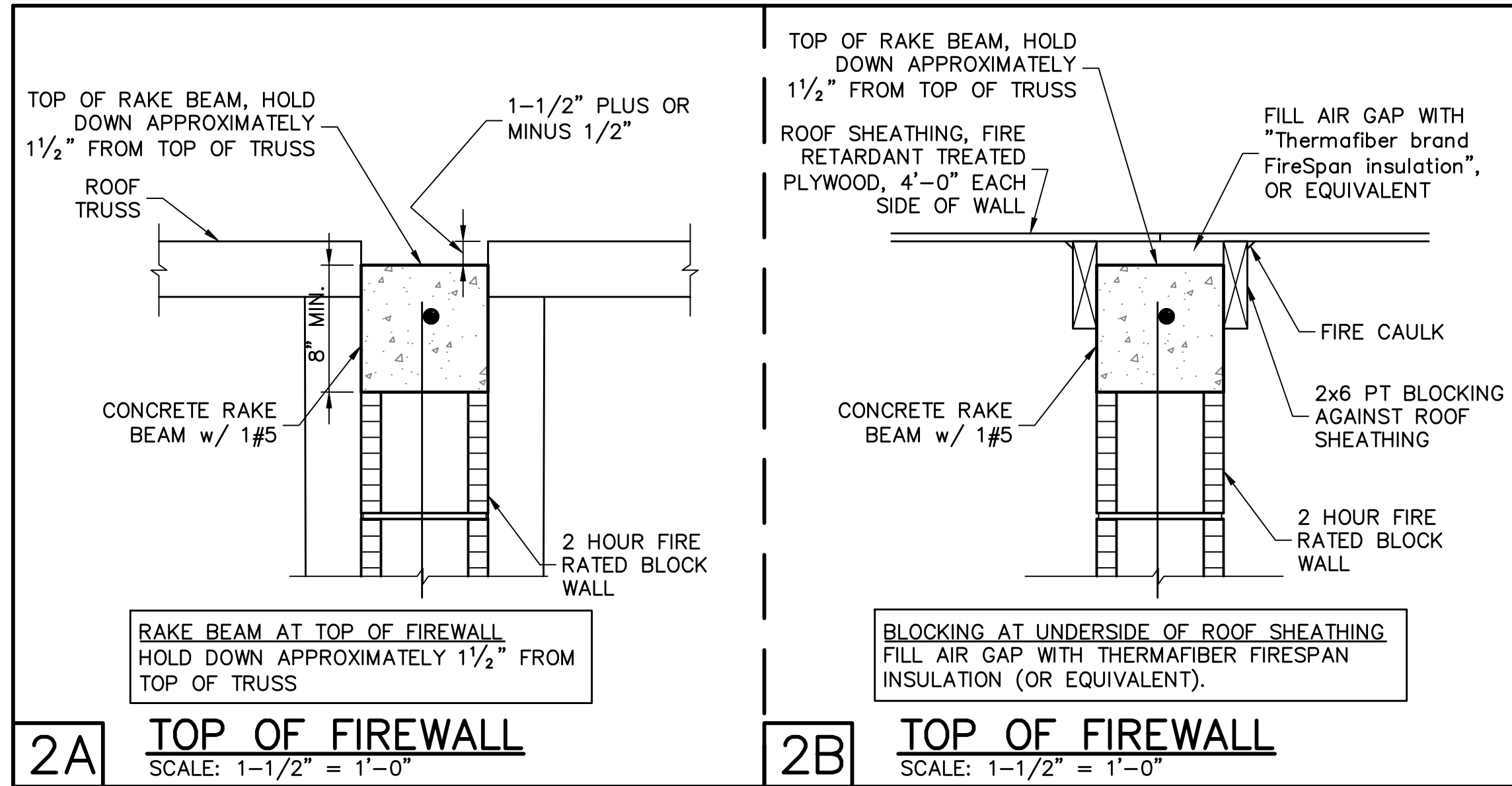
S-1

SHEET 1 OF 3

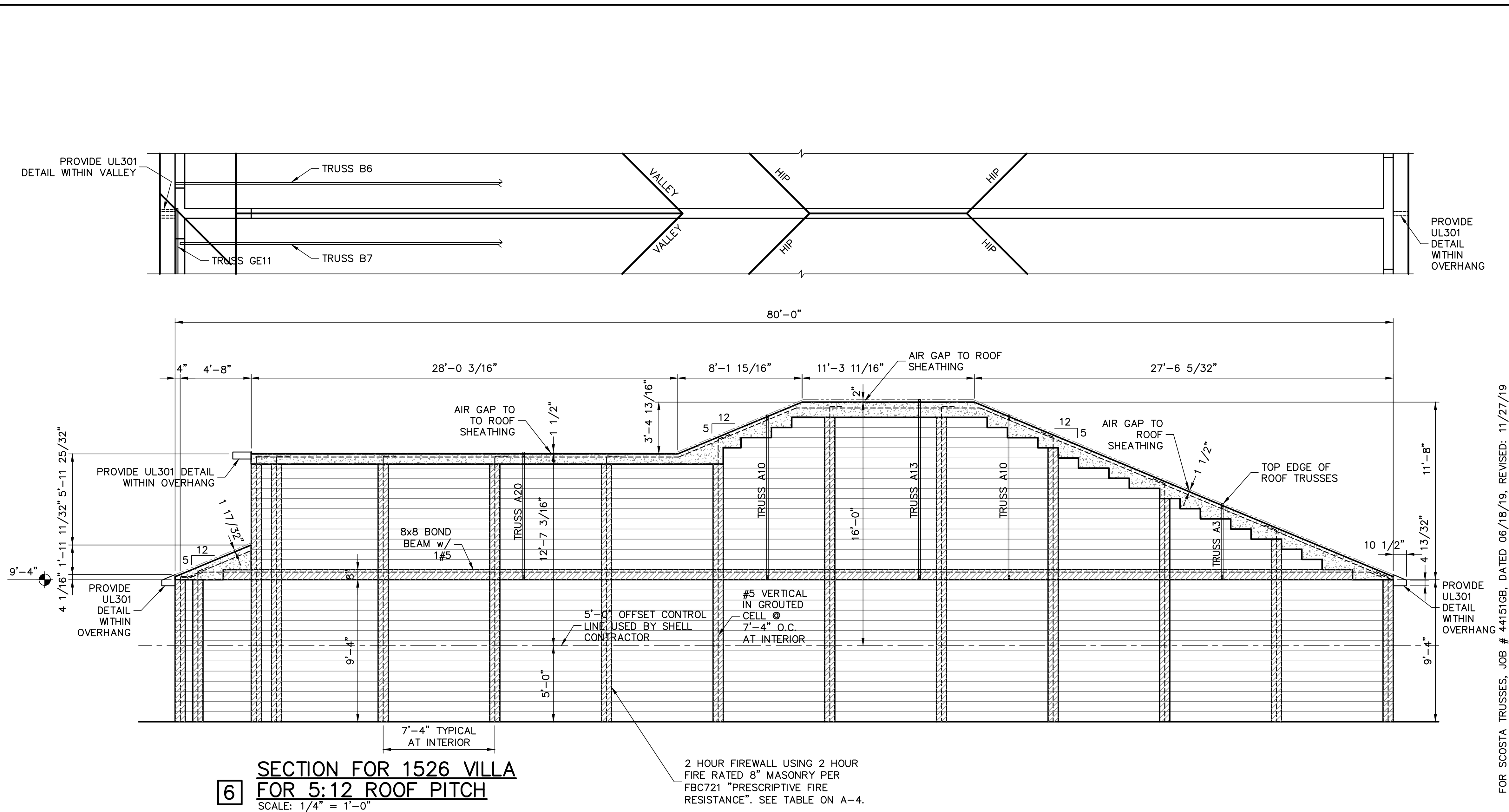
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SLOPED TRUSSES



FLAT TRUSSES



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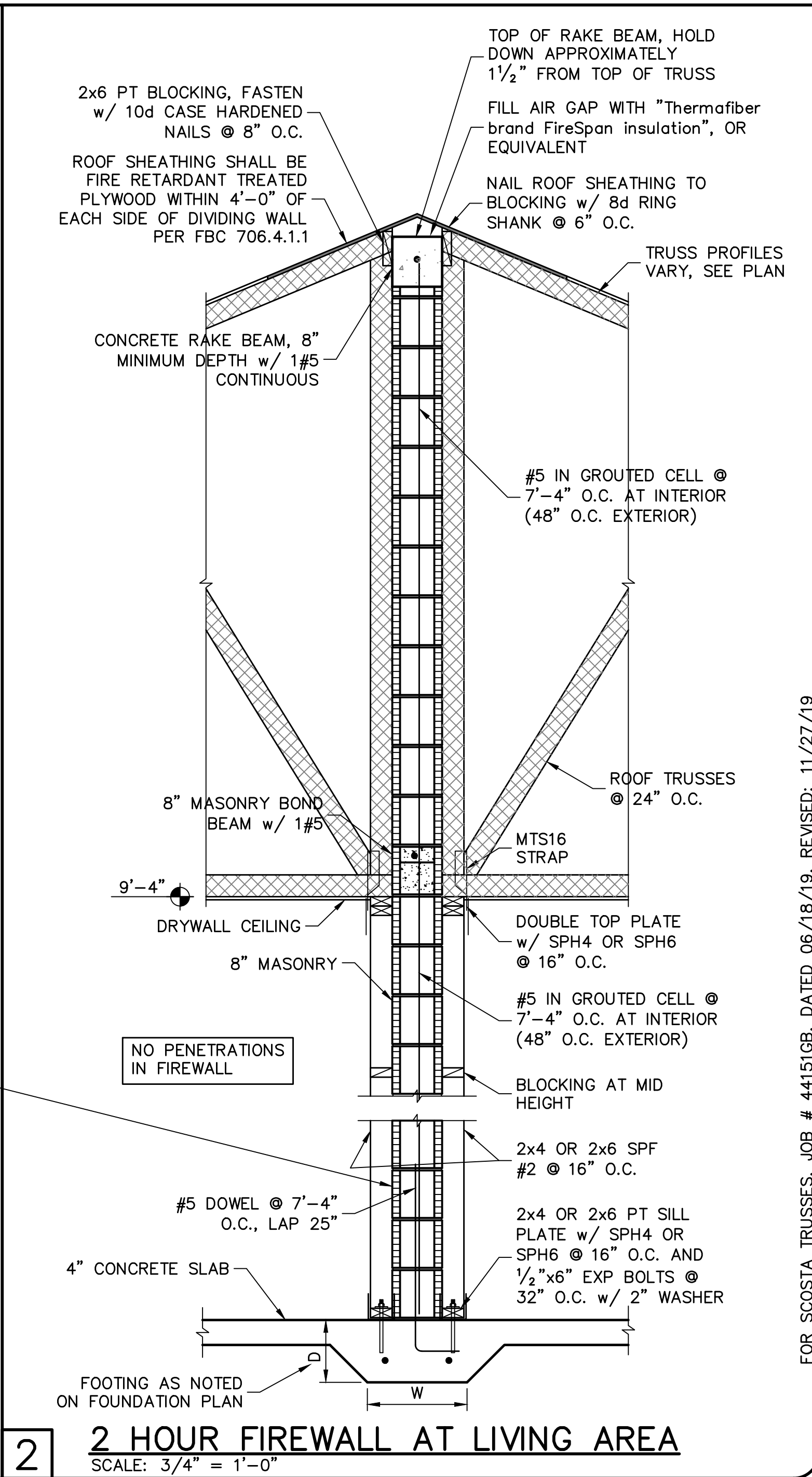
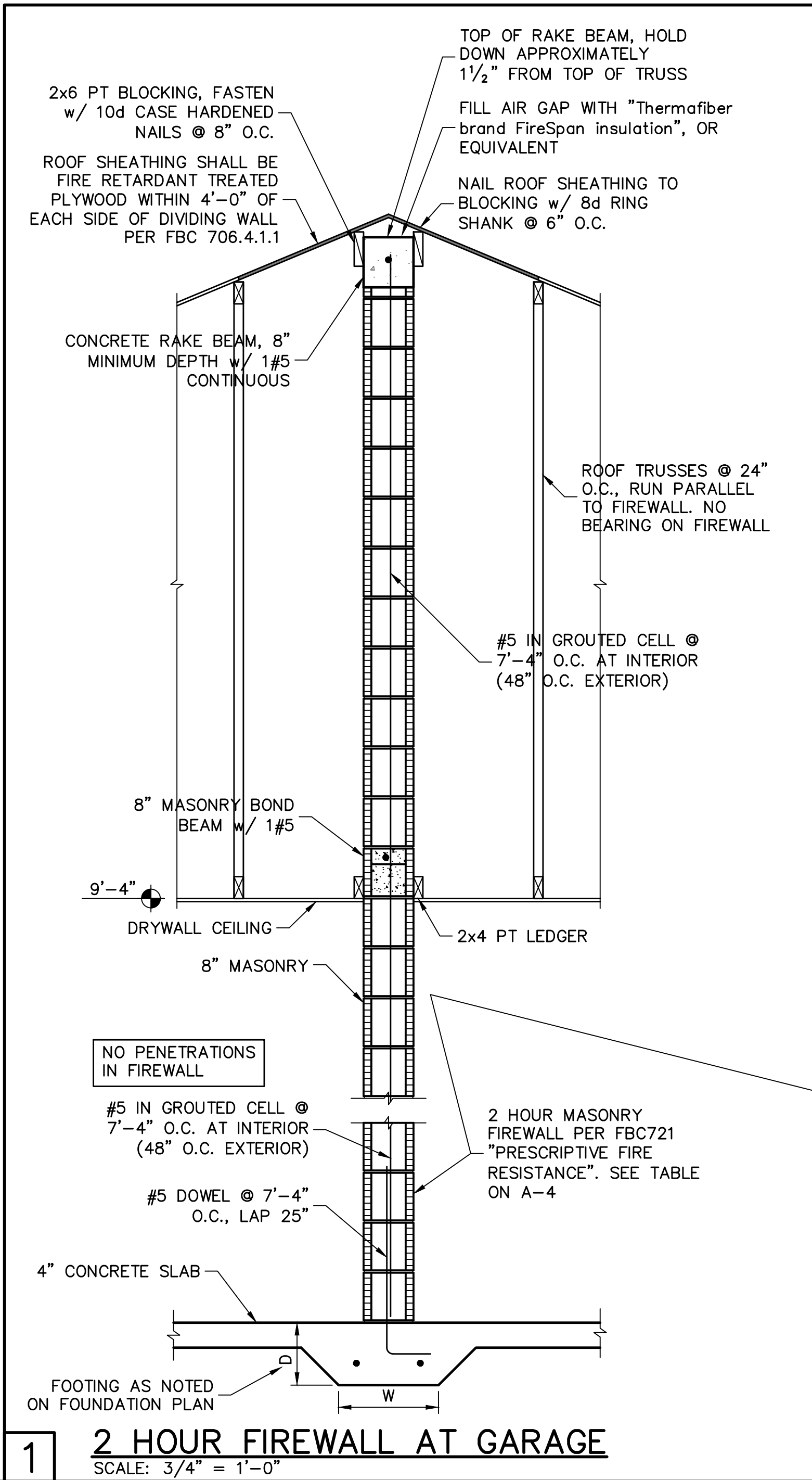
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SHEET

S-2
SHEET 2 OF 3


FOR SCOSTA TRUSSES, JOB # 44151GB, DATED 06/18/19, REVISED: 11/27/19



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S-3

SHEET 3 OF 3

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