

October 16, 2020

DR Horton
10541 Six Mile Cypress Parkway
Fort Myers, FL 33966

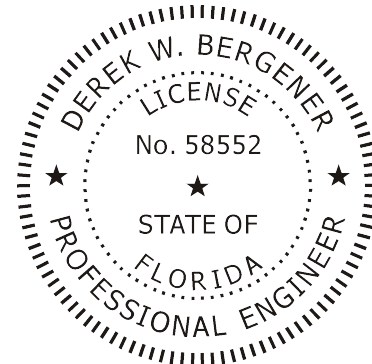
RE: AUTHORIZATION LETTER FOR MASTER PERMIT B20-06945
Model 1389 A Right
Subdivision: Gator Circle Spot Lots, Lots 27-28, Block 5681
844 NE 38th Terrace, Cape Coral, Florida

This letter is to authorize DR Horton to obtain a building permit for the above referenced address based on Master Permit plans B20-06945.

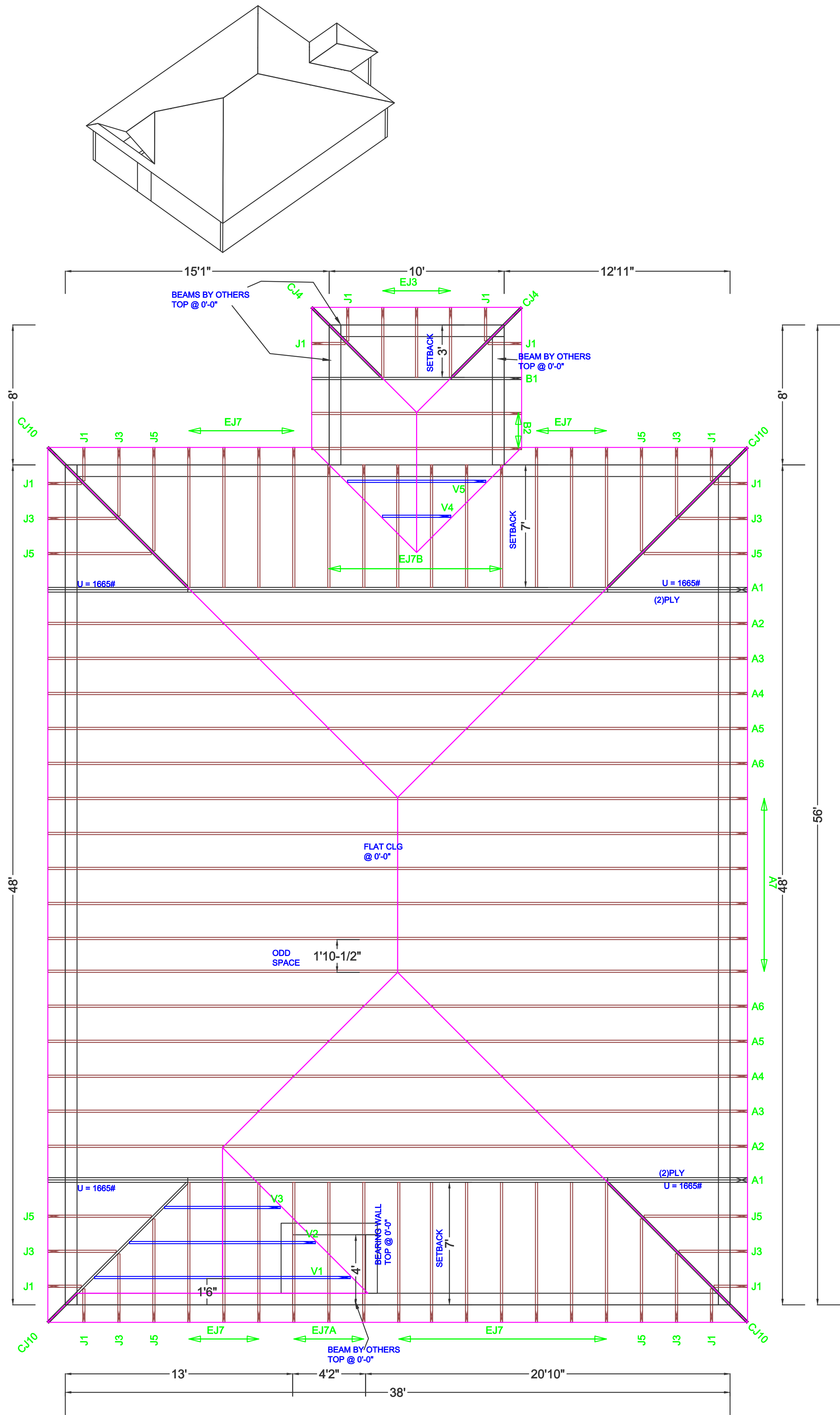
If you need any more information,
please call me at 239-549-4554.

Sincerely,

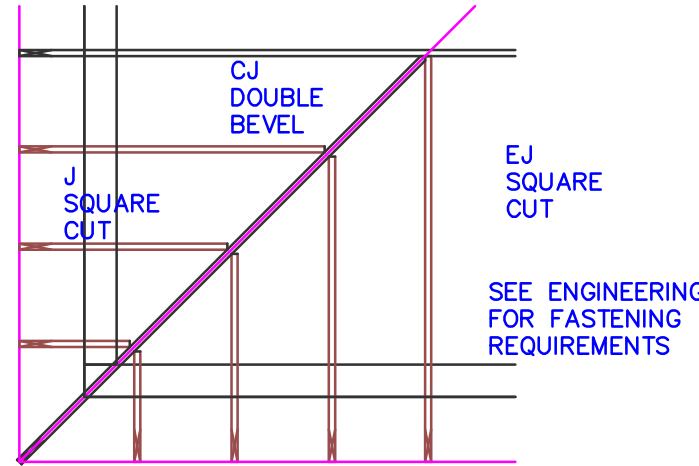
Structural Engineer of Record
Derek Bergener, PE 58552



This item has been digitally signed by Derek Bergener on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



TYPICAL JACK CUTS



DESIGN CRITERIA

TOP CHORD LIVE LOAD	20
TOP CHORD DEAD LOAD	7
BOTTOM CHORD LIVE LOAD	10#
BOTTOM CHORD DEAD LOAD	10
TOTAL LOAD	37
DURATION FACTOR	1.25
WIND DESIGN SPEED (MPH)	160
ASCE 7-10 CAT II EXP C MWFRS	
CLOSED FBC 2017	
MAX. WALL HT FOR WIND LOAD	8'-0"

SHINGLE

4" NOM.

3 13/16"

PL CUT OH

12"

8"

TYPICAL END DETAIL

****UNLESS NOTED****

REACTION VALUES ARE UNDER 5000#

UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24"o.c. UNLESS NOTED OTHERWISE

*******CAUTION*******

DO NOT ATTEMPT TO ERECT TRUSSES WITH-
OUT REFERRING TO THE ENGINEERING DWGS.

IT IS NECESSARY TO REFER TO THE ENGINEERING
DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION,
ORIENTATION AND WEB BRACING

REFER TO WTCA/TPI BSCI-B1 SUMMARY
SHEET FOR HANDLING METHODS & TEMPORARY
BRACING, WHICH IS ALWAYS REQUIRED

BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA
CORP. "+/-" BEARING DIFFERENCES SHOWN ARE CRITICAL.
IF ANY HEIGHTS DEVIATE - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS

	0'-0"	ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

TYPICAL HANGER SCHEDULE

(C) SIMPSON HUS 26	(M) SIMPSON HGUS 28-3
(F) SIMPSON HUS 28	(N) SIMPSON HHUS 48
(H) SIMPSON HGUS 28	(P) SIMPSON LUS 24
(I) SIMPSON HGUS 28-2	(B) SIMPSON THA 422
(W) SIMPSON THJA26	(X)

HANGER VALUES HAVE BEEN BASED ON 16D
COMMON NAILS EXCEPT THE FOLLOWING
LUS24 = 10D COMMON THJA26 = 10D x 1-1/2

*******ATTENTION*******

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY
BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS,
PITCHES, OVERHANGS, ELEVATIONS, CEILING &
BEARING CONDITIONS. SCOSTA CORPORATION IS
RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH
PLANS AND/OR INFORMATION PROVIDED BY
CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN.
CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF
INFORMATION AND PLANS PROVIDED TO SCOSTA
CORPORATION, AND TO VERIFY CONFORMANCE TO
FIELD CONDITIONS, AND/OR OWNER CHANGES.
TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE
APPROVED LAYOUT.

APPROVED BY: _____

DATE: _____ REQUESTED DELIVERY DATE: _____

JOB SITE CONTACT NAME: _____

PHONE #: _____

E-MAIL: _____

SCOSTA CORP.

WOOD, STEEL OR TIMBER
ROOF & FLOOR TRUSSES

3670 COMMERCE CENTER DRIVE
SEBRING, FL 33870
(863) 385-8242

SCALE: 1/4"=1'-0" DATE: 12/11/19 REVISED BY: DRAWN BY: J. CLEVELAND

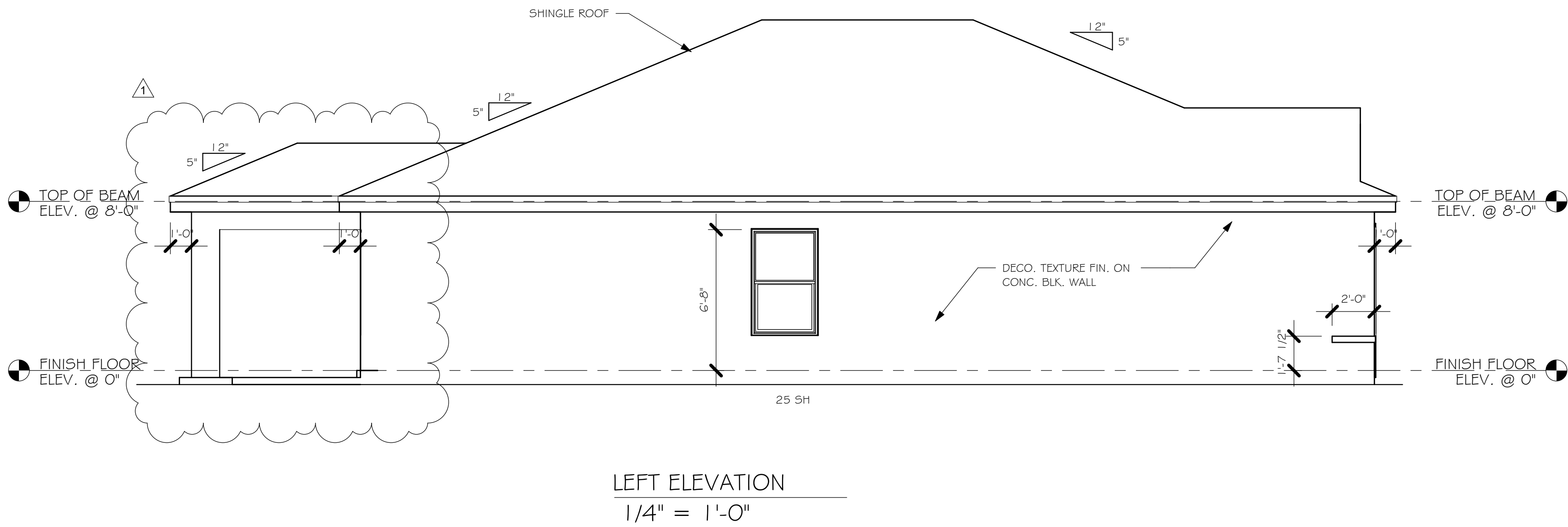
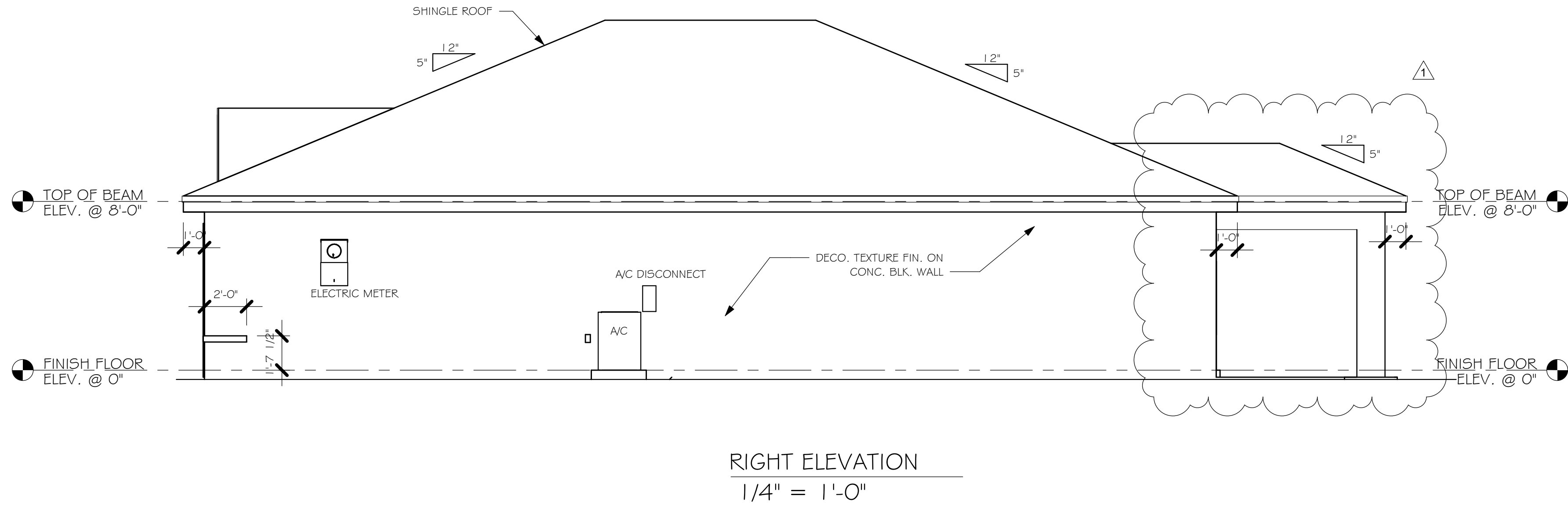
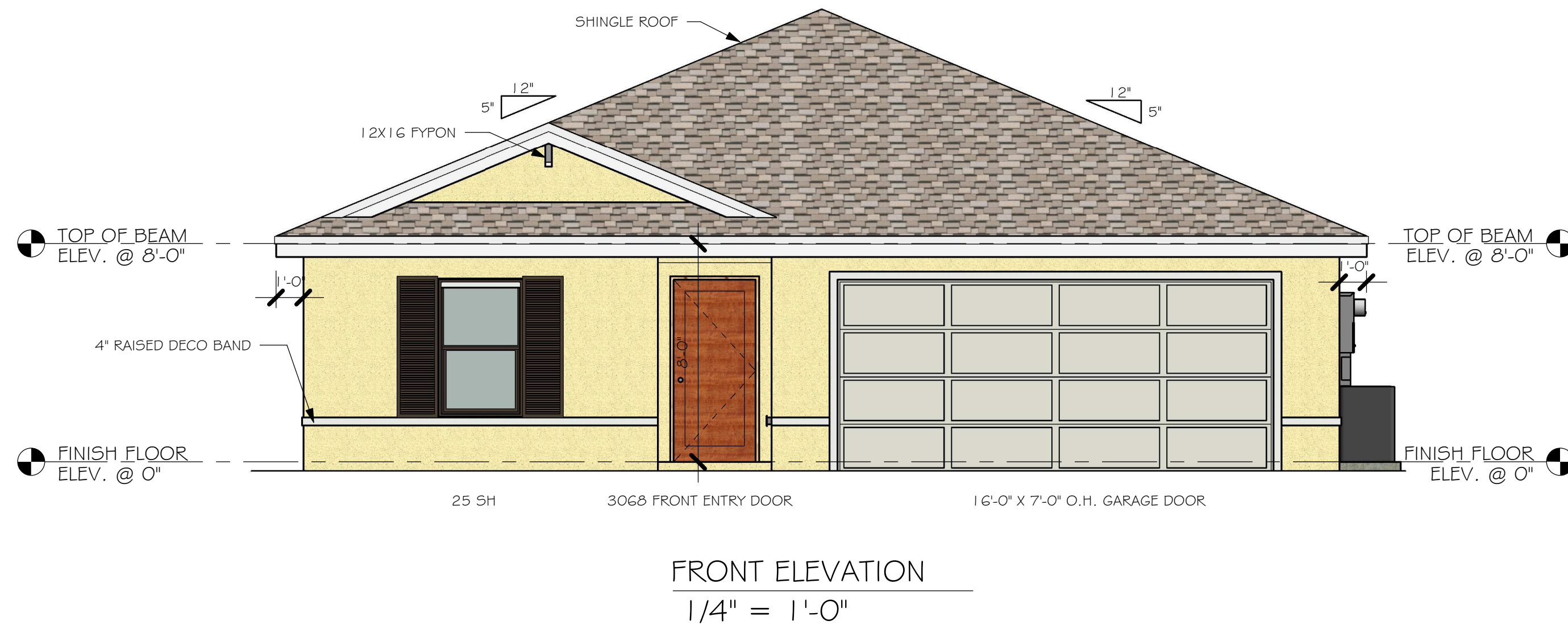
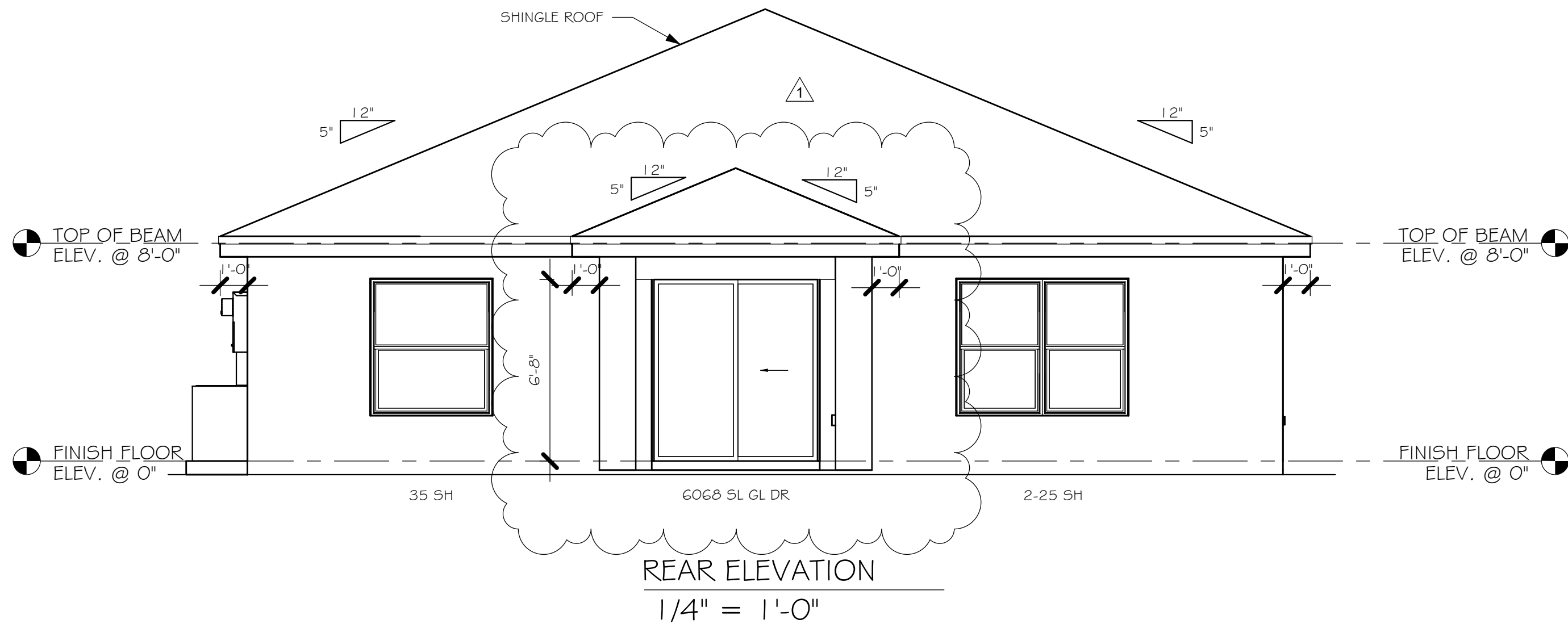
JOB ADDRESS: 1389 A W/ LANAI GARAGE RIGHT LEE

CUSTOMER: D.R. HORTON

JOB # 44115L

1 of 1

L:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DK HORTON 2019\MODELS\1389 A-
W-LANAI MASTERED CAPE CORAL REVIT\1389 AR W LANAI MASTERED\1389 AR W LANAI.rvt



No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



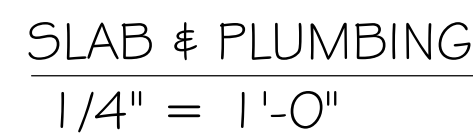
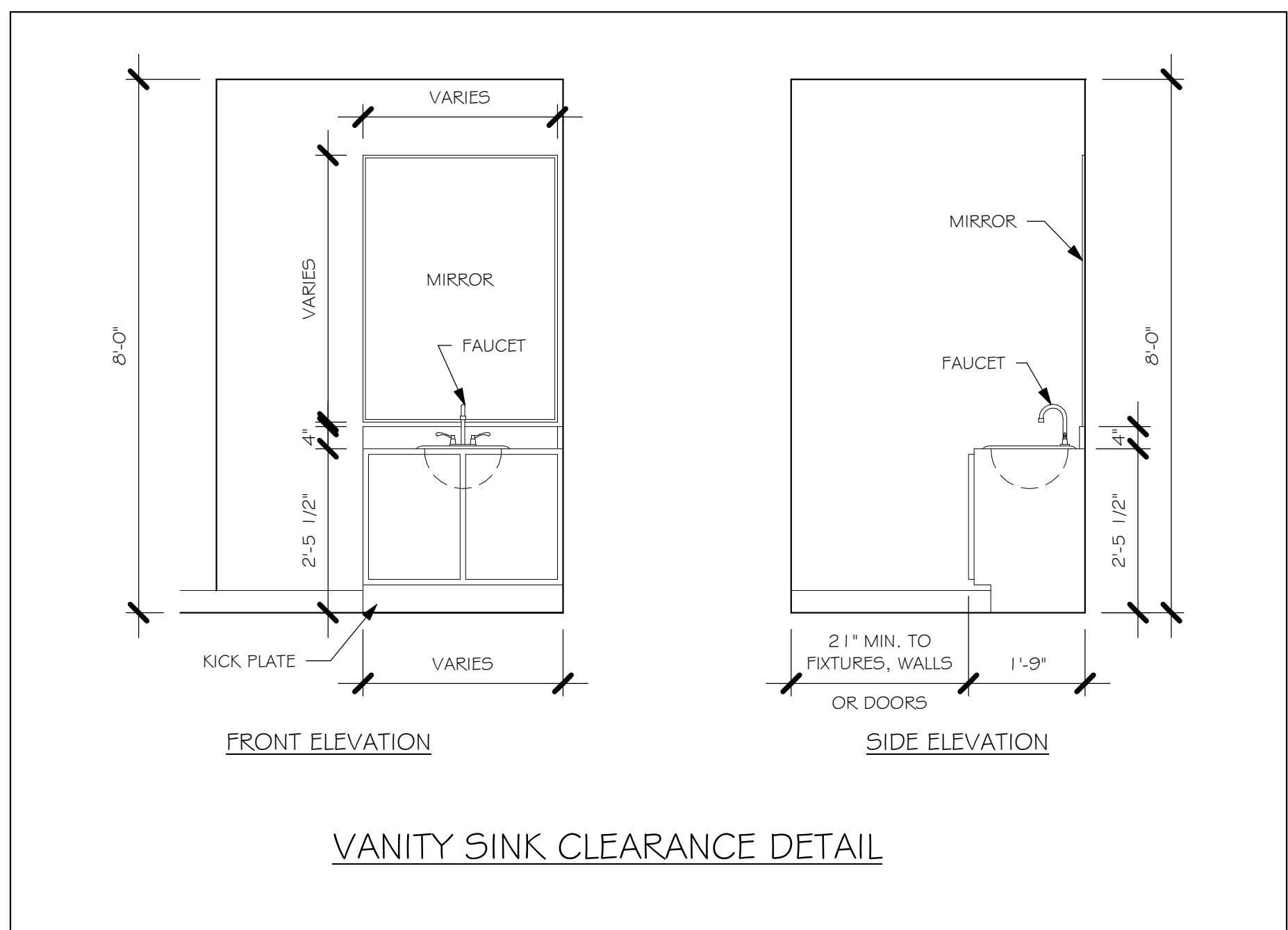
Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 259-540-1822
1515 SE 47th ST. CAPE CORAL, FL 33904

MASTERED
1389 A CAPE CORAL
160 MPH, EXPOSURE C GARAGE RIGHT

DATE:	02/14/19
DRAWN BY:	JSL
CHECKED BY:	
REVISED:	02/27/20
PLAN:	ELEVATION
SCALE:	1/4" = 1'-0"
A-1	

160 MPH, EXPOSURE C GARAGE RIGHT

A-2



No.	Description	Date
I	CHANGE FROM I 389 AR TO A I 389 AR W/ EXT LANAI, CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

L:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DK HORTON 2019\MODELS\1389 A- W-LANAI MASTERED CAPE CORAL REVIT\1389 AR W LANAI MASTERED\1389 AR W LANAI.rvt

DOOR SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COUNT
1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	2-3068 SL. GL. DR.	DISTINCTION	6'-8"	6'-0"	1
3	16070 OHGD	GARAGE DOOR	7'-0"	16'-0"	1

WINDOW SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	COUNT	HEIGHT	WIDTH
A	2-25 SH		1	5'-3"	6'-4"
B	25 SH		2	5'-3"	3'-2"
C	35 SH		1	5'-3"	4'-6"

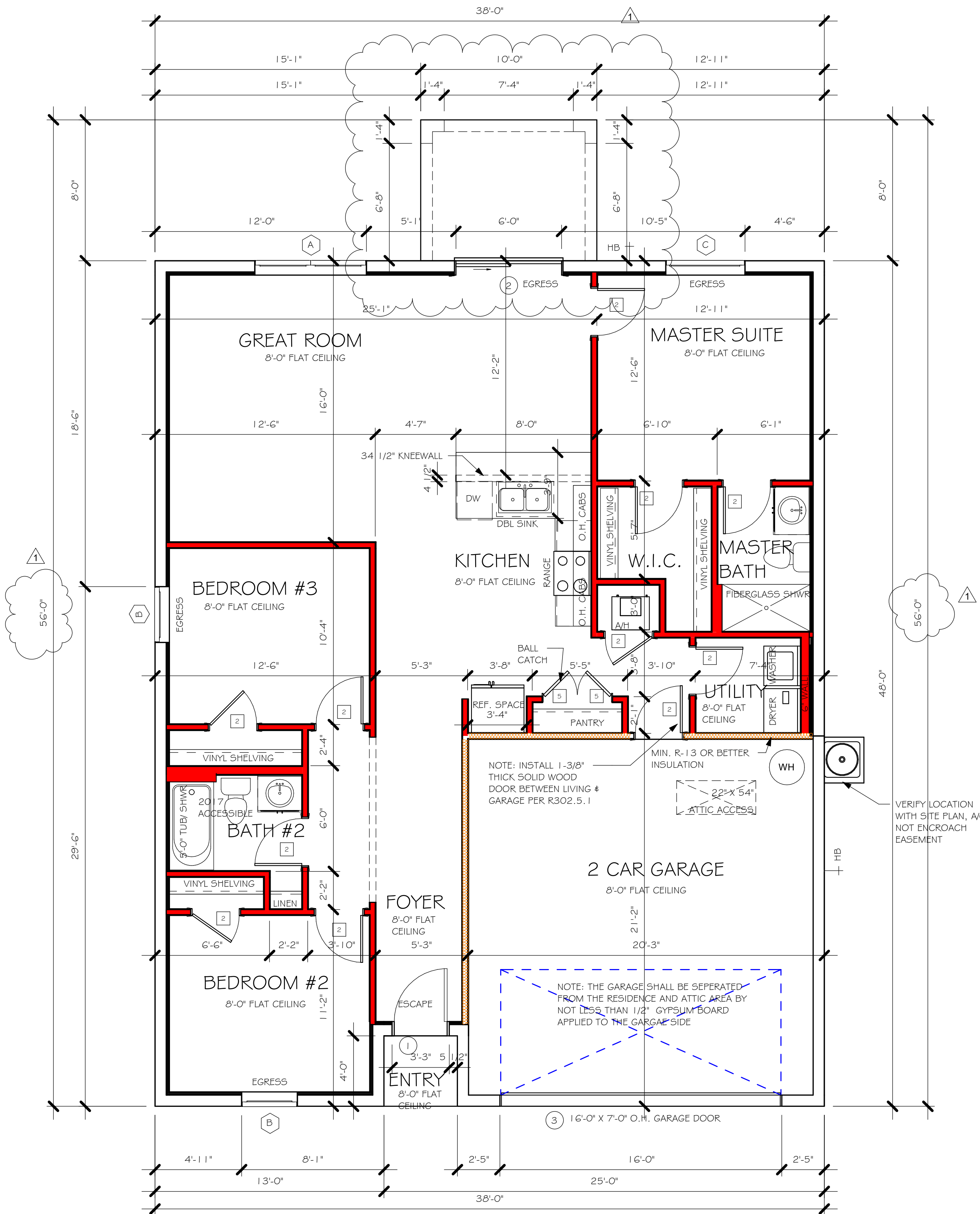
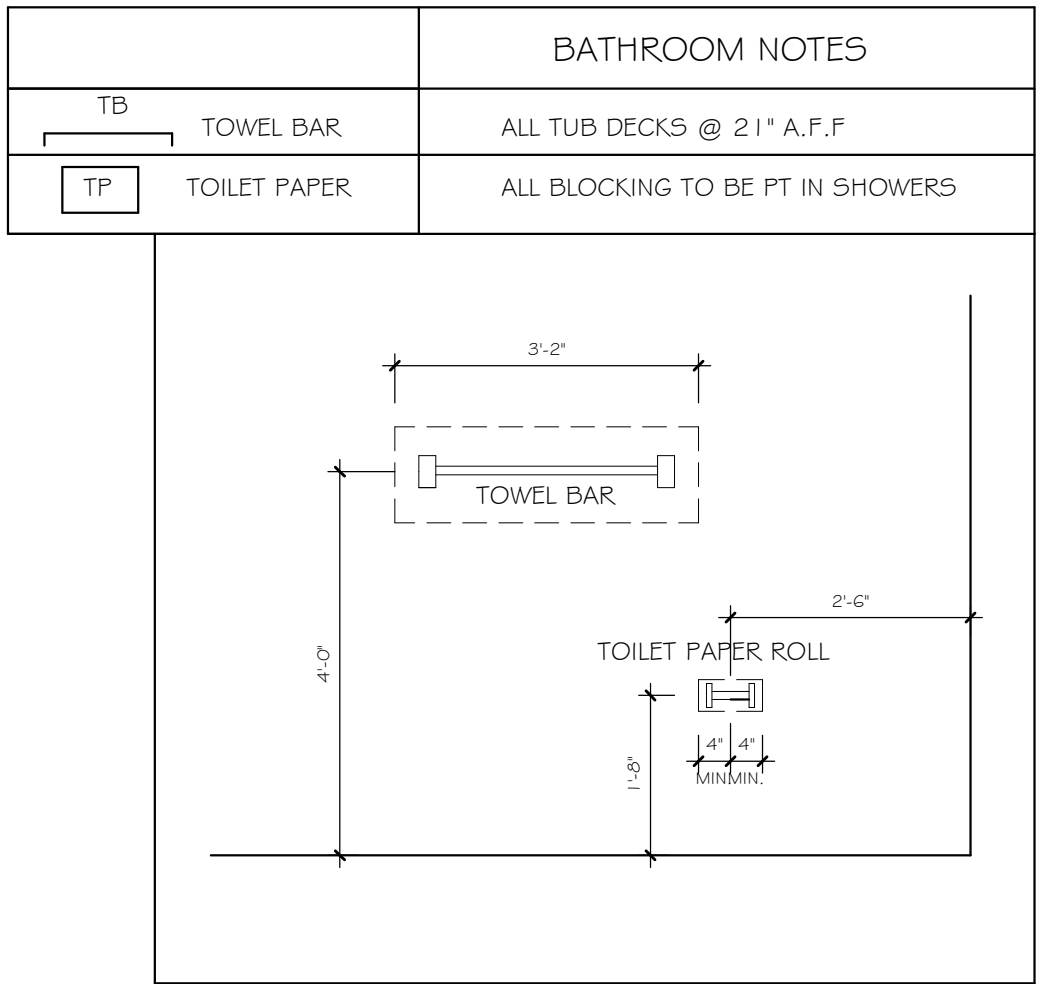
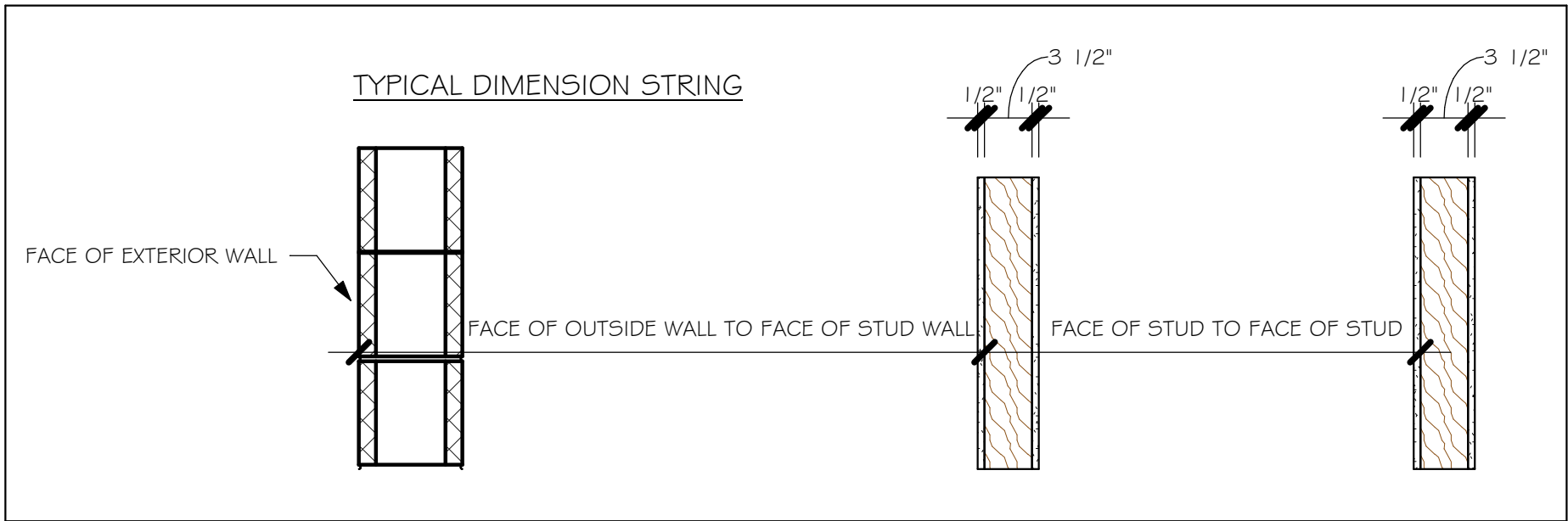
DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

- PLAN NOTES
- 1) VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
 - 2) PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
 - 3) PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
 - 4) NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
 - 5) PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
 - 6) KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
 - 7) INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
 - 8) WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
 - 9) THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
 - 10) INSTALL 1-3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5.
 - 11) ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PREVENTION DEVICE
 - 12) ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.
 - 13) ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED AT OR ABOVE FLOOD PLUS 1'-0" FREEBOARD.

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	
3	2'-6"	B.F. = BI-FOLD DOOR
4	2'-4"	B.P. = BI-PASS DOOR
5	2'-0"	
6	1'-8"	L.V. = LOUVERED DOOR
7	1'-6"	
8	2'-11"	

SQUARE FOOTAGE	
LIVING AREA	1,389
GARAGE AREA	419
LANAI AREA	80
FRONT PORCH/ ENTRY AREA	16
TOTAL SQUARE FOOTAGE	1,904



FLOOR PLAN
1/4" = 1'-0"

No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION



Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-1823
1515 SE 47th ST. CAPE CORAL, FL 33904

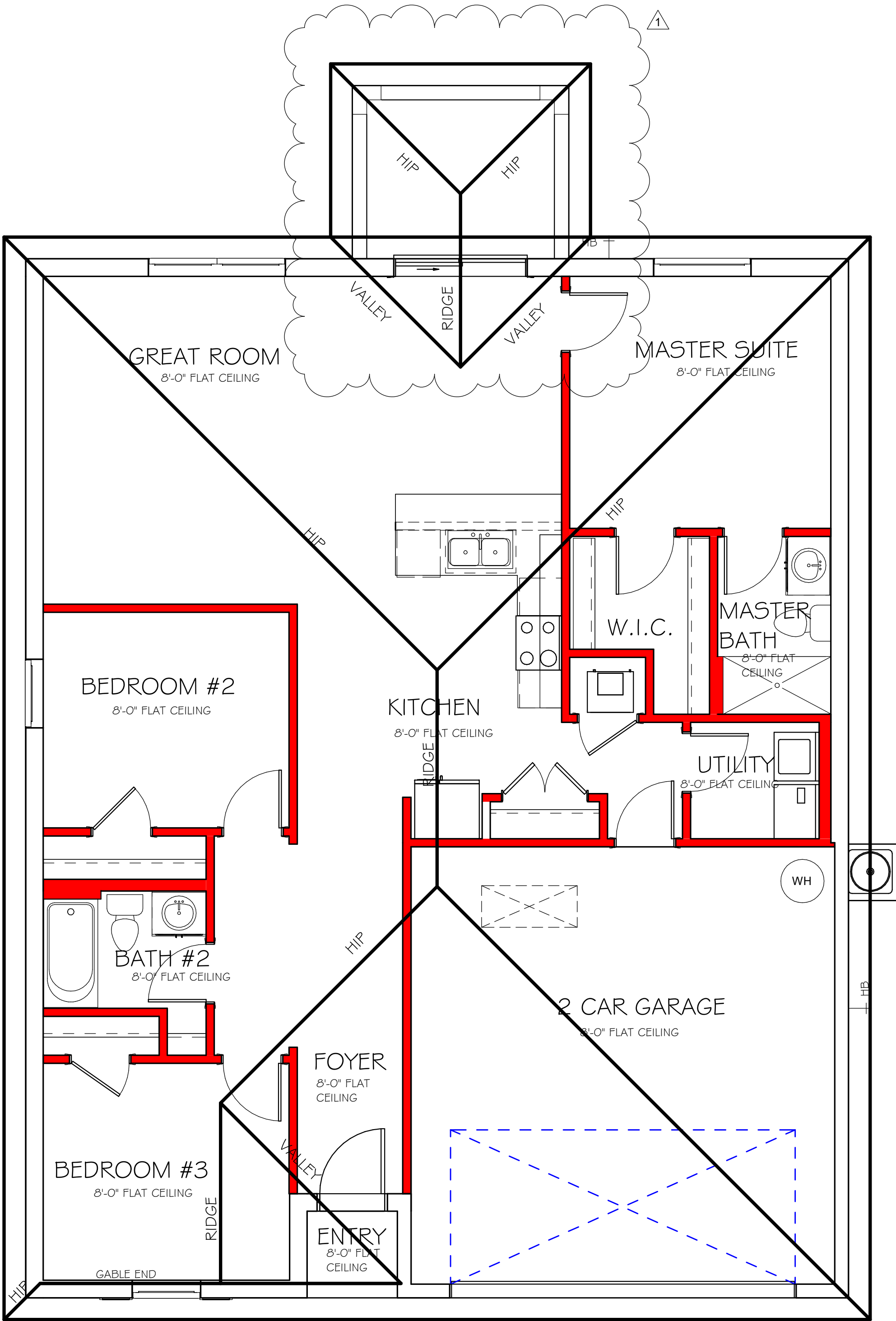
MASTERED
1389 A CAPE CORAL
160 MPH, EXPOSURE C GARAGE RIGHT

DATE:	02/14/19
DRAWN BY:	JSL
CHECKED BY:	
REVISED:	02/27/20
PLAN:	FLOOR
SCALE:	As indicated

L:\O-New Data\1-MASTER 2019\2019-BUILDERS\DK HORTON 2019\MODELS\1389 A-
WLANAI MASTERED CAPE CORAL REVIT\1389 AR W LANAI MASTERED 1389 AR W LANAI.rvt

MODEL 1389 A: ATTIC VENTILATION FBCR R806									
COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS									
AREAS (SQ. FT.)			SOFFIT ONLY (1/150) (NO ROOF VENTS)				WITH ROOF VENTS (1/300) (R.V.)		
			ATTIC VENTILATION REQUIRED				ATTIC VENTILATION REQUIRED		
MARK	ATTIC	SOFFIT	ATTIC AREA/150	REQD AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT	
1st STORY	2000.0 SQ. FT.	176.0 SQ. FT.	13.33 SQ. FT.	7.57%	8.15%	6.67 SQ. FT.	-	0.5%	
			"SOFFIT ONLY" QUALIFIES				ROOF VENTS ARE NOT REQUIRED		
			SOFFIT MODEL				ROOF VENT MODEL		
			ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW				22.38" BASE 32" BASE LOMANCO 770-D 0.97 SQ. FT. FREE AIR		

BEARING HEIGHT	
<div></div>	= BEARING @ 8'-0"



ROOF PLAN
1/4" = 1'-0"

No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

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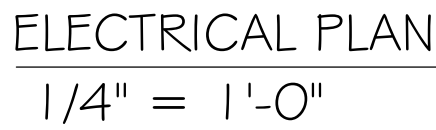
MASTERED
1389 A CAPE CORAL
160 MPH, EXPOSURE C GARAGE RIGHT

DATE:	02/14/19
DRAWN BY:	JSL
CHECKED BY:	
REVISED:	02/27/20
PLAN:	ROOF
SCALE:	As indicated

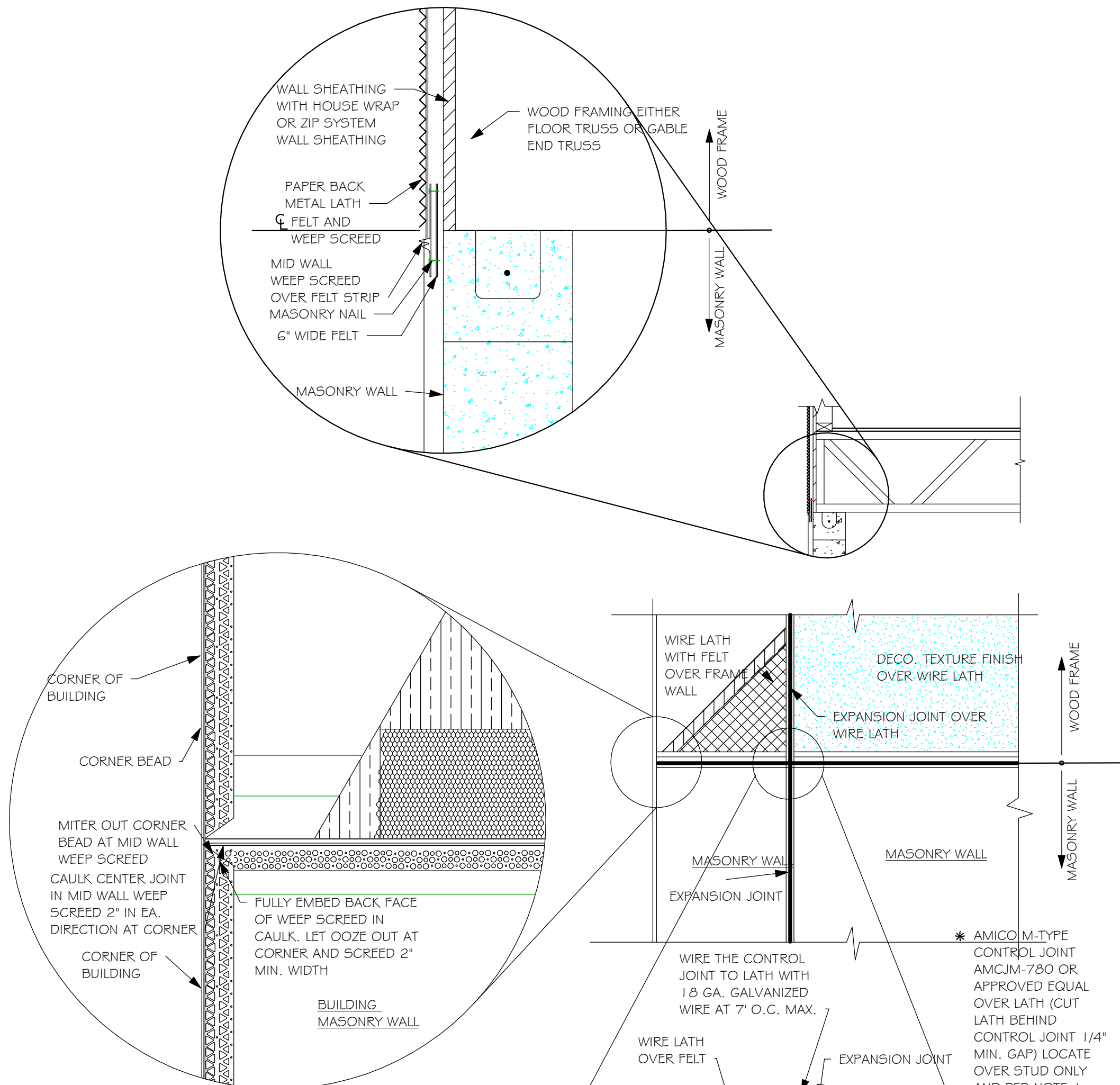
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Diagram illustrating a 150 AMP Electrical Riser setup:

- A 150 AMP Panel is connected to a Motor (M) via a riser cable.
- The riser cable is labeled: (2) 4/0 AL # (1) 1/0 AL OR CU EQUIVALENT.
- The riser cable is connected to a ground rod.
- A note specifies: #6 CU MIN. TO (2) GROUND RODS, AT LEAST 6 FT APART.
- A Power Cord is connected to the Motor.



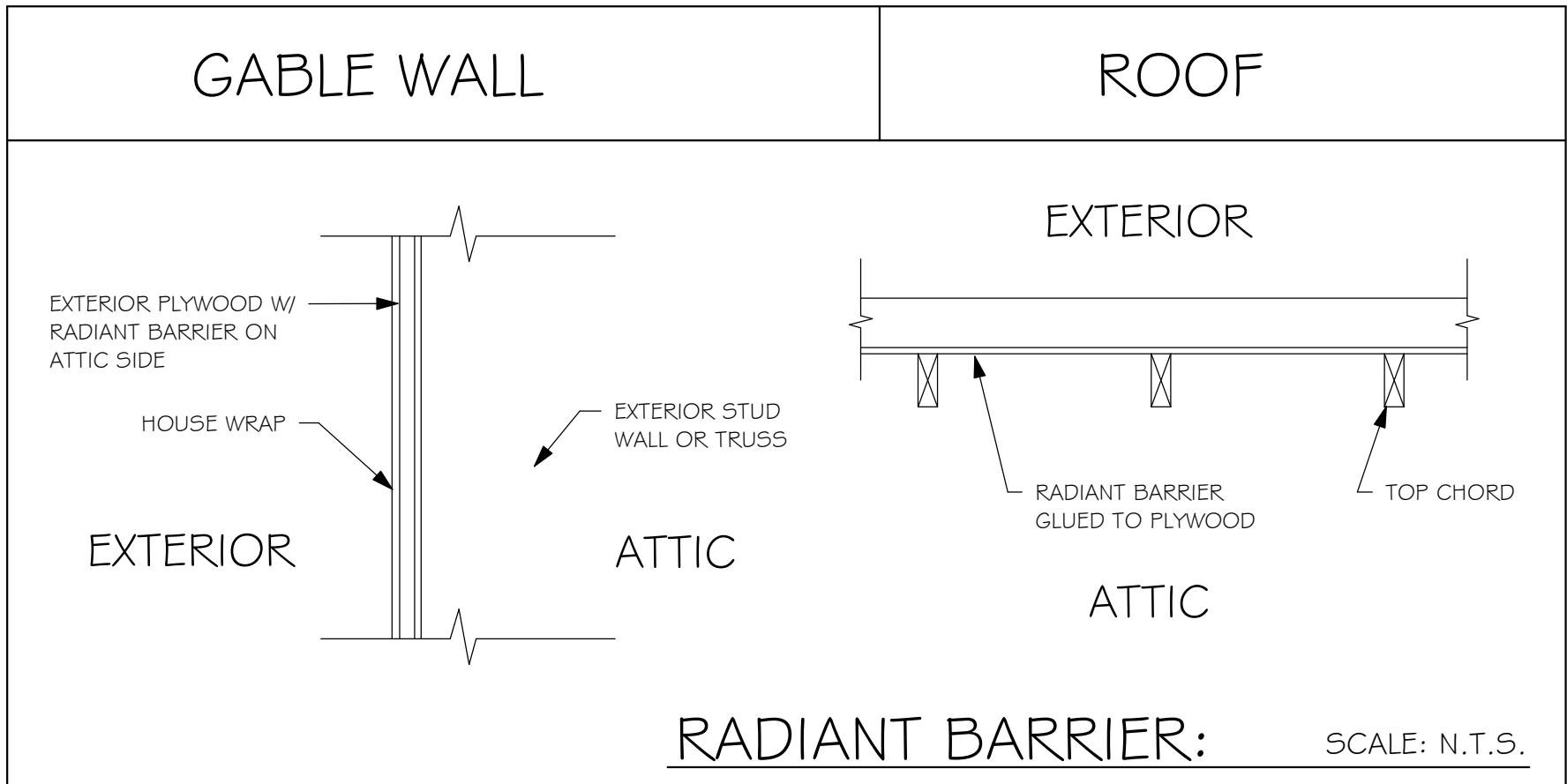
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MID WALL WEEP SCREED DETAIL

WEEP SCREED DETAIL

INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE WOOD STUD FRAMING IS ABOVE MASONRY WALLS.



NOTE: EXTERIOR WALLS ADJACENT TO ATTIC SPACE, INCLUDING KNEEWALLS AND GABLE END WALLS, MUST HAVE RADIANT BARRIER AND HOUSE WRAP.

RESIDENTIAL SPECIFICATIONS

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
4. SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
5. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
6. ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING, THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT. ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
7. TREATED WOOD REQUIREMENTS:- ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
8. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
9. CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
10. LANAI CEILINGS & COVERED ENTRY CEILINGS 1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS, 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

DOOR AND WINDOW ANCHORAGE

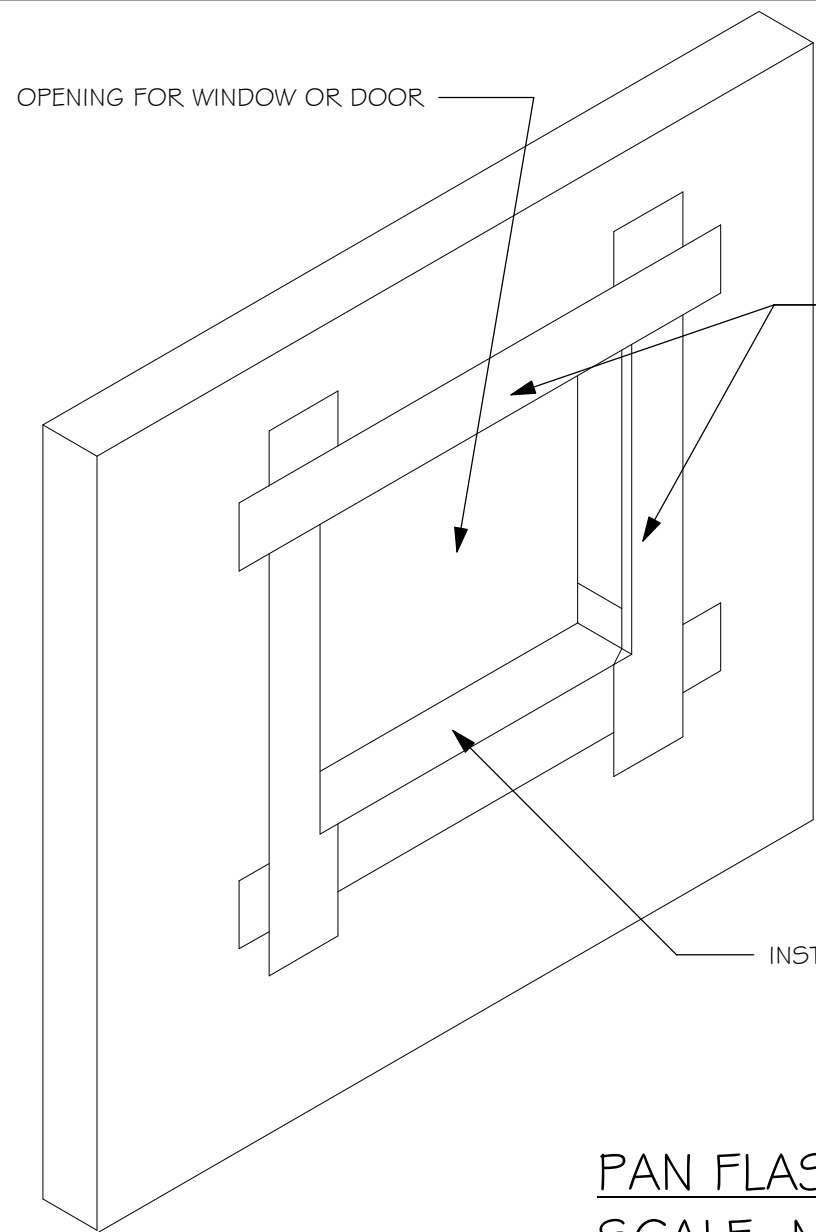
ANCHORAGE REQUIREMENTS- ALL PASS AND SLIDING GLASS DOORS AND ALL WINDOW ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A MANNER SPECIFIED BY THE PUBLISHED MANUFACTURERS LITERATURE. THERE SHALL BE NO SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER.

MASONRY OPENING

WHERE WINDOW FRAME IS DESIGN TO FASTEN WITH SCREWS THROUGH THE FRAME AND INTO THE MASONRY, THE BUCK MATERIAL IS SIMPLY A SPACER. THE BUCK MAY BE FASTENED WITH THE T NAILS OR ANY SUITABLE FASTENER TO TACK IT INTO POSITION PRIOR TO WINDOW INSTALLATION. FASTEN WINDOW FRAME PER MFR INSTRUCTIONS. A WINDOW FASTENER SHALL PENETRATE MASONRY BY 2 1/4" MIN.

WHERE WINDOW FRAME IS DESIGNED TO FASTEN ONLY TO THE WOOD BUCK (IE, FLANGED FRAME WITH WOOD SCREWS) THE BUCKS SHALL BE 2X WOOD WITH STRUCTURAL FASTENING TO THE MASONRY WITH 1/4 X 3 3/4 MASONRY SCREWS @ 24" OC AND 6" FROM EACH END.

WOOD FRAMED OPENING- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURERS LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE OF RESISTING THE APPLIED LOADS AND SHALL BE LOCATED NEAR EACH FRAME FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE TIGHTENED .



WHERE "PAN" FLASHING IS USED AT THE SILL, ALSO INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES

INSTALL "PAN" FLASHING AT THE WINDOW SILL

THE FLASHING INSTRUCTIONS FROM THE WINDOW/ DOOR MFR., OR THE FLASHING MFR., SHALL SUPERCEDE THIS DETAIL

PAN FLASHING PER R703.4
SCALE: N.T.S.

GENERAL ROOF ASSEMBLY

ROOF SHEATHING

SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL "H" CLIPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 6" O.C. EDGE AND 6" O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK NAILS PER R803.2.3. 1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.

FLASHING

FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE A250 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURERS PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).

DRIP EDGE

DRIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS, LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". DRIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.

ASPHALT SHINGLE ROOF SPECS

SHINGLES

15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF 2 FASTENERS PER SHINGLE TAB, AND SHALL IN NO CASE BE FASTENED WITH LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. INSTALLATION SHALL COMPLY WITH MANUFACTURES REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.

FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 12 GAUGE (0.105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL BE A LENGTH TO PENETRATE THE SHEATHING

THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND SHALL BE KORROSION RESITANT BY ELECTRO GALVANIZATION, MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL

CLAY AND CONCRETE ROOF TILE SPECS

INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE LAYER APPLICATION UNDER TILE ROOF. THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF R905.3 F.B.C. MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURERS IDENTIFICATION MARK. APPLICATION SPECIFICATIONS: THE TILE MANUFACTURER'S WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING:

1. TILE PLACEMENT AND SPACING,
2. ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CURRENT WIND CODE,
- A. AMOUNT AND PLACEMENT OF MORTAR
- B. AMOUNT AND PLACEMENT OF ADHESIVE
- C. TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS.
3. UNDERLAYMENT
4. SLOPE REQUIREMENT.

FLOOR SHEATHING AT 2ND FLOOR

A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATING 48/24 OR BETTER, GLUED AND NAILED

ROOF SHEATHING PER SCHEDULE 2/5-3. AND PER NOTES IN TABLE 3 ON A-6

TILE ROOF PER NOTE 5 ON A-G. OR SHINGLE ROOF PER NOTE 4 ON A-G

WOOD TRUSSES @ 24" O.C. (TYPICAL.) DESIGNED BY DELEGATED TRUSS ENGINEER.

EMBEDDED STRAP AT EACH TRUSS PER ROOF FRAMING PLAN. FLASHING AND DRIP EDGE PER NOTES IN TABLE 3 ON A-G

2X6 MIN. SUB FASCIA

PROVIDE VENTILATION PER R806.1

VENTED SOFFIT SHALL MEET R703.1.2.1 SEE TABLE 3 ON S-3

8X8 CONTINUOUS BOND BEAM W/ 1 #5, GROUT SOLID

SLOPE TO EXTERIOR

PRECAST CONCRETE SILL DECO. CEMENT FINISH PER ASTM C-926

GRADE

WOOD BASE

CONC. FOOTING SEE FOUNDATION PLAN FOR SIZE AND REINFORCING.

4" CONC. SLAB ON 6 MIL. VISQUEEN VAPOR BARRIER ON MECHANICALLY COMPACTED FILL @ 95%.

TYPICAL WALL SECTION

5.7 SQ. FT. CLEAR OPENING

2'-0" MIN.

1'-8" MIN.

3'-8" MAX.

FINISH FLOOR

R310.2.1 MINIMUM OPENING AREA- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²).

EXCEPTION- GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (0.465 m²).

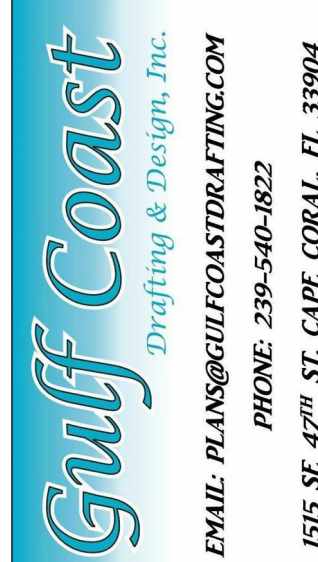
R310.2.1 MINIMUM OPENING HEIGHT- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm).

R310.2.1 MINIMUM OPENING WIDTH- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508mm).

R310.1.1 OPERATIONAL CONSTRAINTS- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

R310.2.3 WINDOW WELLS- THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (0.84 m²), WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (914mm). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

No.	Description	Date	MINIMUM EGRESS WINDOW DETAIL
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20	DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION



MASTERED

1389 A CAPE CORAL

160 MPH, EXPOSURE C

GARAGE RIGHT

DATE: 02/14/19

DRAWN BY: JSL

CHECKED BY:

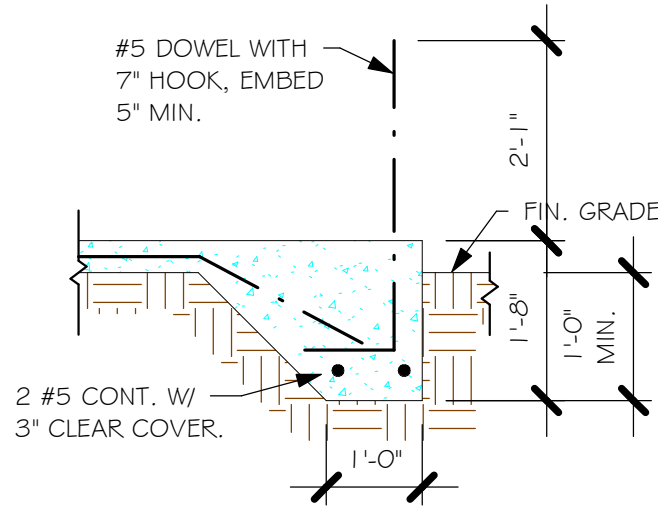
REVISED: 02/27/20

PLAN: SECTIONS

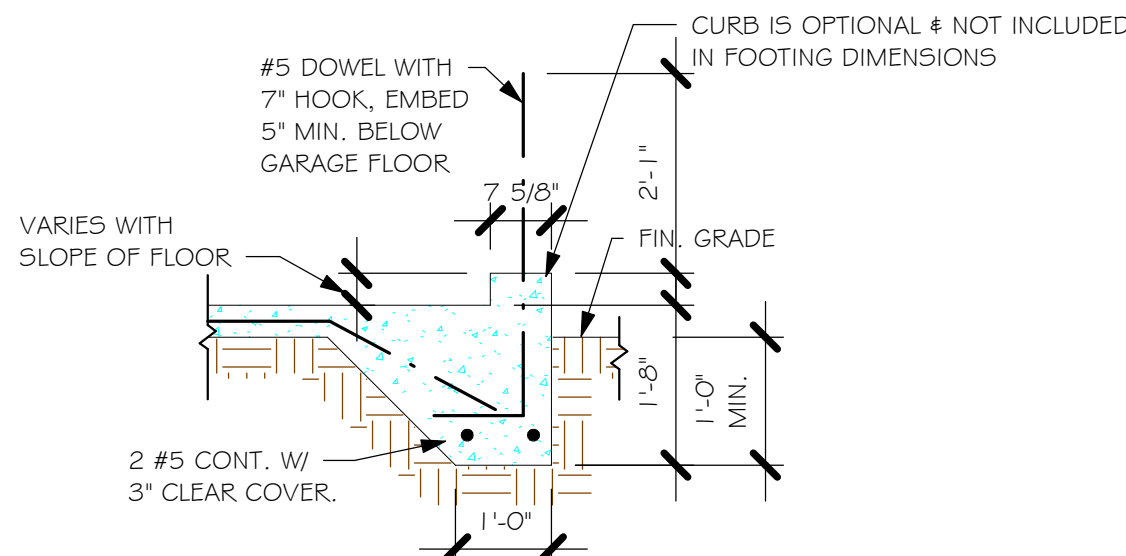
SCALE: As indicated

A-6

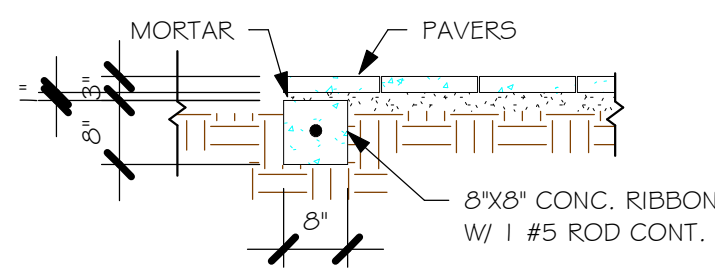
L:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DK HORTON 2019\MODELS\1389 A-
W-LANAI MASTERED CAPE CORAL REVIT\1389 AR W LANAI MASTERED 1389 AR W LANAI.rvt



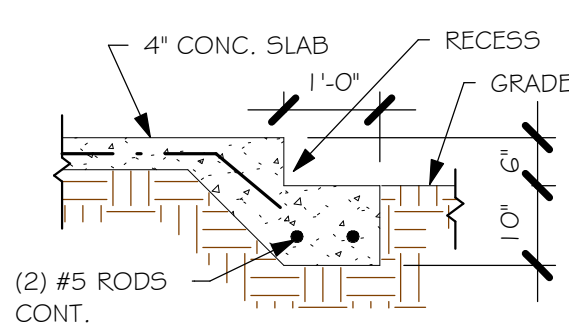
"F3" FOOTING
1/2" = 1'-0"



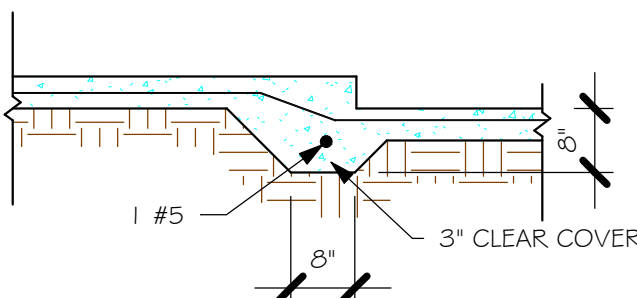
"F3" WITH CURB AT GARAGE
1/2" = 1'-0"



"P" PAVERS DETAIL ENTRY/ LANAI
1/2" = 1'-0"



GARAGE DOOR RECESS
1/2" = 1'-0"



"FGA" STEP DOWN
1/2" = 1'-0"

PAD FOOTING SCHEDULE							
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINF.		REMARKS
					LONG WAY	SHORT WAY	
X	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5	-
X	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5	-
X	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5	-
X	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5	-
X	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5	-

WALL FOOTING SCHEDULE					
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING
X	F1	CONT.	1'-4"	0'-8"	2-#5
X	F2	CONT.	1'-8"	0'-10"	2-#5
X	F3	CONT.	1'-0"	1'-8"	2-#5
X	F4	CONT.	1'-4"	1'-8"	2-#5
X	F5	CONT.	1'-4"	1'-0"	2-#5
X	F6	CONT.	1'-4"	1'-0"	2-#5
X	F6A	CONT.	0'-8"	0'-8"	1-#5
X	TE	CONT.	0'-8"	0'-8"	1-#5

PROVIDE CORNERS BARS PER 6/5-3

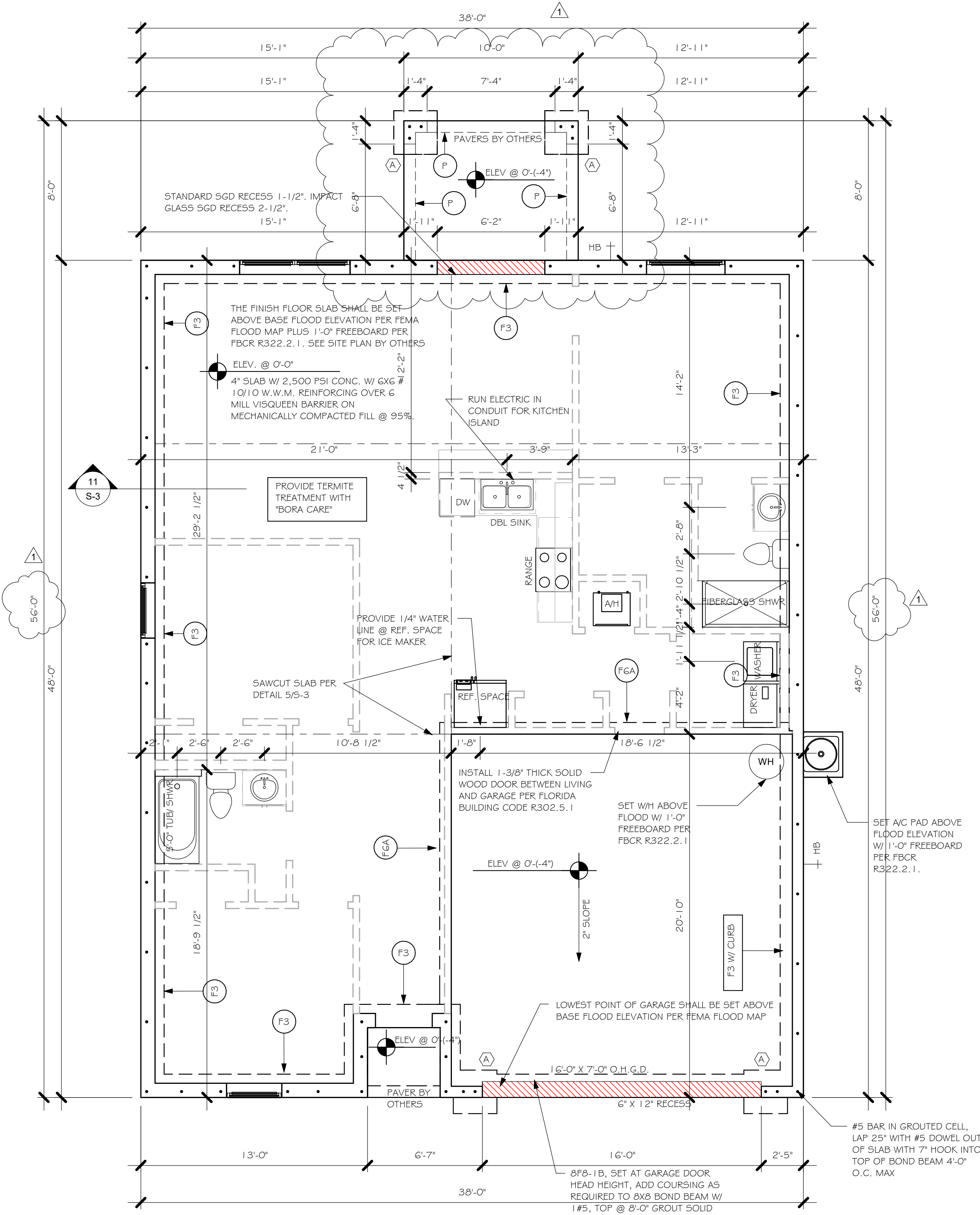
ADD CURB TO GARAGE, SEE DETAIL.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
2. "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
3. PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
4. ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
5. FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
6. PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.



FOUNDATION

1/4" = 1'-0"

No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION



Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-1823
1515 SE 47th ST. CAPE CORAL, FL 33904

STRUCTURAL SYSTEMS OF NORTH FLORIDA
1515 SE 47th ST. CAPE CORAL, FL 33904
(239) 549-4554
C48889

MASTERED

1389 A CAPE CORAL

160 MPH, EXPOSURE C GARAGE RIGHT

DATE:	02/14/19
DRAWN BY:	JSL
CHECKED BY:	
REVISED:	02/27/20
PLAN:	FOUNDATION PLAN
SCALE:	As indicated
S-1	

NOTES:

1. PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON -C OF WALL.
2. CONNECTORS ARE SIMPSON STRUCTURAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.
3. WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER 1005-3.

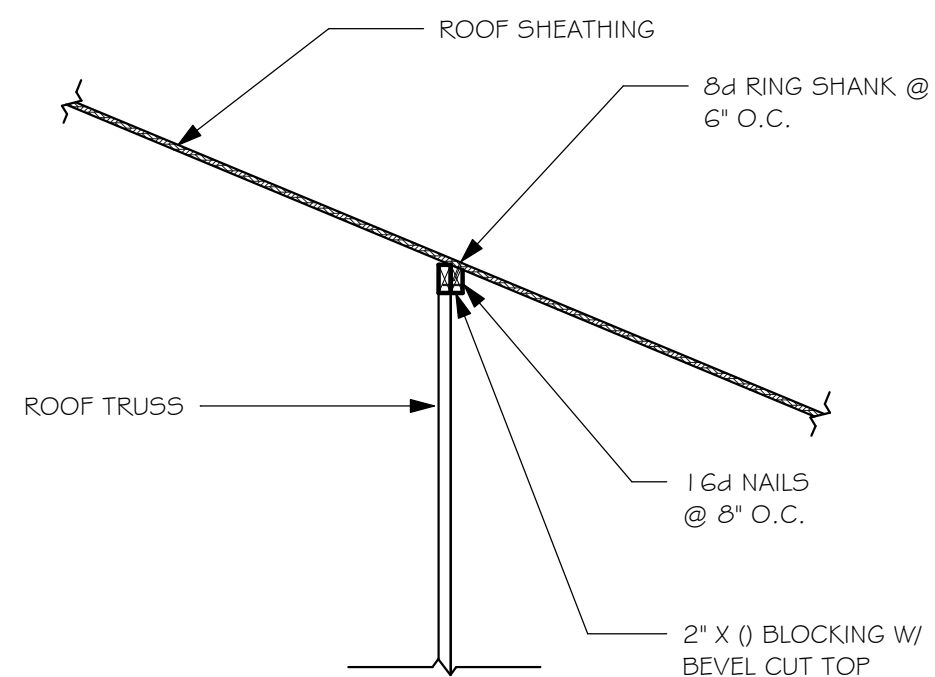
Diagram illustrating a vertical rebar (rod) with annotations:

- WALL ABOVE WITH BOND BEAM AT TOP
- #5 VERTICAL, ABOVE UNTEL ONLY WHERE NOTED ON PLAN
- "1'B" DENOTES 1#5 BOTTOM WITH 7" HOOK EACH END OR EXTEND 24" BEYOND OPENING.
- "0'B" DENOTES "NO REBAR"
- GROUT SOLID

AT SWING DOORS, USE 2" RECESS STYL
LINTEL IF NEEDED FOR ROUGH OPENING.

PLAN NOTES:

1. ROOF TRUSS BEARING @ 8'-0".
2. ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET S-3.
3. PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET.
4. FOR NAILING OF ROOF AND FLOOR DECK, SEE I AND 2 ON S-3.
5. **[2x8-1B]** etc., DENOTES PRECAST LINTEL ABOVE DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET. AT TRUSS BEARING, PROVIDE 8x8 MASONRY BOND BEAM W/ 1 #5 CONTINUOUS, SEE DETAIL 11/5-3.

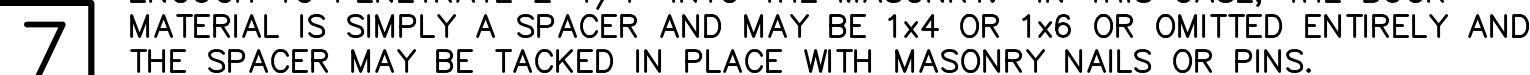


TRUSS BEARING CONDITIONS AND
STRAPPING IS BASED ON TRUSS LAYOUT
PREPARED BY SCOSTA JOB# 44115L
DATED: 12/11/19 REVISED: NONE

= BEARING @ 8'-0"

$$1/4'' = 1'-0''$$

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



NOTES:

1) WHERE EMBEDDED STRAP IS MISSING OR MIS-LOCATED, PROVIDE A STRAP FROM THE ABOVE SLAT AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.

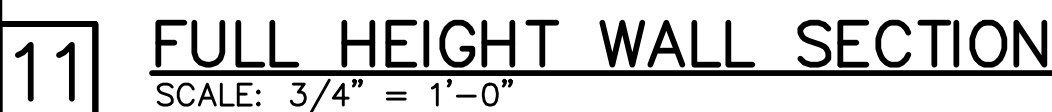
2) CONNECTORS ARE SIMPSON STRONG TIE. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SIMPSON PRINTED INSTRUCTIONS.

10 RETROFIT UPLIFT CONNECTOR SCHEDULE

NOTE: EXTERIOR CEILINGS AND SOFFITS 1) AND 2) SPECIFIED
HERE MEET THE DESIGN WIND PRESSURES PER R703.1.2.1.



CORNER BAR DETAIL IN BOND BEAMS



- 1) TABLE MAY BE USED FOR ANY SIZE WINDOW OR DOOR IN EACH TYPE.
- 2) USE "INTERIOR ZONE 4" PRESSURES UNLESS WINDOW OR DOOR IS LOCATED WITHIN THE "END ZONE 5" (SEE DIAGRAM BELOW), THEN USE THE HIGHER PRESSURES UNDER THE "END ZONE 5" COLUMN.
- 3) ALL GLASS / GLAZING SHALL BE IMPACT RATED OR USE IMPACT RATED SHUTTERS.
- 4) SUBMIT PRODUCT APPROVALS TO THE BUILDING DEPARTMENT AS REQUIRED BY THE LOCAL JURISDICTION.
- 5) MANUFACTURED SOFFIT PRODUCTS SHALL BE INSTALLED PER MFR ENGINEERING SPEC SHEETS.

* ON IRREGULAR SHAPE IN BUILDINGS, THERE IS NO GUIDANCE IN THE CODE FOR HOW FAR A CORNER MUST PROTRUDE FROM THE MAIN BUILDING TO BE CONSIDERED 'ZONE 5'. WE HAVE CHOSEN '>15'', THIS IS SUBJECT TO JUDGEMENT BY THE AUTHORITY HAVING JURISDICTION.

END ZONE 5 PRESSURE AT "PRIMARY" OUTSIDE OF BUILDING (BOLD LINE)

INTERIOR ZONE 4 PRESSURES

END ZONE 5 PRESSURE AT "PRIMARY" OUTSIDE OF BUILDING (BOLD LINE)

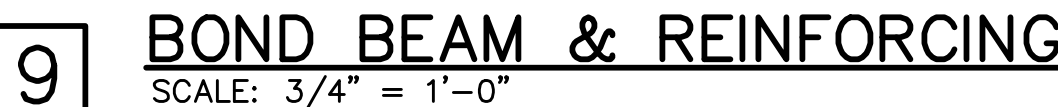
MEASURED FACE

WIDTH = 5'-0"

>15'

TYPICAL HOUSE PLAN

IN ZONE 5, MANUFACTURED SOFFIT PRODUCTS MAY REQUIRE ADDITIONAL BATTENS OR FASTENING PER MFR ENGINEERING SPEC SHEETS TO MEET THE PRESSURE REQUIREMENTS.



DESIGN CRITERIA:

DESIGN IN ACCORDANCE WITH REQUIREMENTS OF THE
FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL

1. FLOOR & ROOF UNIFORM LOADS:
 ROOF: LIVE TOP CHORD 20 PSF
 LIVE BOTTOM CHORD 10 PSF (NON-CONCURRENT w/ TCLL)
 SHINGLE/METAL ROOFING DEAD LOAD 15 PSF TOTAL
 MINIMUM DEAD LOAD FOR WIND: TC 5 PSF, BC 5 PSF
 DEFLECTION CRITERIA:
 ROOF L/240 LIVE, L/180 TOTAL

2. WIND LOADS:
WIND DESIGN PER, ASCE7-10
BASIC WIND SPEED (ASCE7-10) 160 MPH
NOMINAL WIND SPEED (Vasd TABLE R301.2.1.3) 124 MPH
BUILDING CATEGORY II
IMPORTANCE FACTOR 1.0
EXPOSURE C
MEAN ROOF HEIGHT = 15 FT
ROOF PITCH 5/12
ENCLOSURE CLASS. ENCLOSED
INTERNAL PRESS. COEFF. +/- 0.18
WINDOW/DOOR DESIGN WIND PRESSURE, SEE TABLE IN DETAIL 3.
SOFFITS - PER R703.1.2.1, ALL SOFFITS SHALL BE CAPABLE OF
RESISTING THE DESIGN PRESSURES SPECIFIED IN TABLE R301.2(2)
FOR WALLS.

3. REINFORCE CONCRETE:
DESIGN AS PER ACI 318-14
REQUIRED COMPRESSIVE STRENGTH AT 28 DAYS: $f'_c = 2500$ PSI
SLAB ON GRADE
3/4" MINIMUM THICKNESS REINFORCED WITH 6×14 W4x14.1 WWF OR FIBERGLASS.
CONVENTIONAL SHALLOW FOOTINGS $f'_c = 2500$ PSI
BEAMS AND COLUMNS $f'_c = 3000$ PSI
ALL OTHER CONCRETE (U.N.O.) $f'_c = 3000$ PSI
UNLESS OTHERWISE SHOWN ON DRAWINGS, MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS:
FOOTINGS 3"
SLAB ON GRADE 3"
BEAMS 1 1/2"
COLUMNS 1 1/2"
ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE TYPICAL BEARING DIAGRAMS AND PLACING DETAILS OF ACI STANDARD SPECIFICATION. ALL REINFORCING STEEL SHALL BE PLACED AND SPECIFIED SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE.
REINFORCING STEEL - ASTM A615 GRADE 60 FOR #3
GRADE 40 FOR #4 TO #11

- SPICES IN REINFORCING, SHALL BE 40 BAR DIAMETERS. NON-CONTACT LAP SPICES MAY BE USED PROVIDED REINFORCING IS NOT SPACED MORE THAN 5" APART FOR #5 BARS.
- FORMWORK AND SHORING SHALL REMAIN IN PLACE UNTIL CONCRETE HAS REACHED AT LEAST 2/3 OF THE REQUIRED 28 DAY STRENGTH.

4. REINFORCED MASONRY:
DESIGN PER ACI 530-13
REQUIRED COMPRESSIVE STRENGTHS:
MASONRY WALLS $f'_m = 1500$ PSI

- REINFORCING STEEL - ASTM A615 GRADE 60.
SPICES IN REINFORCING SHALL BE 48 BAR DIAMETERS.
ALL CONCRETE MASONRY UNITS SHALL BE COMPOSED OF ASTM C90
GRADE N-1 HOLLOW CONCRETE MASONRY UNITS WITH TYPE 'S'
MORTAR. GROUT ALL CELLS CONTAINING VERTICAL REINFORCEMENT
WITH 3000 PSI PEA ROCK CONCRETE GROUT. ALL CELLS BELOW
FINISHED GRADE SHALL BE GROUTED SOLID. ALL EXTERIOR WALLS
SHALL BE REINFORCED FULL HEIGHT AT DOT LOCATIONS ON PLAN.

5. DELEGATED-ENGINEERED WOOD ROOF TRUSSES:
ALL WOOD ROOF TRUSSES SHALL BE DESIGNED BY
A DELEGATED TRUSS ENGINEER PER RULE 61G15-31.003 OF
THE FLORIDA ADMINISTRATIVE CODE. ALL TRUSSES SHALL HAVE
TEMPORARY BRACING PER "COMMENTARY AND RECOMMENDATIONS FOR
HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED
WOOD TRUSSES, HIB-91." FOR OTHER BRACING REQUIREMENTS,
NOTIFY ENGINEER. PROVIDE PERMANENT BRACING PER TRUSS
MFR. SHOP DRAWINGS, IF PERMANENT BRACING IS NOT
SPECIFIED, CONTACT ENGINEER.

6. FOUNDATION:
CONVENTIONAL SHALLOW CONCRETE FOOTINGS 2000 PSF
SOIL BEARING CAPACITY
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE
SUITABILITY OF THE SOIL CONDITIONS FOR THE INTENDED
STRUCTURE AND ASSUMED SOIL BEARING CAPACITY.
IT IS RECOMMENDED THAT A GEOTECHNICAL FIRM BE HIRED
TO PREFORM A SITE EVALUATION.

7. DIMENSIONS: VERIFY ALL DIMENSIONS WITH HOUSE PLANS. SEE HOUSE PLANS, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. WHICH ARE NOT SHOWN ON STRUCTURAL DRAWINGS.

8. MEANS AND METHODS: THE STRUCTURAL ENGINEER SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, OR SEQUENCES TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO SUPPORT STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CONSTRUCT WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

9. SHOP DRAWINGS: SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED TO THE ENGINEER FOR REVIEW FOR ALL STRUCTURAL ELEMENTS UTILIZING PREFABRICATED COMPONENTS. ONE SET OF SIGNED & SEALED TRUSS ENGINEERING SHALL BE DELIVERED TO THE ENGINEER OF RECORD FOR THE STRUCTURE PER FLORIDA ADMINISTRATIVE CODE 61G15-30.005 AND 61G15-31.0

REV 1 - REVISED MASTER
PERMIT TO ADD LANAI AND
CHANGED FROM USP
STRAPPING TO SIMPSON
STRONG TIE STRAPPING

REVISIONS	BY
1 02/27/20	DWE

STRUCTURAL ENGINEERING:

STRUCTURAL SYSTEMS

1634 S.E. 47th STREET, SUITE #3
CAPE CORAL, FL 33904
(239) 549-4554

CA# 8829

DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL

BUILDER:

STRUCTURAL DETAILS
MODEL 1389 A w/ LANAI
MASTER PERMIT
160 MPH. EXPOSURE C

FLORIDA

FOR SCOSTA TRUSSES, ELEVATION A, JOB # 44115L, DATED: 12/11/19, REVISED: NONE

DESIGN/DRAW

DWB/DWB

DWB

DATE
08/27/10

SCALE

VARIES

DR10701

SHEET

S-3

SHEET 3 OF 3