

September 21, 2020

DR Horton
10541 Six Mile Cypress Parkway
Fort Myers, FL 33966

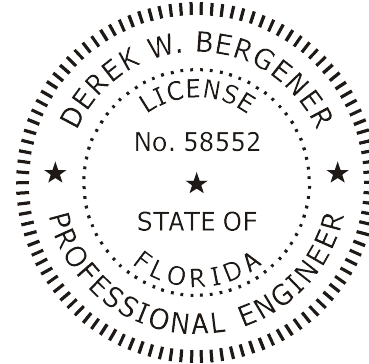
RE: AUTHORIZATION LETTER FOR MASTER PERMIT B20-06945
Model 1389 A Right
Subdivision: Gator Circle Spot Lots, Lots 67-68, Block 5562
1007 NE 33rd Street, Cape Coral, Florida

This letter is to authorize DR Horton to obtain a building permit for the above referenced address based on Master Permit plans B20-06945.

If you need any more information,
please call me at 239-549-4554.

Sincerely,

Structural Engineer of Record
Derek Bergener, PE 58552



This item has been digitally signed by Derek Bergener on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

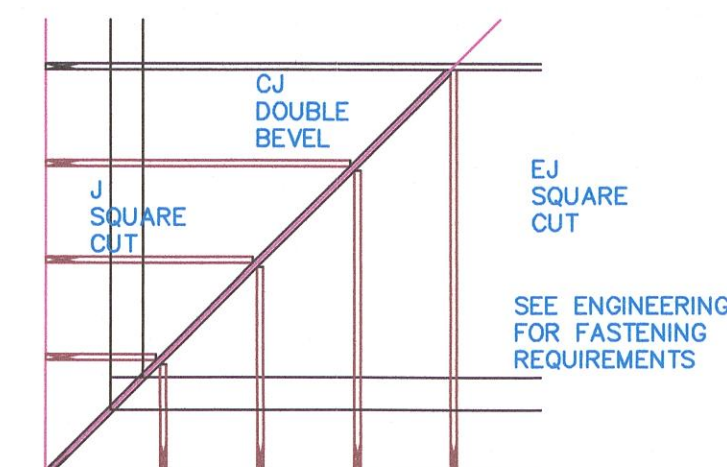
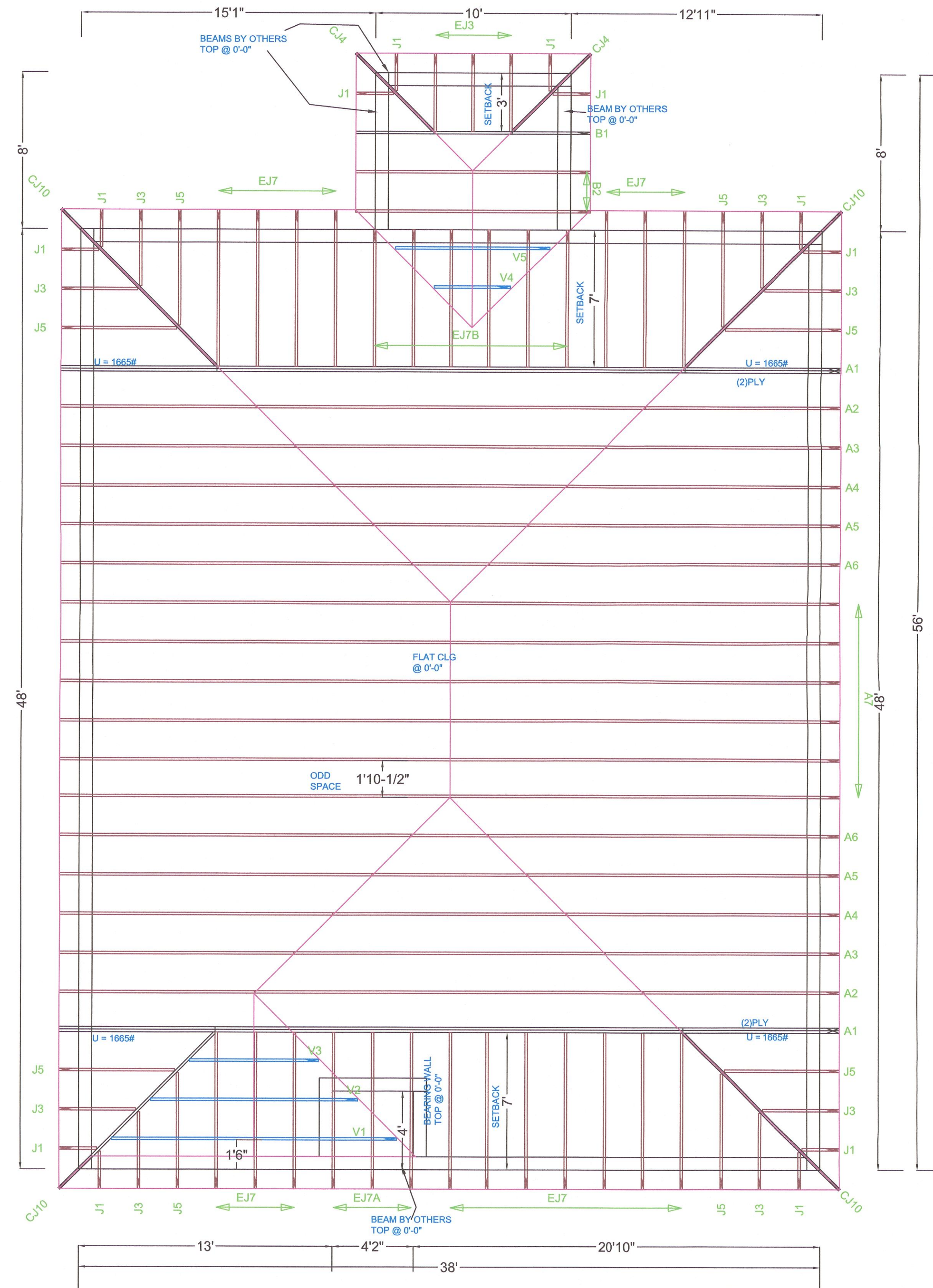


Product Approvals Code Version 2017

FL#	Manufacturer	Category	Exp.
FL20468.1 FL20468.4	Therma-Tru 8' SH Series 185 and SGD Series 420	Ext. Door	5/31/2021
FL12019.1	American Const.	Soffits 12"	3/2/2030
FL17676.1	MI Window 3540 SH	SH Fin Frame Non-Impact	04/12/22
FL17676.8	MI Window 3540 SH	SH Flange Non-Impact	04/12/22
FL15332.2	MI -420 series	Slider -2 panel non-impact	12/31/20
FL15332.8	MI -420 series	Slider -3 panel non-impact	12/31/20
FL18644.1	MI Window 3540 PW	Fixed Glass Fin Non-Impact	04/30/21
FL18644.2	MI Window 3540 PW	Fixed Glass Flange Non-Impact	11/18/22
FL21639.6	MI Window 1620 PW	Fixed Glass Impact	08/15/2021
FL21637.5	MI Window 1620 Series	SH Impact	12/27/21
FL22401.3	MI - 120 series	Slider Impact	11/29/21
FL15550-R5	IKO Industries, LTD	Shingle	12/31/20
FL11964.1	Eastern Metal Supply	Shutters	12/31/20
FL15279-R5	Clopay Building Products Company	Garage Door	5/21/2028

10541 Six Mile Cypress
Fort Myers, FL 33966
(239) 225-2600 Phone
(239) 225-2601 Fax
3/5/2020 8:47:18 AM

MASTERED PLAN
CAPE CORAL BUILDING DIVISION.
BY DJS DATE 4/10/20
ALL CONSTRUCTION SHALL BE IN
COMPLIANCE WITH THE FLORIDA BUILDING
CODE ALL STATE AND LOCAL CODES. THE
GRANTING OF A PERMIT DOES NOT RELIEVE
THE CONTRACTOR OF RESPONSIBILITY TO
COMPLY WITH ALL CODES AND ORDINANCES.



Engineer of Record for the Structure
Structural Systems of N. FL., Inc.
Derek Bergener, PE # 58552
1634 SE 47th Street # 3
Cape Coral, FL 33904

Sign: _____ Date: _____
Reviewed for conformance with the design intent
of the structure and specified design criteria.
☒ Accepted ☐ Accepted ☐ Revise and
As is As noted Result: _____

3/20
intent
ia.
ise and
submit

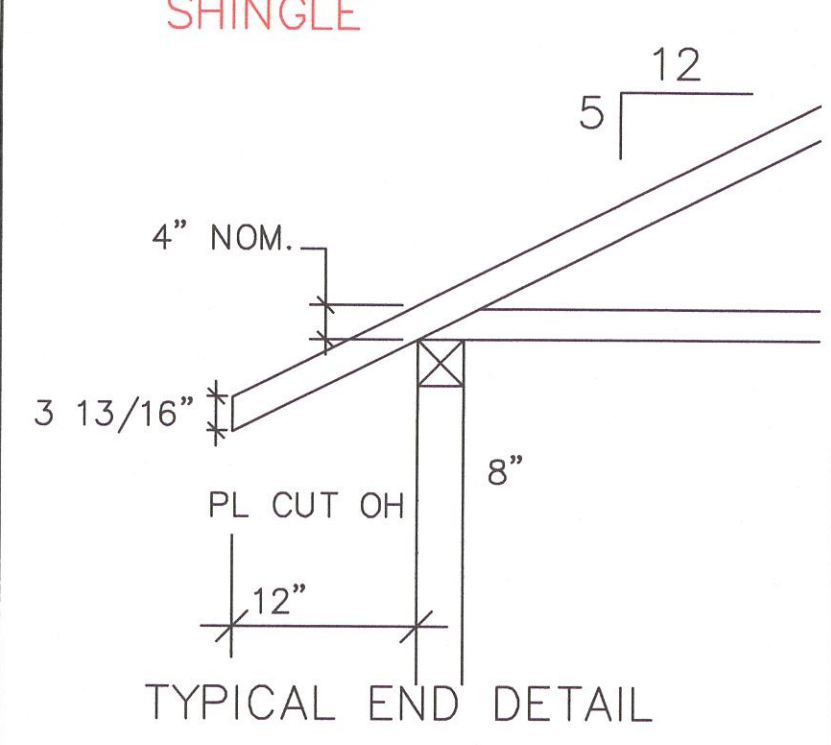
MASTERED PLAN
GAME CON BUILDING DIVISION

DATE 4/10

BY DE

ALL CONSTRUCTION SHALL BE IN
COMPLIANCE WITH THE LOCAL CODES THAT
GOVERN ALL STATE AND LOCAL BUILDING
GRADING AND PLANTING AND NOT RULE
THE CONTRACTOR OF RESPONSIBILITY
COMPLY WITH ALL CODES AND ORDINANCES

DESIGN CRITERIA		
TOP CHORD LIVE LOAD		20
TOP CHORD DEAD LOAD		7
BOTTOM CHORD LIVE LOAD	NON-CURRENT	10
BOTTOM CHORD DEAD LOAD		10
TOTAL LOAD		37
DURATION FACTOR		1.25
WIND DESIGN SPEED (MPH)		160
ASCE 7-10 CAT II EXP C	MMFRS	
CLOSED	FBC 2017	
MAX. WALL HT FOR WIND LOAD		8'-0"



****UNLESS NOTED****

REACTION VALUES ARE UNDER 5000#

UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24" o.c. UNLESS NOTED OTHERWISE

*****CAUTION*****

DO NOT ATTEMPT TO ERECT TRUSSES WITHOUT REFERRING TO THE ENGINEERING DWGS.

IT IS NECESSARY TO REFER TO THE ENGINEERING DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION, ORIENTATION AND WEB BRACING

REFER TO WTCA/TPI BSCI-B1 SUMMARY SHEET FOR HANDLING METHODS & TEMPORARY BRACING, WHICH IS ALWAYS REQUIRED

BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA
CORP. "+/-" BEARING DIFFERENCES SHOWN ARE CRITICAL.
IF ANY HEIGHTS DEVIATE - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS

	$0' - 0''$	ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

TYPICAL HANGER SCHEDULE

(C) SIMPSON HUS 26	(M) SIMPSON HGUS 28-3
(F) SIMPSON HUS 28	(N) SIMPSON HHUS 48
(H) SIMPSON HGUS 28	(P) SIMPSON LUS 24
(I) SIMPSON HGUS 28-2	(B) SIMPSON THA 422
(W) SIMPSON THJA26	(X)

HANGER VALUES HAVE BEEN BASED ON 16D
COMMON NAILS EXCEPT THE FOLLOWING
LUS24 - 10D COMMON THJA26 - 10D x 1-1/2

*****ATTENTION*****

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY FOR FABRICATION CAPABLE. VERIFY DIMENSIONS, PITCHES, OVERLAPS, ELEVATIONS, GELLING, BEARING CONDITIONS. SCOSTA CORPORATION IS RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH PLANS AND/OR INFORMATION PROVIDED BY CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN. CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF INFORMATION AND PLANS PROVIDED TO SCOSTA CORPORATION AND TO PROVIDE PERFORMANCE TO FIELD CONDITIONS AND/OR OWNER REQUIREMENTS. TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE APPROVED LAYOUT.

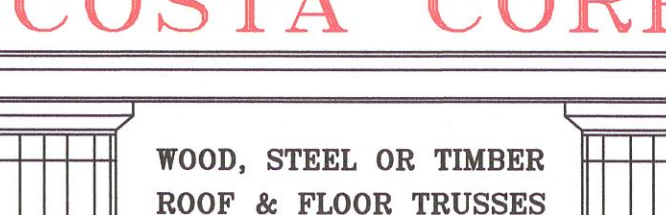
APPROVED BY: _____

DATE: _____ REQUESTED DELIVERY DATE: _____

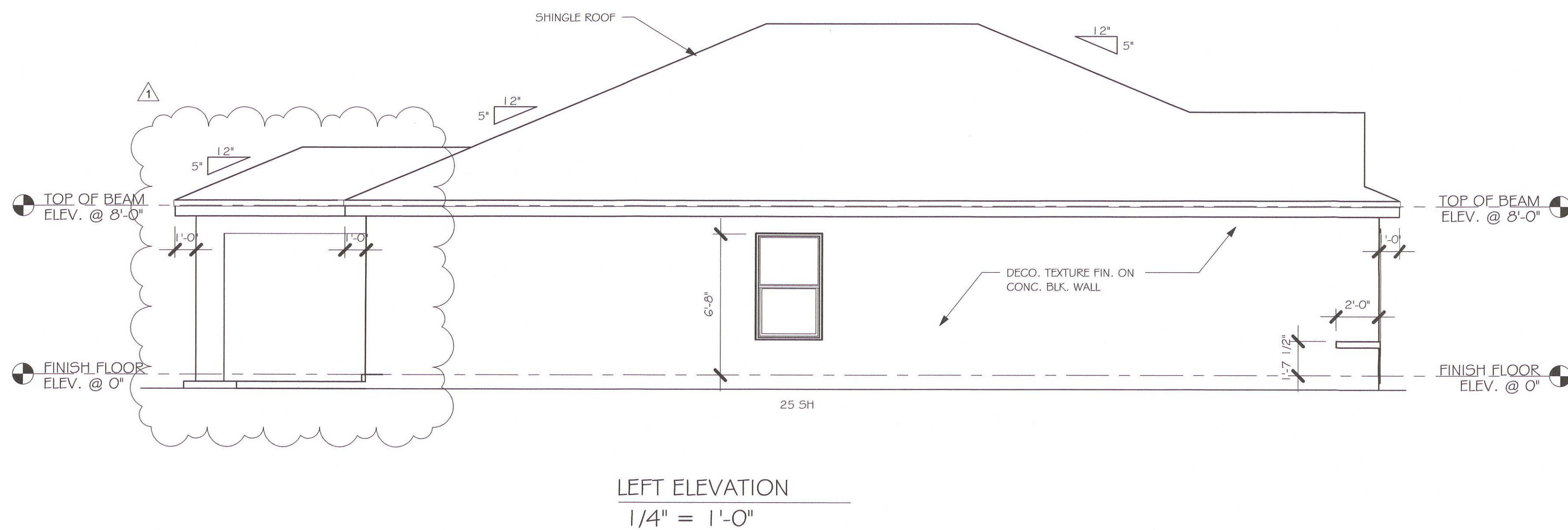
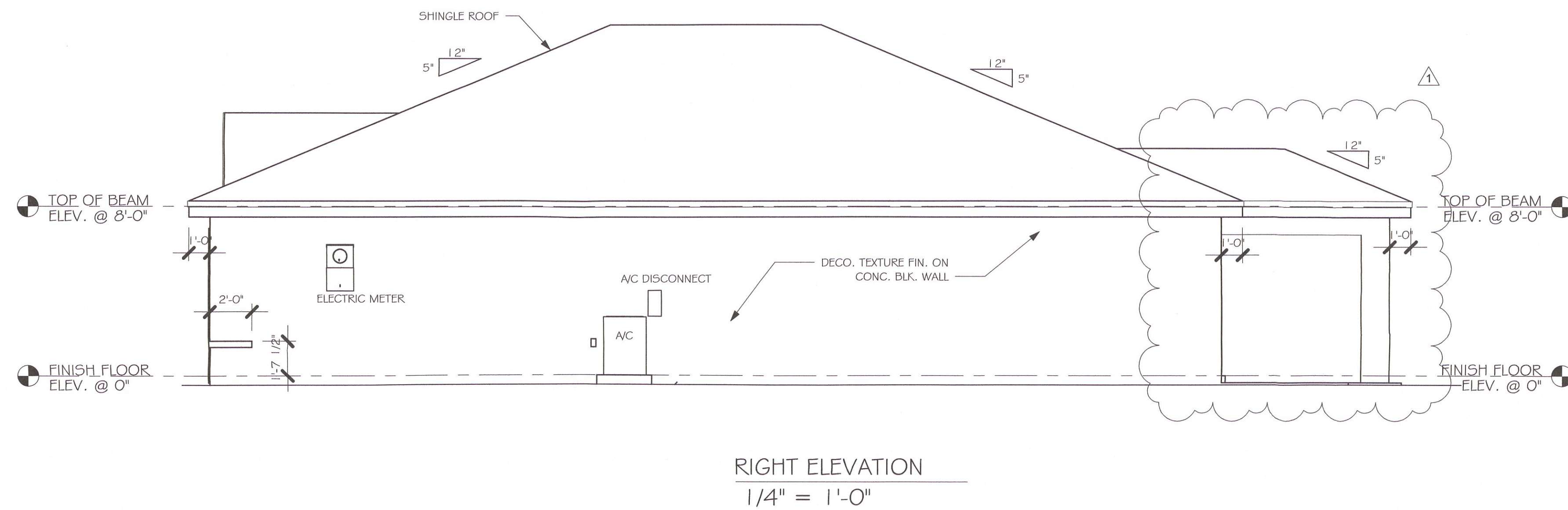
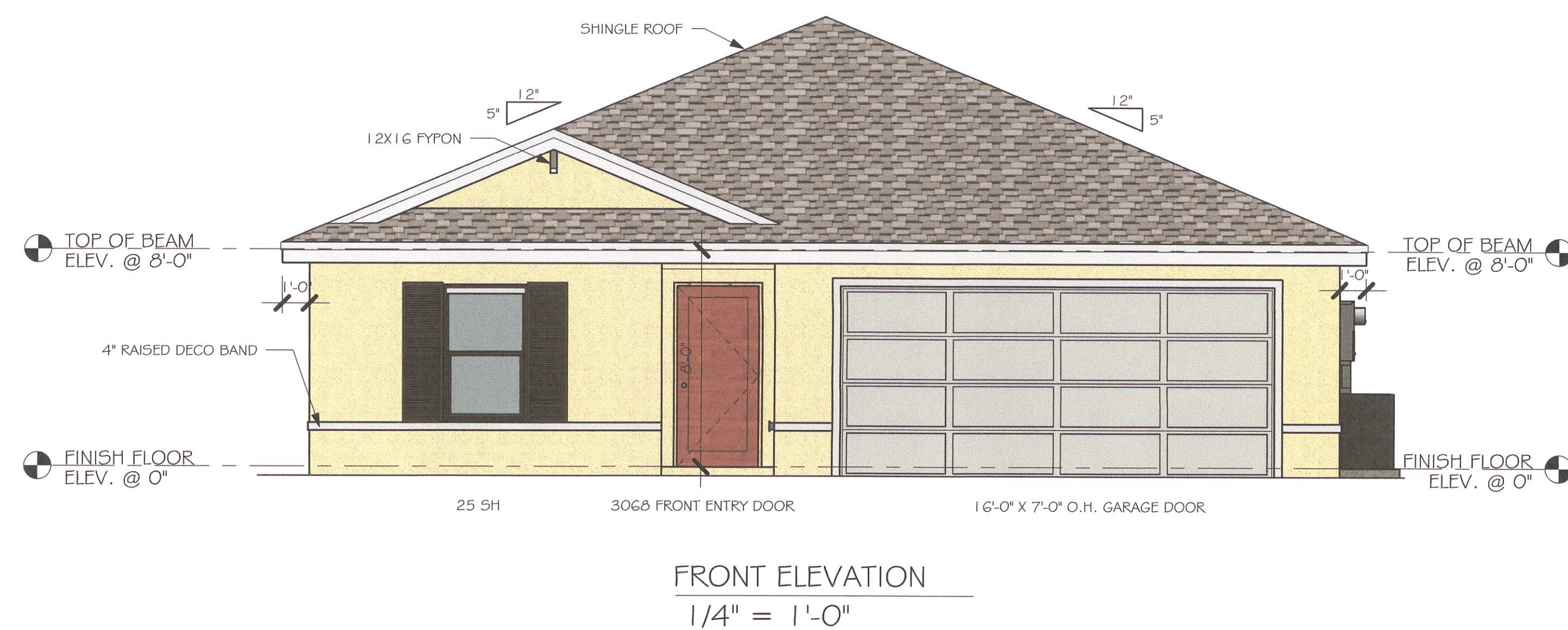
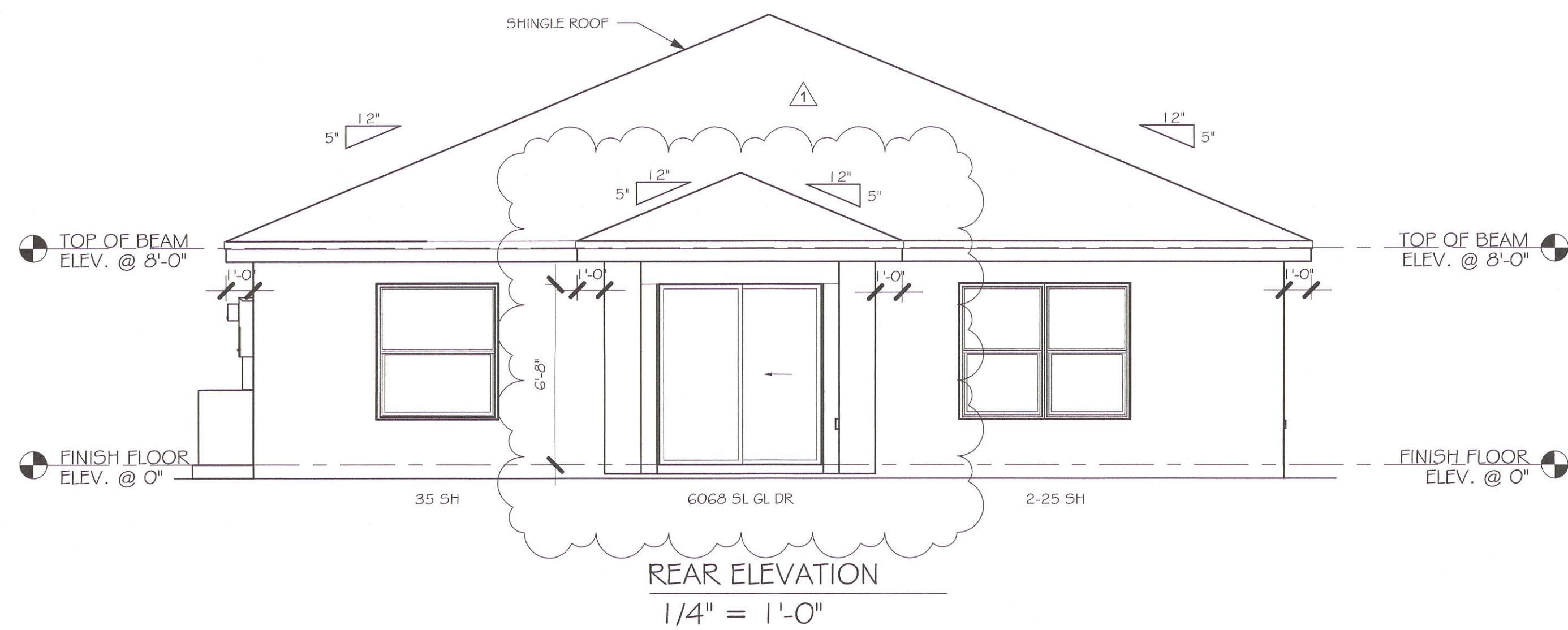
JOBSITE CONTACT NAME: _____

PHONE #: _____

E-MAIL: _____

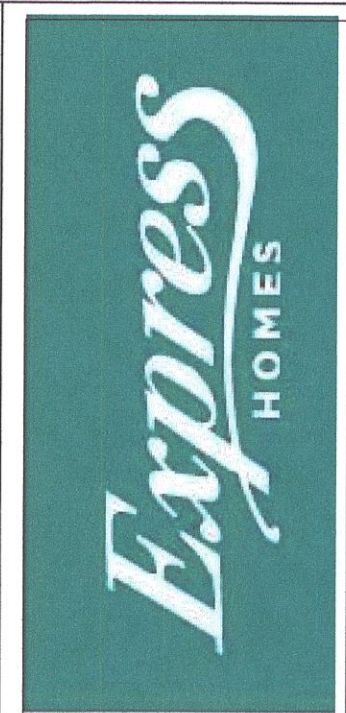
<h1 style="text-align: center; margin: 0;">SCOSTA CORP.</h1>			
			
<p>WOOD, STEEL OR TIMBER ROOF & FLOOR TRUSSES</p>			
<p>3670 COMMERCIE CENTER DRIVE SEBRING, FL 33580 (863) 385-8242</p>			
SCALE: 1/4"=1'-0"	DATE: 12/11/19	REVISED BY:	DRAWN BY: J. CLEVELAND
JOB ADDRESS: 1389 A W/ LANAI GARAGE RIGHT LEE		1 OF 1	
CUSTOMER: D.R. HORTON		JOB # 44115L	

L:\0-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\1389 A-
W-LANAI MASTERED CAPE CORAL REVIT 1389 AR W LANAI MASTERED 1389 AR W LANAI



No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



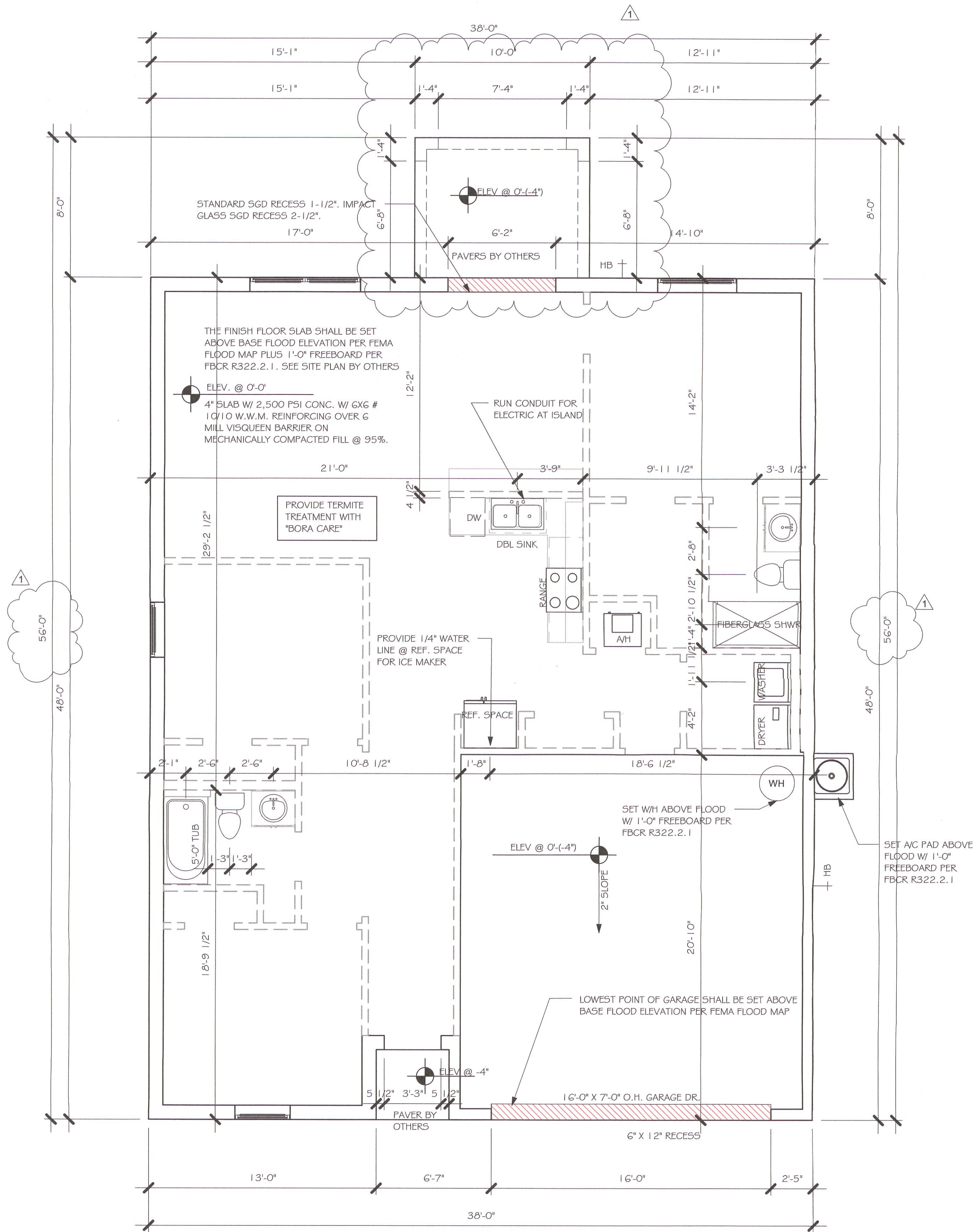
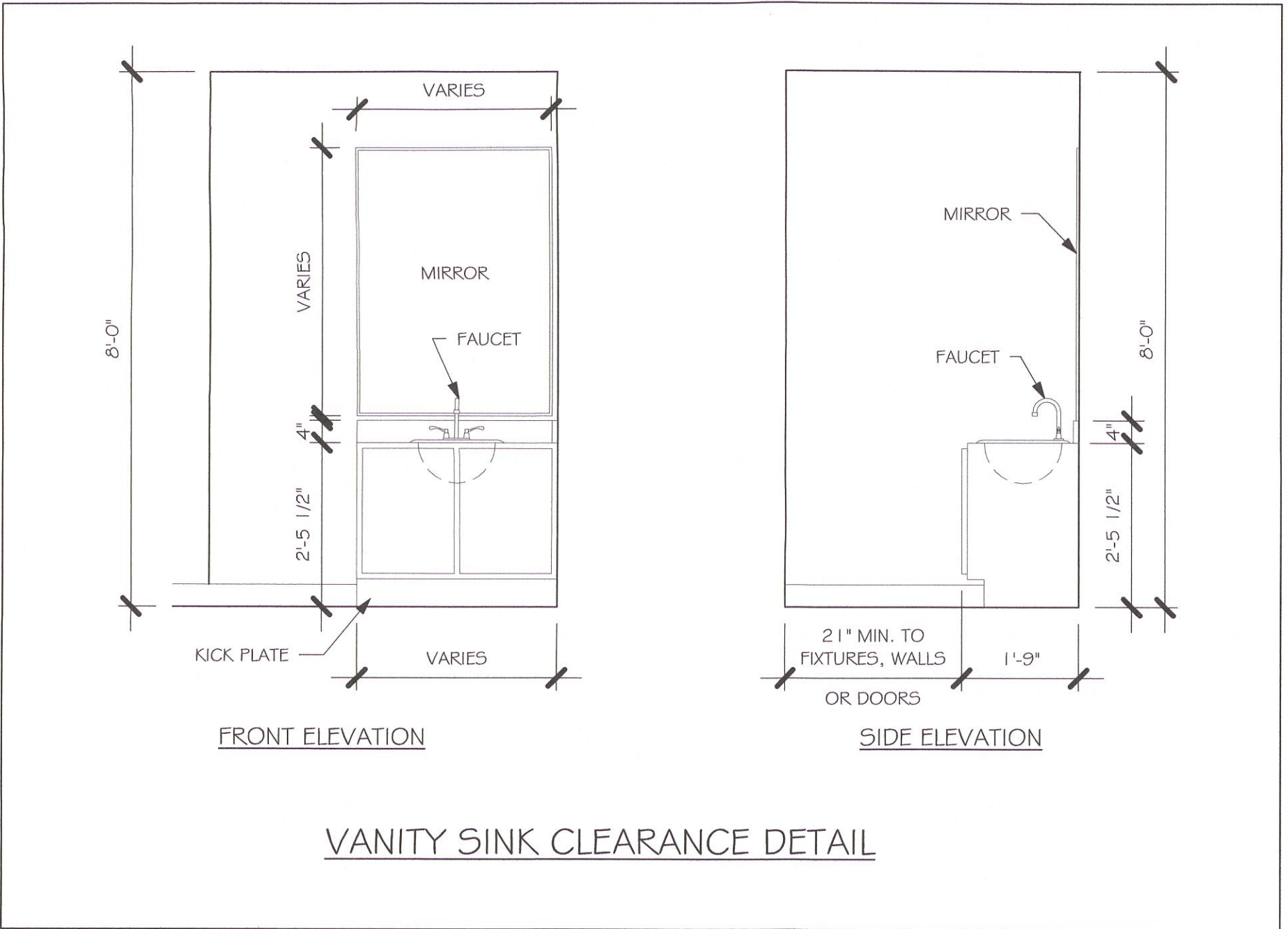
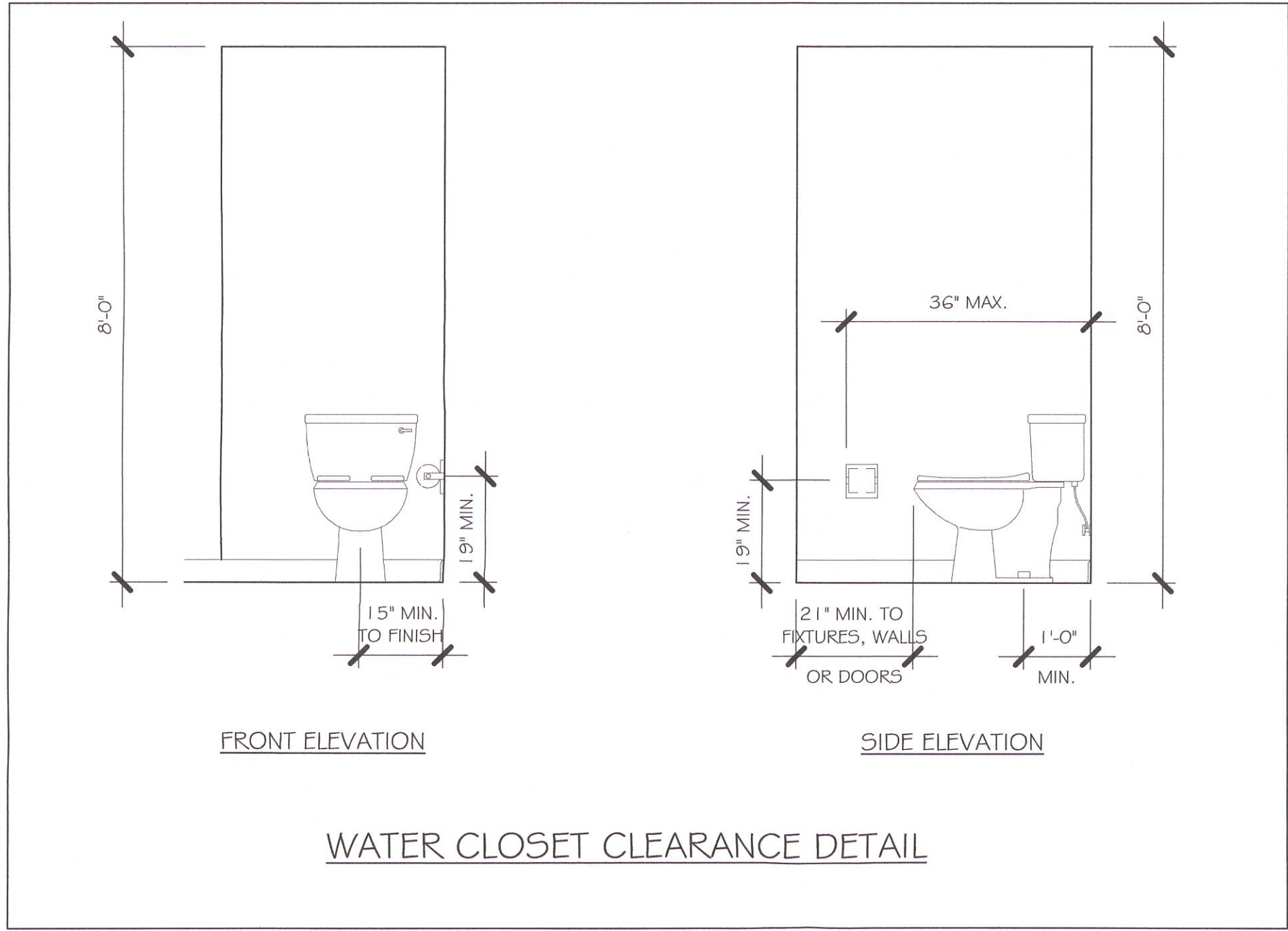
Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-1822
1515 SE 47th ST. CAPE CORAL, FL 33904

MASTERED
1389 A CAPE CORAL
160 MPH, EXPOSURE C GARAGE RIGHT

DATE:	02/14/19
DRAWN BY:	JSL
CHECKED BY:	
REVISED:	02/27/20
PLAN:	ELEVATION
SCALE:	1/4" = 1'-0"
	A-1

MASTERED PLAN
CAPE CORAL BUILDING DIVISION
DATE 2/20/20
BY: [Signature]
ALL CONSTRUCTION SHALL BE IN
COMPLIANCE WITH THE FLORIDA BUILDING
CODE ALL STATE AND LOCAL CODES. THE
GRANTING OF A PERMIT DOES NOT WAIVE
THE CONTRACTOR'S RESPONSIBILITY TO
COMPLY WITH ALL CODES AND ORDINANCES.

L:\0-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\1389 A-
W-LANAI\MASTERED CAPE CORAL REVIT\1389 AR W LANAI\MASTERED 1389 AR W LANAI.rvt



SLAB & PLUMBING
1/4" = 1'-0"

No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

MASTERED PLAN
CAPS-CORAL BUILDING DIVISION
DATE 02/27/20
ALL CONSTRUCTION SHALL BE IN
COMPLIANCE WITH THE FLORIDA BUILDING
CODE. THE OWNER AND LOCAL GOVERNMENT
SHALL BE RESPONSIBLE FOR THE
OBTAINING OF ALL PERMITS AND APPROVALS.

1389 A CAPE CORAL

160 MPH, EXPOSURE C GARAGE RIGHT

DATE: 02/14/19

DRAWN BY: JSL

CHECKED BY:

REVISED: 02/27/20

PLAN: SLAB & PLUMBING

SCALE: As indicated

A-2

L:\O-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\1389 A-
W-LANAI MASTERED CAPE CORAL\REVIT\1389 AR W-LANAI MASTERED\1389 AR W-LANAI.rvt

DOOR SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COUNT
1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	2-3068 SL. GL. DR.	DISTINCTION	6'-8"	6'-0"	1
3	16070 OHGD	GARAGE DOOR	7'-0"	16'-0"	1

WINDOW SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	COUNT	HEIGHT	WIDTH
A	2-25 SH		1	5'-3"	6'-4"
B	25 SH		2	5'-3"	3'-2"
C	35 SH		1	5'-3"	4'-6"

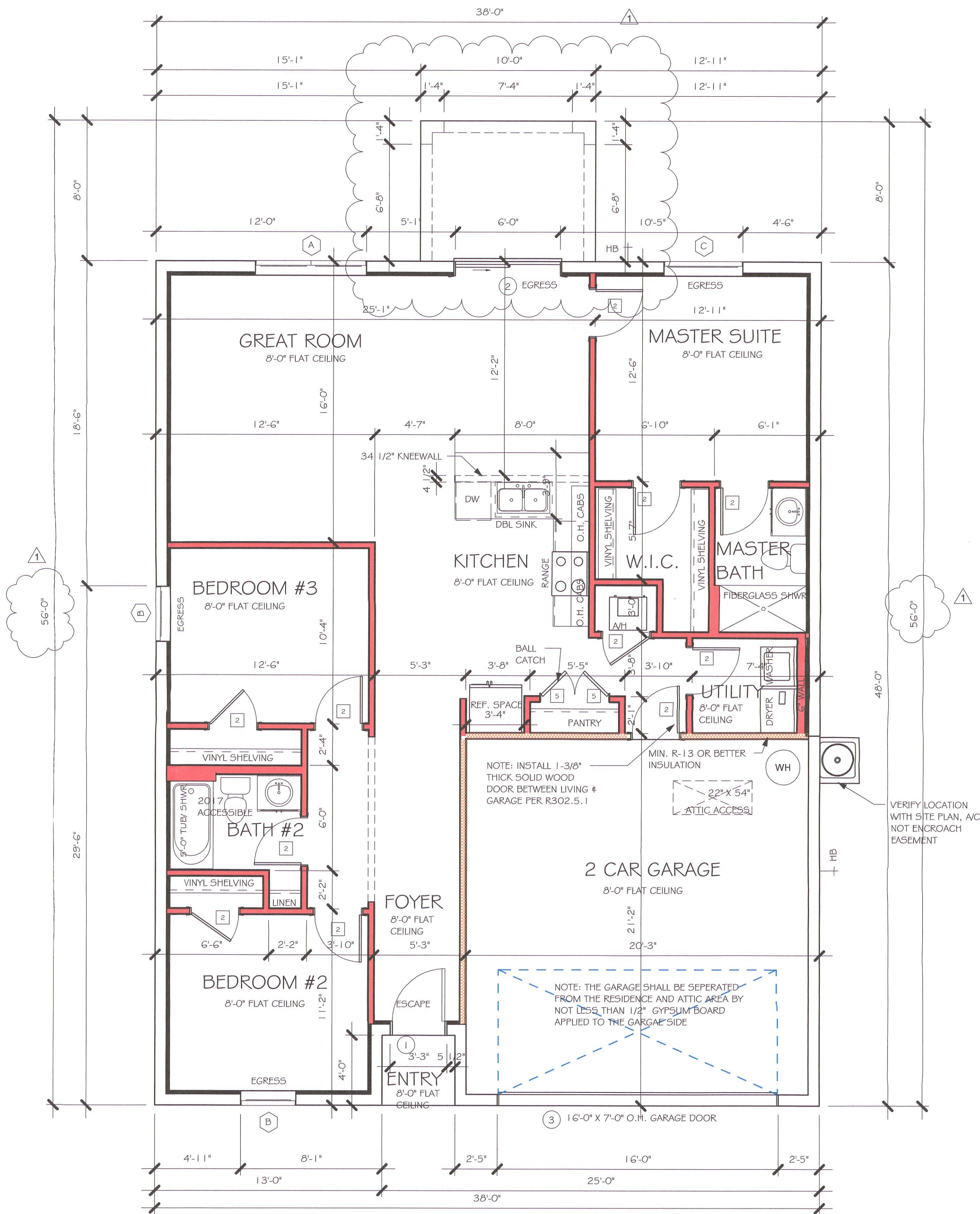
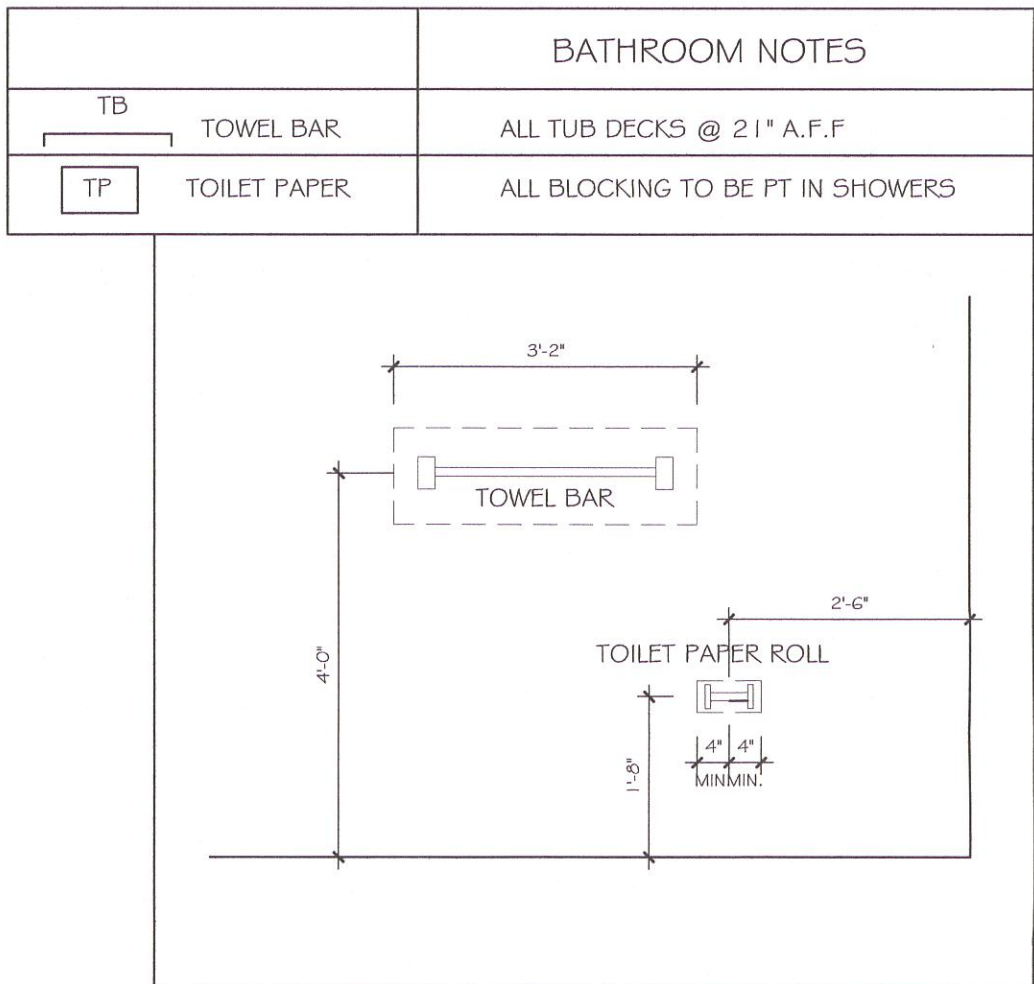
DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

- PLAN NOTES**
- VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS.
 - PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
 - PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
 - NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY).
 - PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE.
 - KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
 - INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS.
 - WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" 5AG RESISTANT PER SEC. 702.3.5.
 - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
 - INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5.
 - ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PREVENTION DEVICE.
 - ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.
 - ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED AT OR ABOVE FLOOD PLUS 1'-0" FREEBOARD.

CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE

INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	B.P. = BI-PASS DOOR
4	2'-4"	
5	2'-0"	L.V. = LOUVERED DOOR
6	1'-8"	
7	1'-6"	
8	2'-11"	

SQUARE FOOTAGE	
LIVING AREA	1,389
GARAGE AREA	419
LANAI AREA	80
FRONT PORCH/ ENTRY AREA	16
TOTAL SQUARE FOOTAGE	1,904



FLOOR PLAN
1/4" = 1'-0"

No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

MASTERED PLAN
CAPE CORAL BUILDING DIVISION.
BY *[Signature]* DATE *2/16/20*
ALL CONSTRUCTION SHALL BE IN
COMPLIANCE WITH THE FLORIDA BUILDING
CODE ALL STATE AND LOCAL CODES. THE
GRANTING OF A PERMIT DOES NOT RELIEVE
THE CONTRACTOR OF RESPONSIBILITY TO
COMPLY WITH ALL CODES AND ORDINANCES.

MASTERED
1389 A CAPE CORAL
160 MPH, EXPOSURE C GARAGE RIGHT

DATE: 02/14/19
DRAWN BY: JSL
CHECKED BY:
REVISED: 02/27/20
PLAN: FLOOR
SCALE: As indicated

A-3

Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-1822
1515 SE 47th ST. CAPE CORAL, FL 33904

Express
HOMES

L:\O-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\1389 A-
W LANAI MASTERED CAPE CORAL REVIT\1389 AR W LANAI MASTERED\1389 AR W LANAI.rvt

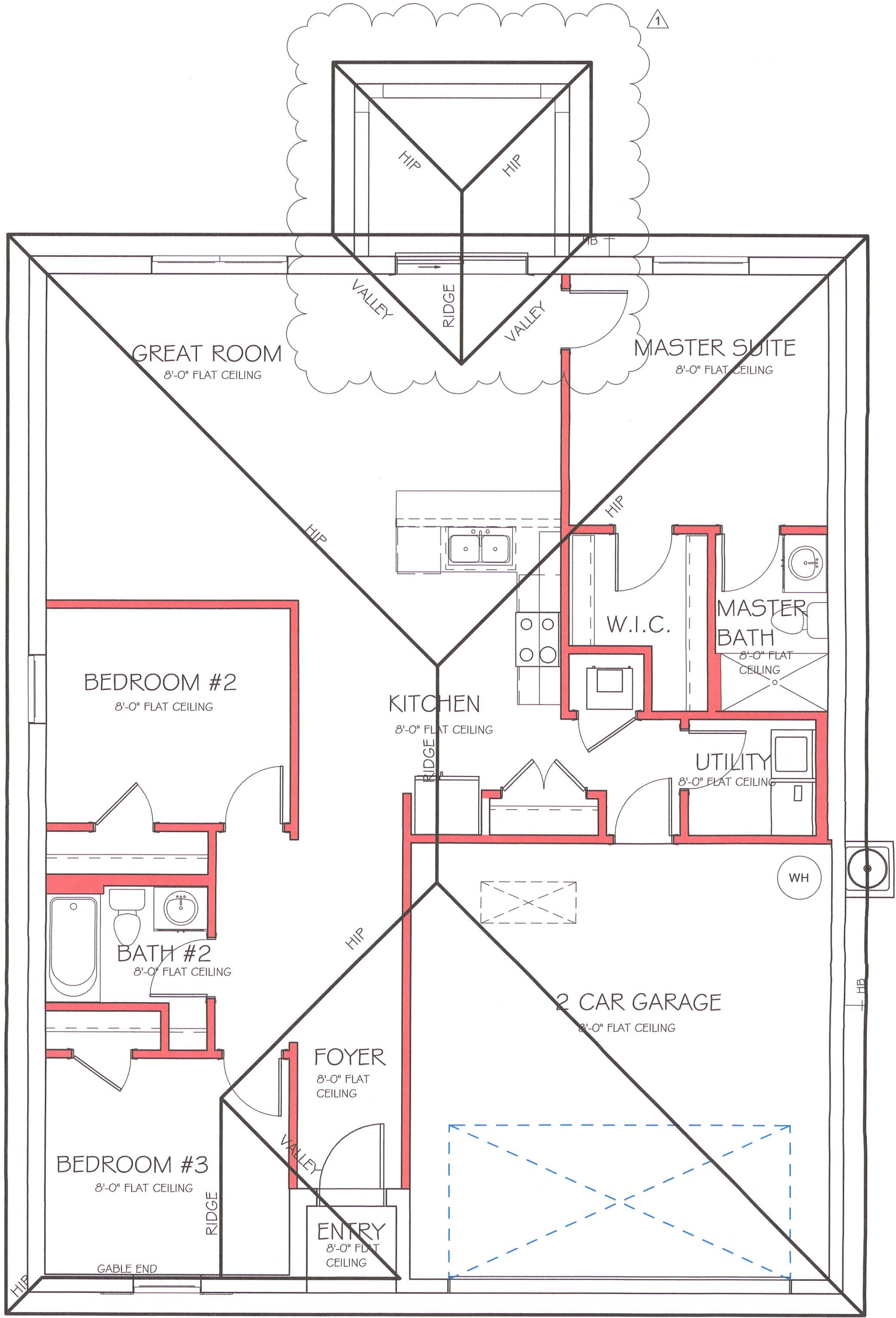
MODEL 1389 A: ATTIC VENTILATION FBCR R806

COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS

AREAS (SQ. FT.)		SOFFIT ONLY (1/150) (NO ROOF VENTS)		WITH ROOF VENTS (1/300) (R.V.)	
		ATTIC VENTILATION REQUIRED		ATTIC VENTILATION REQUIRED	
MARK	ATTIC	SOFFIT	ATTIC AREA/50	REQD AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS
1st STORY	2000.0 SQ. FT.	176.0 SQ. FT.	13.33 SQ. FT.	7.57%	8.19%
		"SOFFIT ONLY" QUALIFIES		ROOF VENTS ARE NOT REQUIRED	
		SOFFIT MODEL		ROOF VENT MODEL	
		ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW		32" BASE 22 3/8" BASE LOMANCO 770-D 0.97 SQ. FT. FREE AIR	

BEARING HEIGHT

= BEARING @ 8'-0"



ROOF PLAN

1/4" = 1'-0"

No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION

MASTERED PLAN
CAPE CORAL BUILDING DIVISION
BY *JS* DATE *4/10/20*
ALL CONSTRUCTION SHALL BE IN
COMPLIANCE WITH THE FLORIDA BUILDING
CODE ALL STATE AND LOCAL CODES. THE
GRANTING OF A PERMIT DOES NOT REPLY
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COMPLY WITH ALL CODES AND ORDINANCES.

MASTERED
1389 A CAPE CORAL

160 MPH, EXPOSURE C GARAGE RIGHT

DATE:	02/14/19
DRAWN BY:	JSL
CHECKED BY:	
REVISED:	02/27/20
PLAN:	ROOF
SCALE:	As indicated

A-4

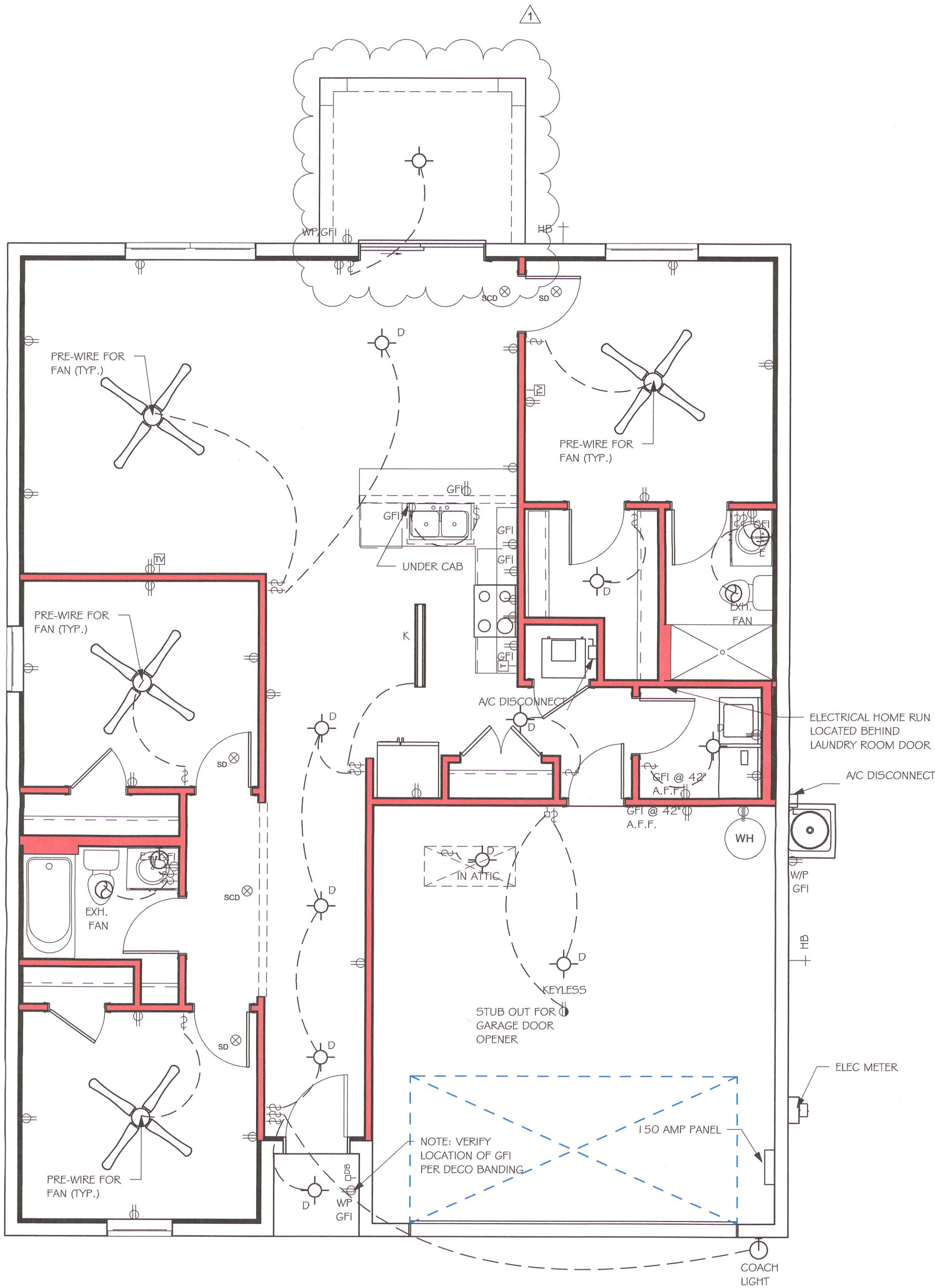
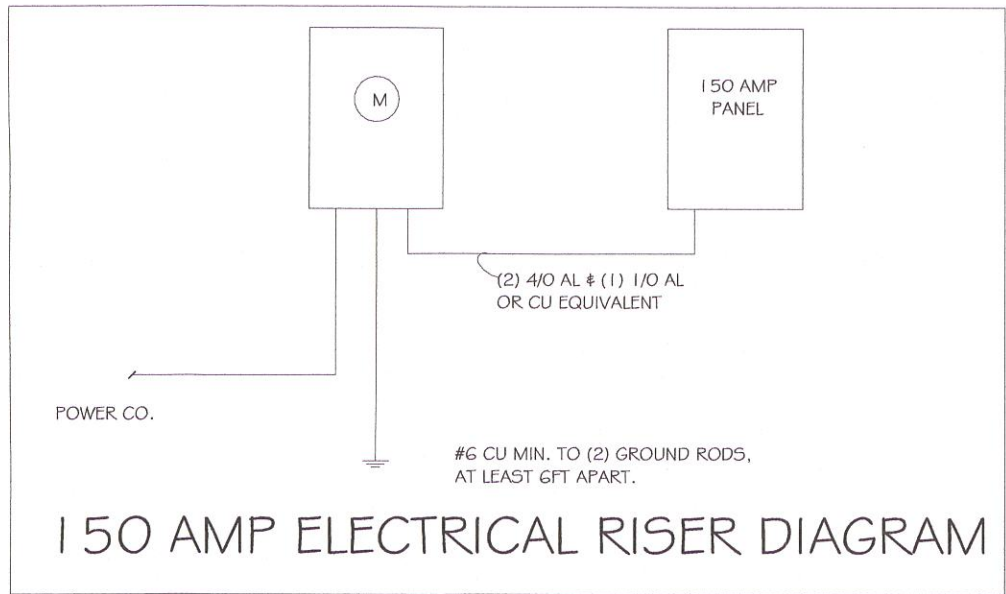
Gulf Coast
Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-1822
1915 SE 47th ST. CAPE CORAL, FL 33904

Express
HOMES

L:\0-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\1389 A-
W/LANAI MASTERED CAPE CORAL REVIT\1389 AR W/LANAI MASTERED\1389 AR W/LANAI

ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE AT ELEV. A.F.F.
	DUPLEX RECEPTACLE - ABOVE COUNTER
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	MOTION SENSOR SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES. PER RULE 9B-3.04.72
	SD (SMOKE DETECTOR)
	SCD (CARBON MONOXIDE/ SMOKE DETECTOR)
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	FLUSH MOUNTED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	AC DISCONNECT
	PUSH BUTTON (PB) / DOOR BELL (DB)
	INTERCOM
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT
NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.	
ELECTRICAL NOTES: ARC-FAULT CIRCUIT-INTERRUPTERS AND TAMPER RESISTANT RECEPTACLES SHALL BE INSTALLED IN DWELLING UNITS PER N.E.C 210.12 AND 406.11 ALL ELECTRIC, ELECTRICAL EQUIPMENT AND APPLIANCES TO BE SET AT OR ABOVE BASE FLOOD ELEVATION PLUS 1'-0" FREEBOARD. ALL OUTLETS IN WET AREAS AND ALL EXTERIOR OUTLETS TO BE GFI'S. INSTALL PHONE AND T.V PER CONTRACT. INSTALL ALL ELECTRICAL PER NEC 2014	

ELECTRICAL PLAN 1389		
150 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(X)	(FLUSH MOUNTED LT)
B	(X)	(VAPORS)
C	(X)	(PENDANT LIGHT
D	(10)	(10" MUSHROOMS)
E	(2)	(24" 3 LT)
F	(X)	(36" 4 LT)
G	(X)	(NOT USED)
H	(2)	(COACH LIGHTS)
I	(X)	
J	(X)	(1 BOX)
K	(1)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(5LT CHANDELIER)
N	(X)	(3 LT)
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)



No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

MASTERED PLAN
CAPE CORAL BUILDING DIVISION
DATE: 02/27/20
BY: [Signature]
ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, ALL STATE AND LOCAL CODES, AND THE CONTRACTOR OF RECORD SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL CODES AND ORDINANCES.

Express HOMES

Gulf Coast Drafting & Design, Inc.
EMAIL: PLANS@GULFCOASTDRAFTING.COM
PHONE: 239-540-1822
1515 SE 47th ST. CAPE CORAL, FL 33904

MASTERED

1389 A CAPE CORAL

160 MPH, EXPOSURE C GARAGE RIGHT

DATE: 02/14/19

DRAWN BY: JSL

CHECKED BY:

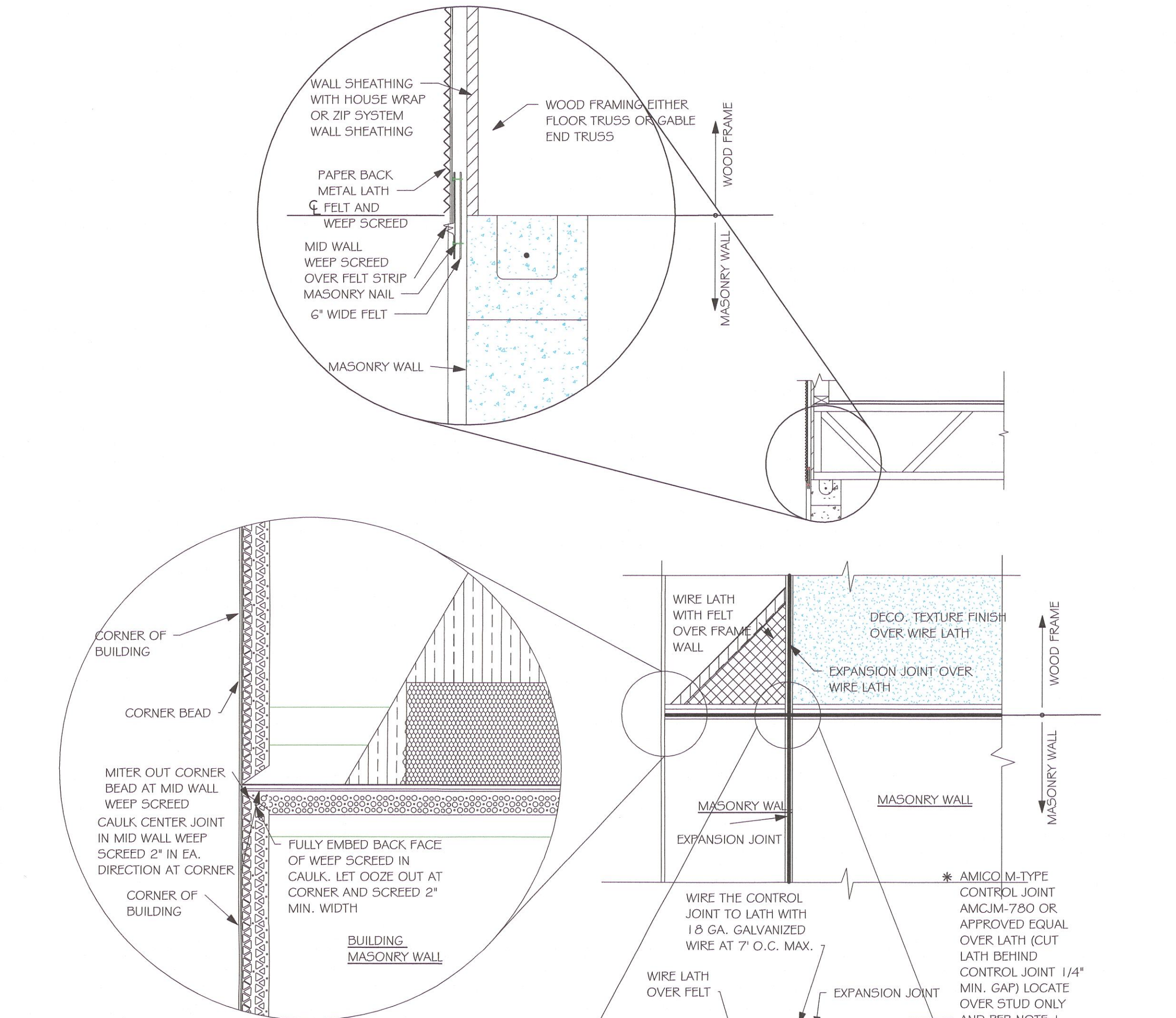
REVISED: 02/27/20

PLAN: ELECTRICAL

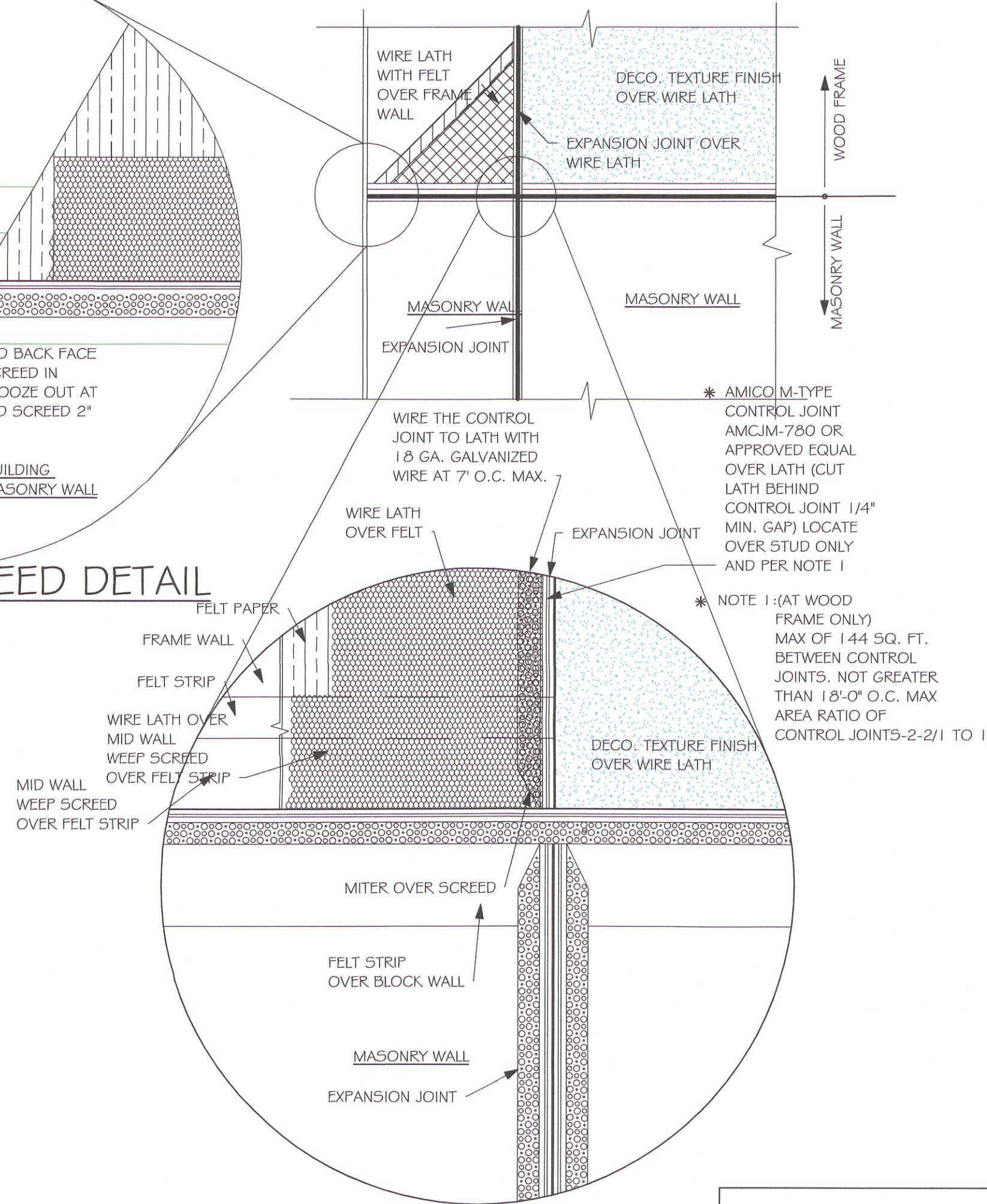
SCALE: As indicated

A-5

L:\O-New Data\1 -MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\1389 A- W-LANAI MASTERED CAPE CORAL REVIT\1389 AR W-LANAI MASTERED\1389 AR W-LANAI TYPE

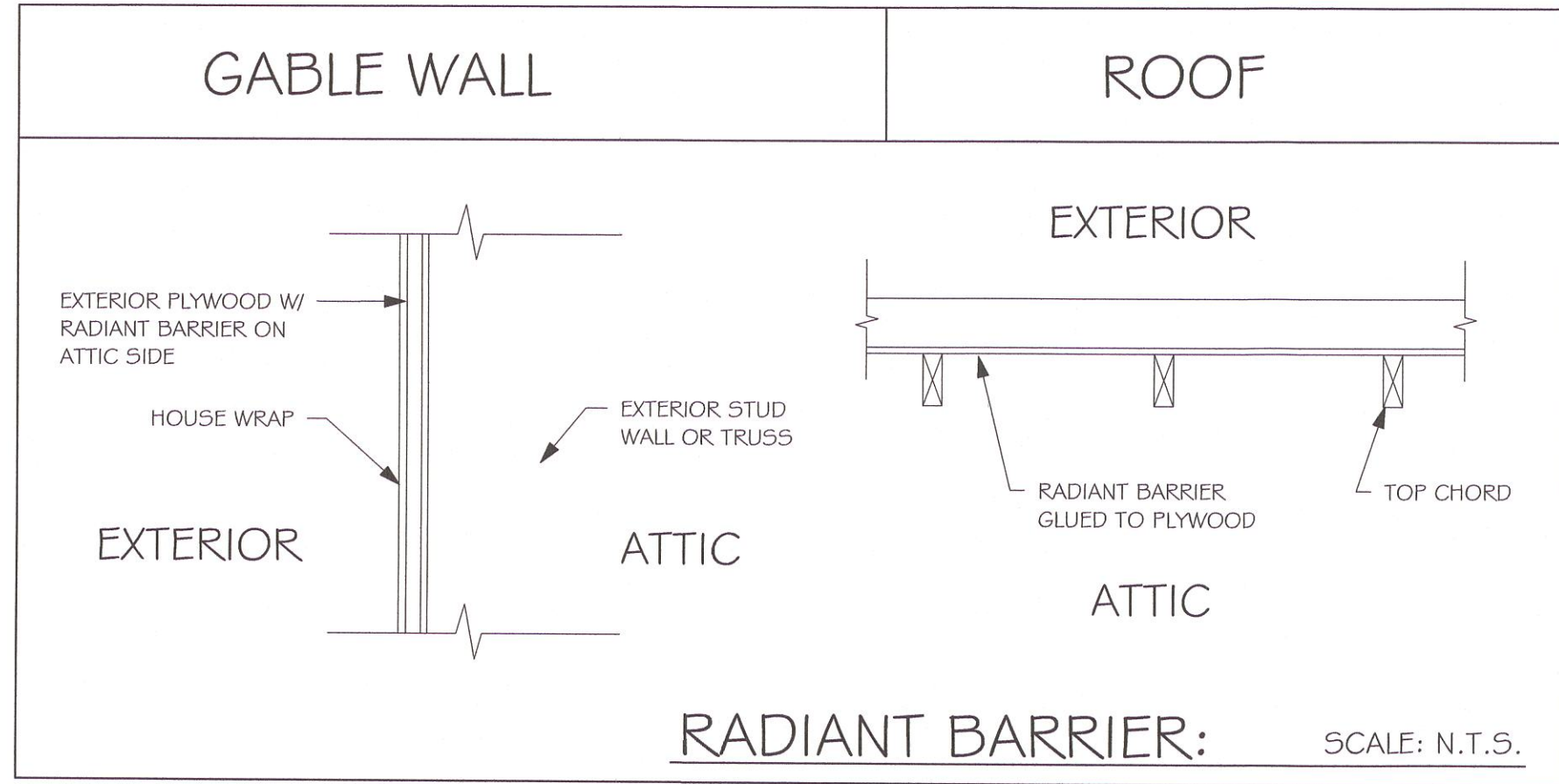


MID WALL WEEP SCREED DETAIL



WEEP SCREED DETAIL

INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE WOOD STUD FRAMING IS ABOVE MASONRY WALLS.



NOTE: EXTERIOR WALLS ADJACENT TO ATTIC SPACE, INCLUDING KNEEWALLS AND GABLE END WALLS, MUST HAVE RADIANT BARRIER AND HOUSE WRAP.

RESIDENTIAL SPECIFICATIONS

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
4. SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
5. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
6. ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING, THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT. ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT MOPED DIPPED GALVANIZED OR STAINLESS STEEL CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
7. TREATED WOOD REQUIREMENTS:- ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
8. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
9. CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
10. LANAI CEILINGS & COVERED ENTRY CEILINGS 1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS. 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

2

DOOR AND WINDOW ANCHORAGE

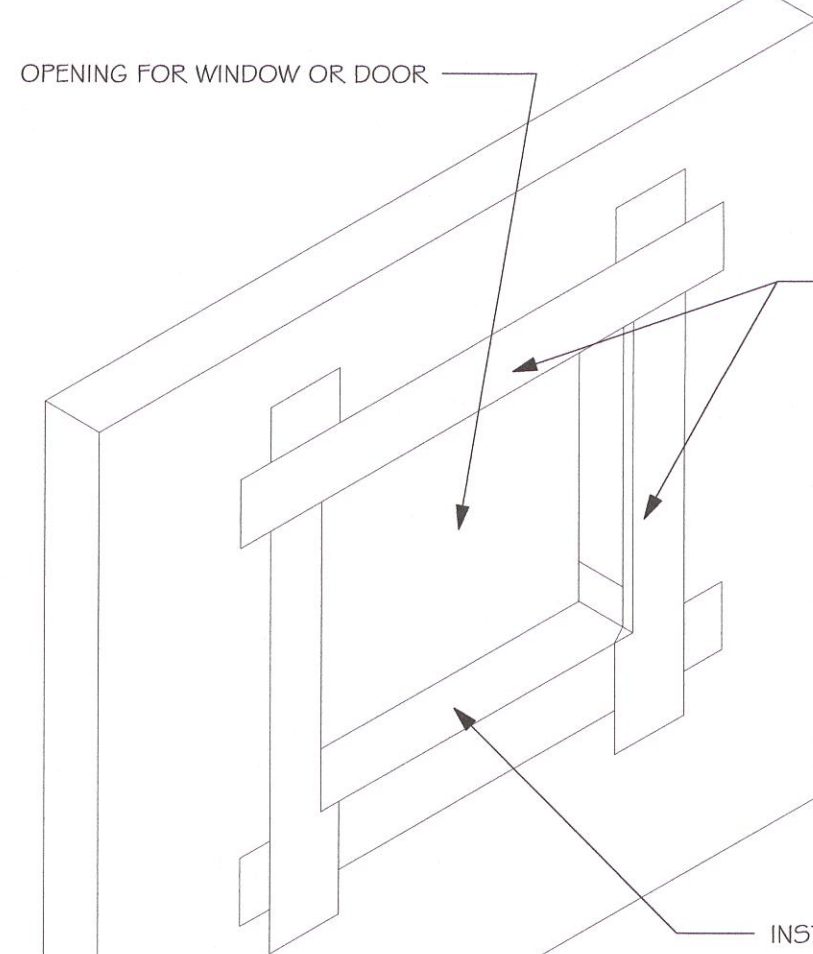
ANCHORAGE REQUIREMENTS- ALL PASS AND SLIDING GLASS DOORS AND ALL WINDOW ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A MANNER SPECIFIED BY THE PUBLISHED MANUFACTURERS LITERATURE. THERE SHALL BE NO SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER.

MASONRY OPENING

WHERE WINDOW FRAME IS DESIGN TO FASTEN WITH SCREWS THROUGH THE FRAME AND INTO THE MASONRY, THE BUCK MATERIAL IS SIMPLY A SPACER. THE BUCK MAY BE FASTENED WITH THE T NAILS OR ANY SUITABLE FASTENER TO TACK IT INTO POSITION PRIOR TO WINDOW INSTALLATION. FASTEN WINDOW FRAME PER MFR INSTRUCTIONS. A WINDOW FASTENER SHALL PENETRATE MASONRY BY 2 1/4" MIN.

WHERE WINDOW FRAME IS DESIGNED TO FASTEN ONLY TO THE WOOD BUCK (IE, FLANGED FRAME WITH WOOD SCREWS) THE BUCKS SHALL BE 2X WOOD WITH STRUCTURAL FASTENING TO THE MASNOY WITH 1/4 X 3 3/4 MASONRY SCREWS @ 24" OC AND 6" FROM EACH END.

WOOD FRAMED OPENING- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURERS LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE OF RESISTING THE APPLIED LOADS AND SHALL BE LOCATED NEAR EACH FRAME FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE TIGHTENED .



PAN FLASHING PER R703.4
SCALE: N.T.S.

3

GENERAL ROOF ASSEMBLY

ROOF SHEATHING

SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED . INSTALL "T" CLIPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 6" O.C. EDGE AND 6" O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK NAILS PER R903.2.3.1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.

FLASHING

FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE AZ50 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURES PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).

D RIP EDGE

D RIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS, LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". D RIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE D RIP EDGE FLANGE.

4

ASPHALT SHINGLE ROOF SPECS

SHINGLES

15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 FASTENERS PER SHINGLE STRIP. OR A MINIMUM OF 2 FASTENERS PER SHINGLE TAB, AND SHALL IN NO CASE BE FASTENED WITH LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. INSTALLATION SHALL COMPLY WITH MANUFACTURES REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.

FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 12 GAUGE (0.105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL BE A LENGTH TO PENETRATE THE SHEATHING

THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND SHALL BE CORROSION RESISTANT BY ELECTRO GALVANIZATION, MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL

5

CLAY AND CONCRETE ROOF TILE SPECS

INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE LAYER APPLICATION UNDER TILE ROOF. THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF R905.3 F.B.C. MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURER'S IDENTIFICATION MARK. APPLICATION SPECIFICATIONS: THE TILE MANUFACTURERS WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING:
1. TILE PLACEMENT AND SPACING,
2. ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CURRENT WIND CODE,
A. AMOUNT AND PLACEMENT OF MORTART
B. AMOUNT AND PLACEMENT OF ADHESIVE
C. TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS.
3. UNDERLAYMENT
4. SLOPE REQUIREMENT.

6

FLOOR SHEATHING AT 2ND FLOOR

A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATING 48/24 OR BETTER, GLUED AND NAILED

ROOF SHEATHING PER SCHEDULE 2/5-3. AND PER NOTES IN TABLE 3 ON A-6

TILE ROOF PER NOTE 5 ON A-6. OR SHINGLE ROOF PER NOTE 4 ON A-6

WOOD TRUSSES @ 24" O.C. (TYPICAL.) DESIGNED BY DELEGATED TRUSS ENGINEER.

EMBEDDED STRAP AT EACH TRUSS PER ROOF FRAMING PLAN. FLASHING AND D RIP EDGE PER NOTES IN TABLE 3 ON A-6

2X6 MIN. SUB FASCIA

PROVIDE VENTILATION PER R806.1

VENTED SOFFIT SHALL MEET R703.1.2.1 SEE TABLE 3 ON 5-3

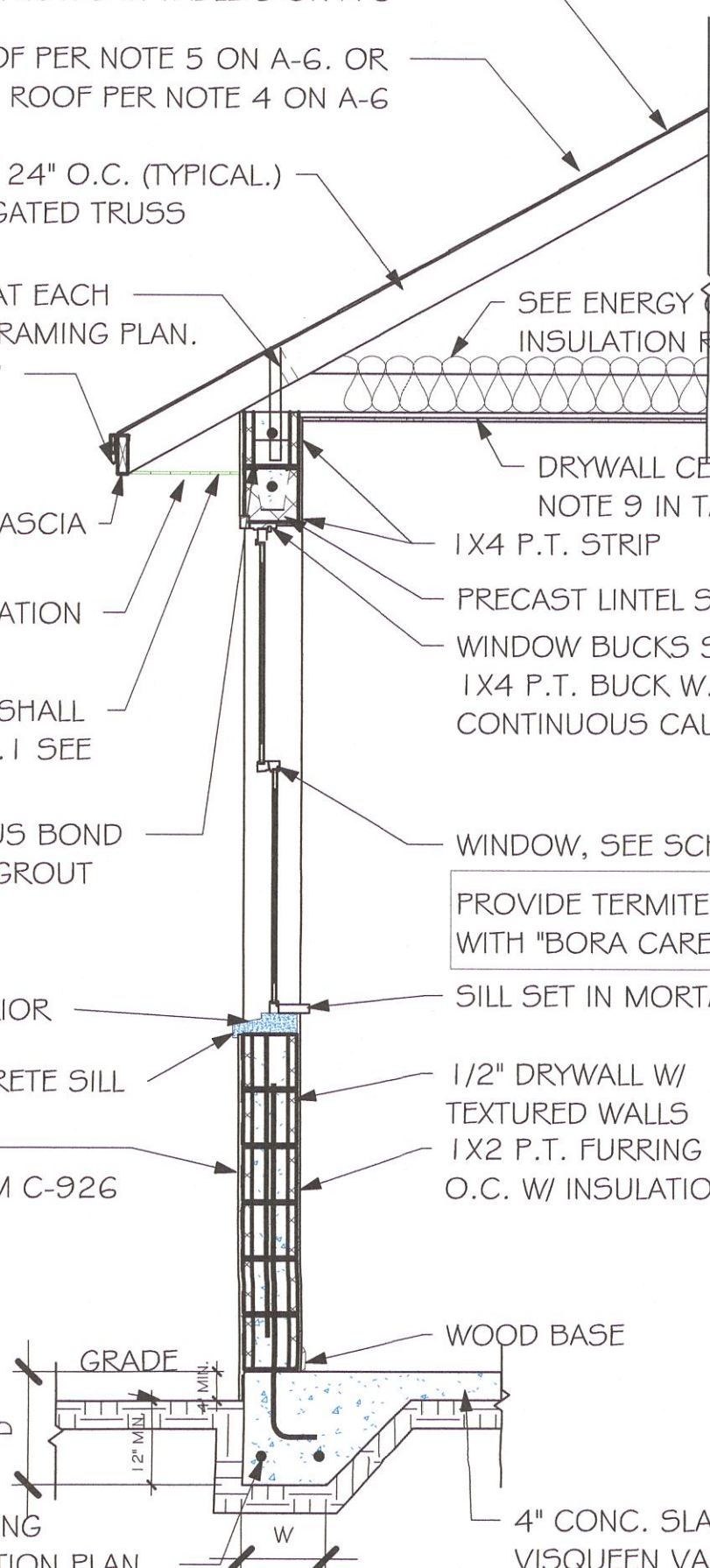
8X8 CONTINUOUS BOND BEAM W/ #5, GROUT SOLID

SLOPE TO EXTERIOR

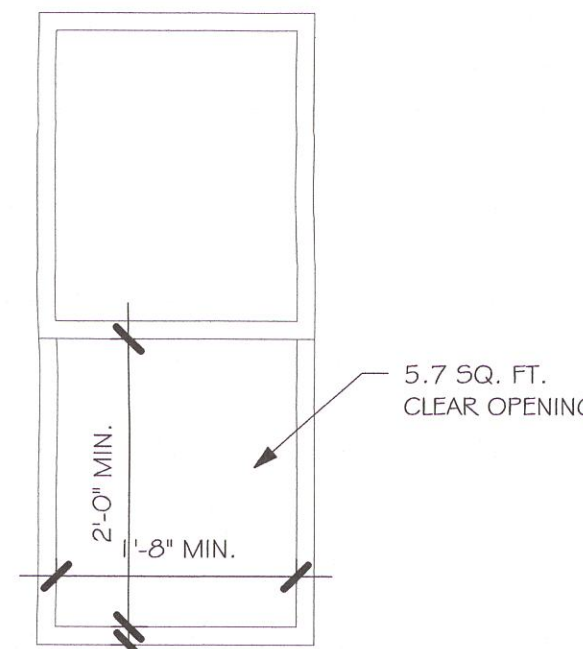
PRECAST CONCRETE SILL

DECO. CEMENT FINISH PER ASTM C-926

CONC. FOOTING SEE FOUNDATION PLAN FOR SIZE AND REINFORCING.



TYPICAL WALL SECTION



MASTERED PLAN
CAPE CORAL BUILDING DIVISION
BY 228 DATE 4/12/20
ALL CONSTRUCTION SHALL BE IN
COMPLIANCE WITH THE FLORIDA BUILDING
CODE ALL STATE AND LOCAL CODES. THE
GRANTING OF A PERMIT DOES NOT RELIEVE
THE CONTRACTOR OF RESPONSIBILITY TO
COMPLY WITH ALL CODES AND ORDINANCES.

R310.2.1 MINIMUM OPENING AREA: ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²).

EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.465 m²).

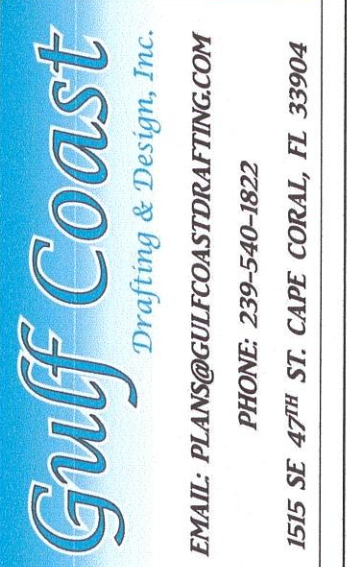
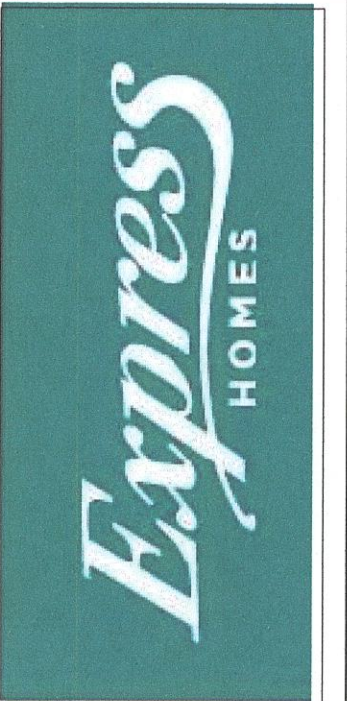
R310.2.1 MINIMUM OPENING HEIGHT: THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm).

R310.2.1 MINIMUM OPENING WIDTH: THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508mm).

R310.1.1 OPERATIONAL CONSTRAINTS- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

R310.2.3 WINDOW WELLS- THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (0.84 m²), WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (914mm). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

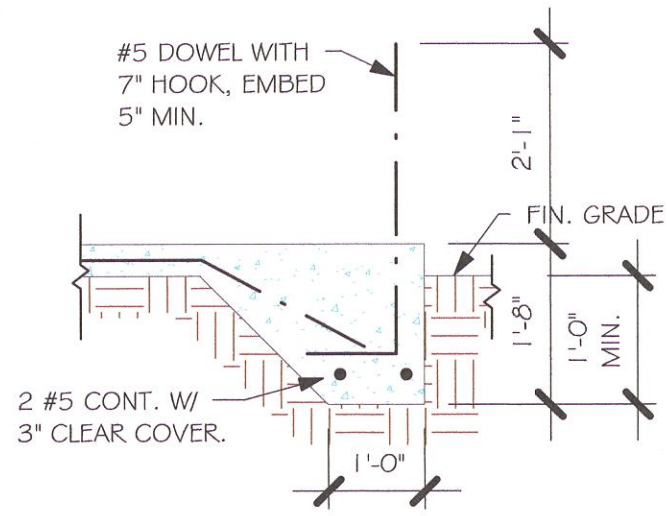
No.	Description	Date	MINIMUM EGRESS WINDOW DETAIL
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20	DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION



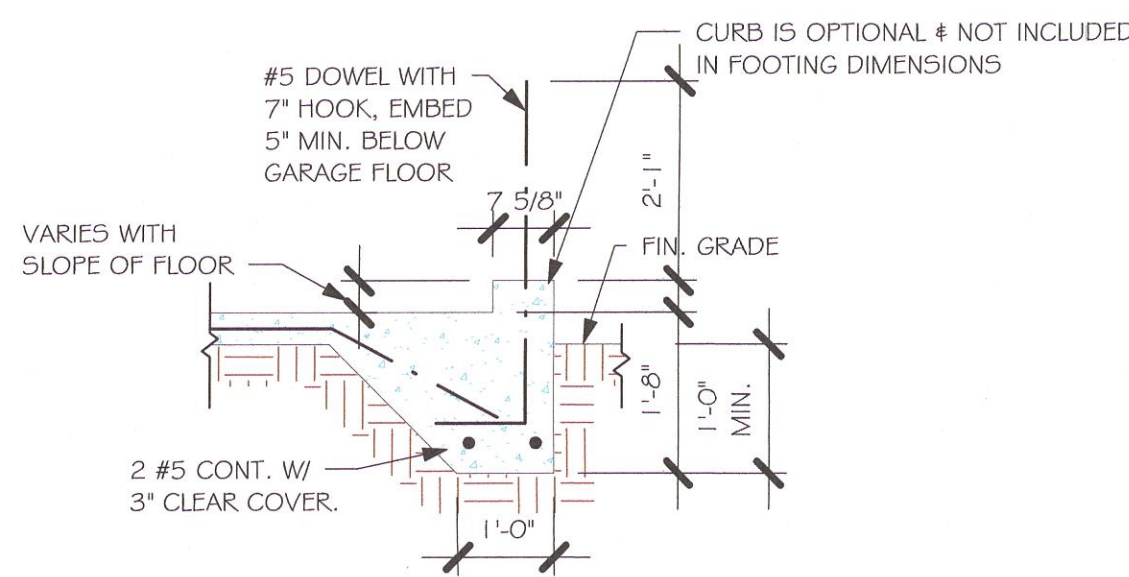
MASTERED
1389 A CAPE CORAL
160 MPH, EXPOSURE C
GARAGE RIGHT

DATE:	02/14/19
DRAWN BY:	JSL
CHECKED BY:	
REVISED:	02/27/20
PLAN:	SECTIONS
SCALE:	As indicated
	A-6

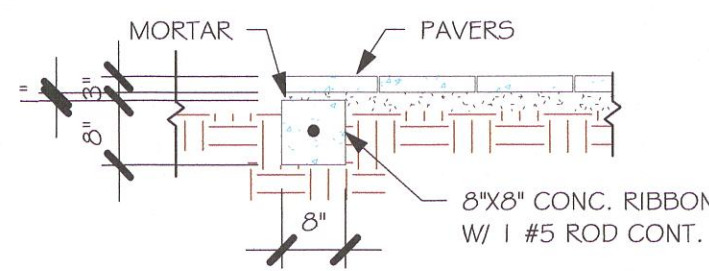
L:\Q-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\MODELS\1389 A-
W-LANAI MASTERED CAPE CORAL REVIT\1389 AR W LANAI MASTERED.DWG



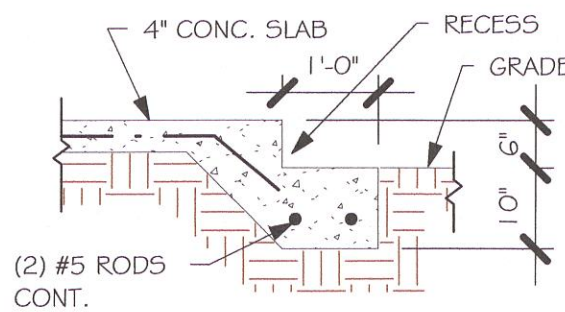
"F3" FOOTING
1/2" = 1'-0"



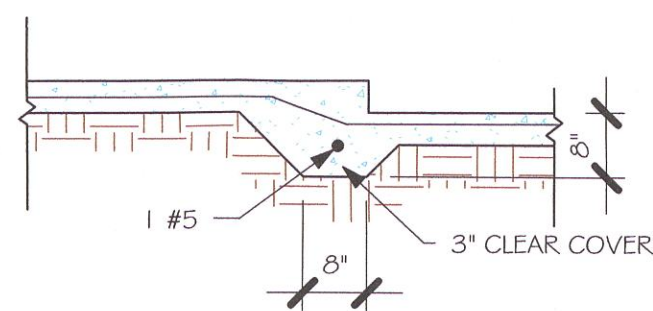
"F3" WITH CURB AT GARAGE
1/2" = 1'-0"



"P" PAVERS DETAIL ENTRY/ LANAI
1/2" = 1'-0"



GARAGE DOOR RECESS
1/2" = 1'-0"



"F6A" STEP DOWN
1/2" = 1'-0"

PAD FOOTING SCHEDULE						
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINF.	
					LONG WAY	SHORT WAY
	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5
	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5
	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5
	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5
	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5

WALL FOOTING SCHEDULE					
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING
					SHAPE
	F1	CONT.	1'-4"	0'-8"	2-#5
	F2	CONT.	1'-8"	0'-10"	2-#5
	F3	CONT.	1'-0"	1'-8"	2-#5
	F4	CONT.	1'-4"	1'-8"	2-#5
	F5	CONT.	1'-4"	1'-0"	2-#5
	F6	CONT.	1'-4"	1'-0"	2-#5
	F6A	CONT.	0'-8"	0'-8"	1-#5
	TE	CONT.	0'-8"	0'-8"	1-#5

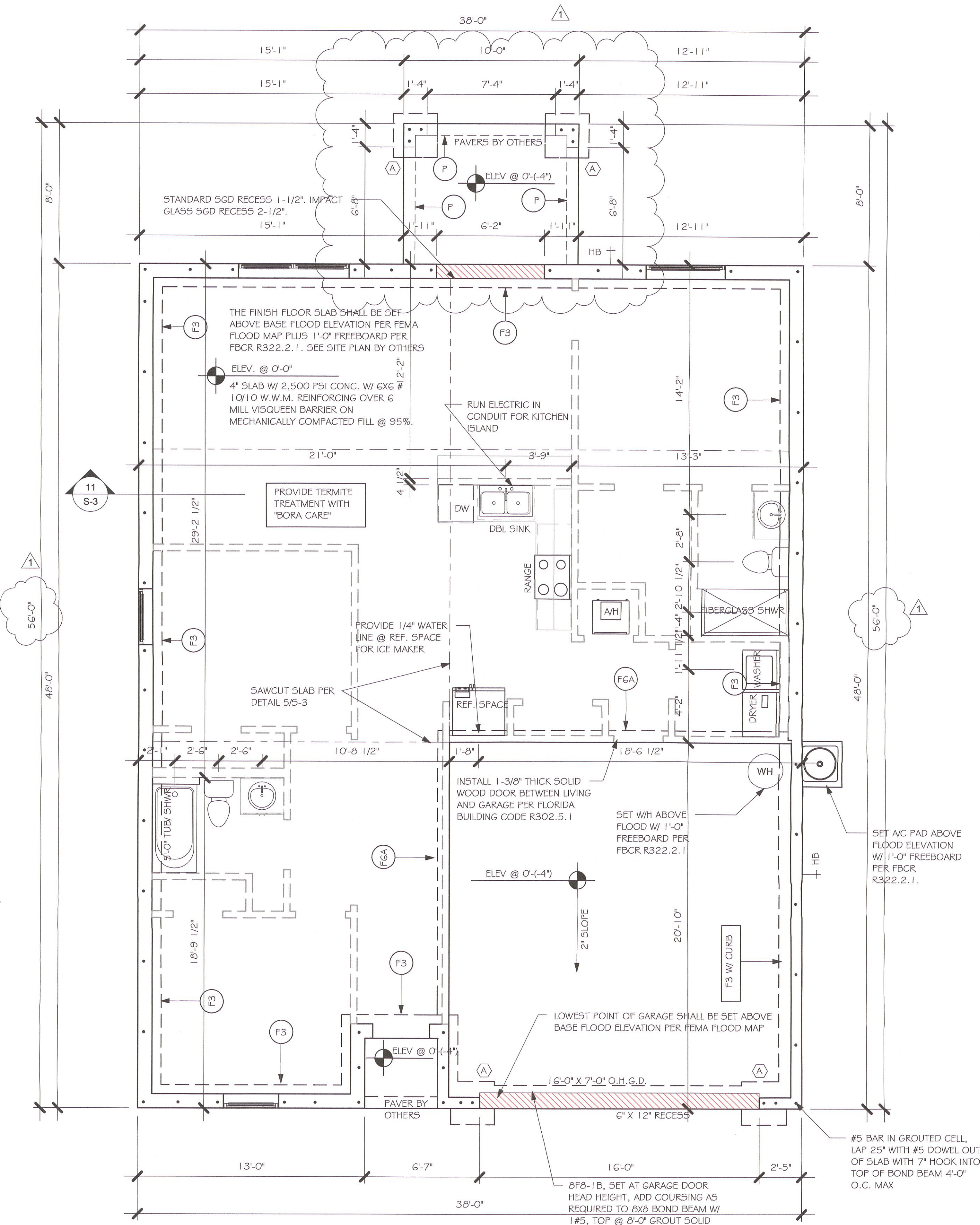
PROVIDE CORNERS BARS PER G/S-3

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

PLAN NOTES:

- TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
- "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
- PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
- FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
- PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.



FOUNDATION

1/4" = 1'-0"

No.	Description	Date
1	CHANGE FROM 1389 AR TO A 1389 AR W/ EXT LANAI. CHANGE STRAPPING FROM USP TO SIMPSON STRONG TIE	02/27/20

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION



MASTERED
1389 A CAPE CORAL
160 MPH, EXPOSURE C
GARAGE RIGHT

DATE: 02/14/19

DRAWN BY: JSL

CHECKED BY:

REVISED: 02/27/20

PLAN: FOUNDATION PLAN

SCALE: As indicated

S-1



MASTERED
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CHECKED BY:

REVISED: 02/27/20

PLAN: FOUNDATION PLAN

SCALE: As indicated

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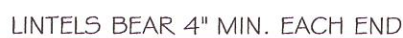
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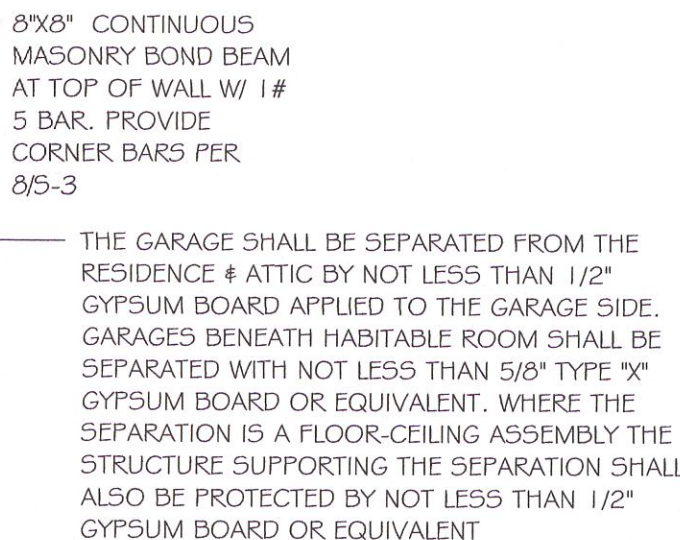
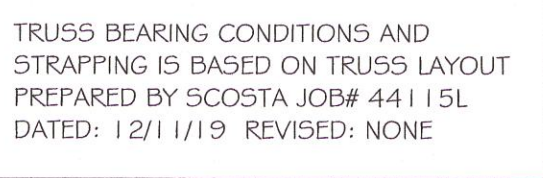
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SCALE: As indicated

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R4-021020

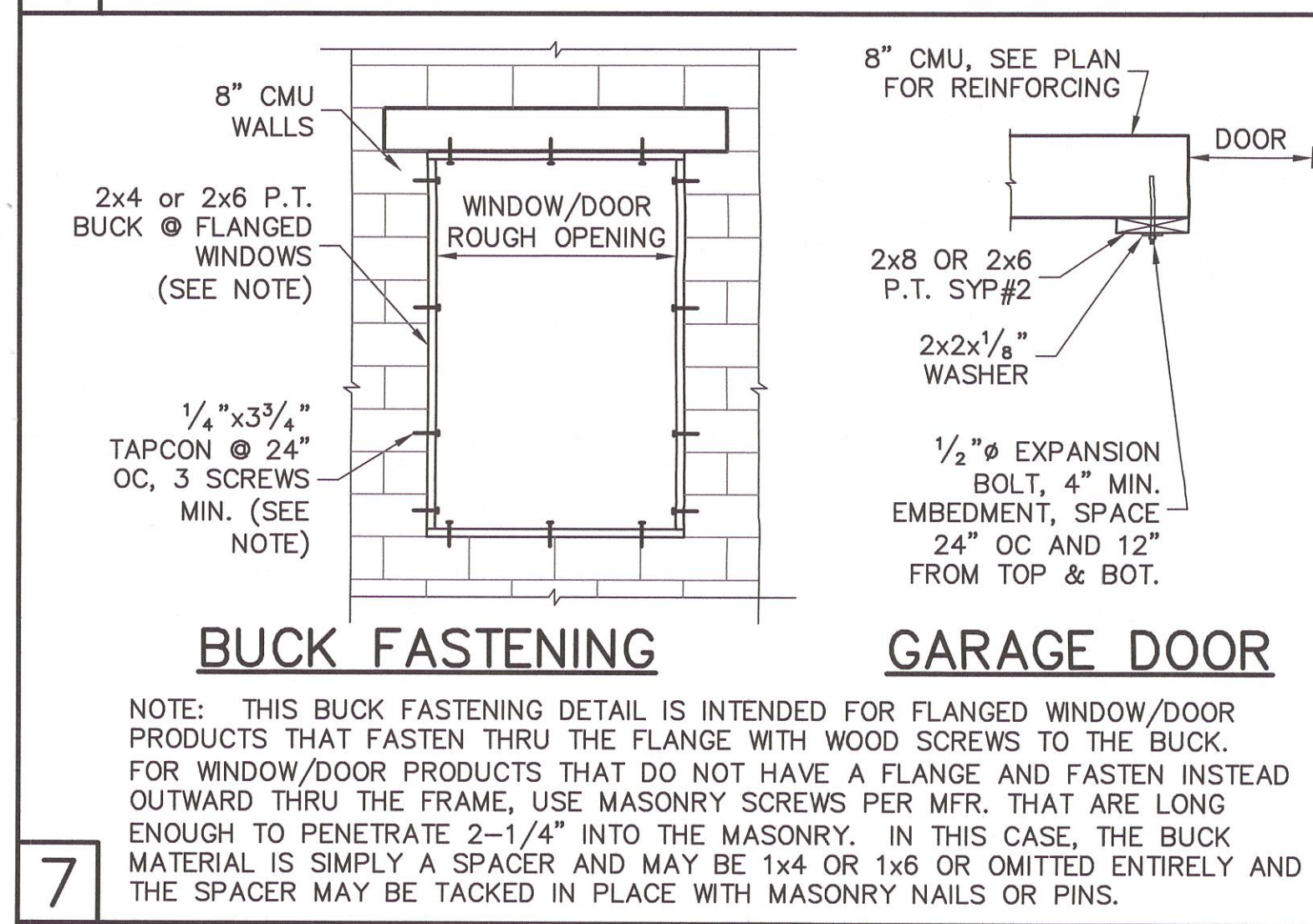
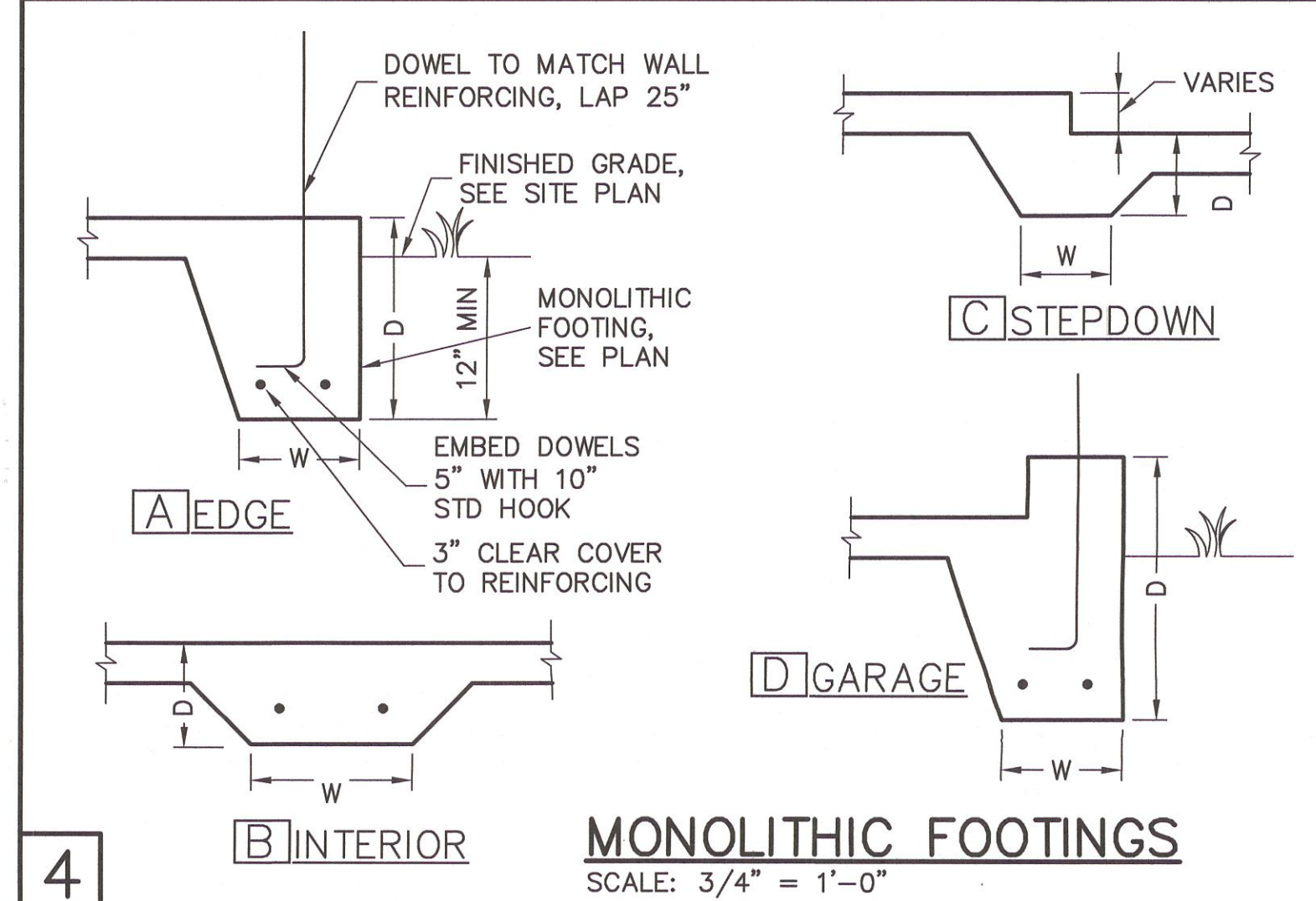
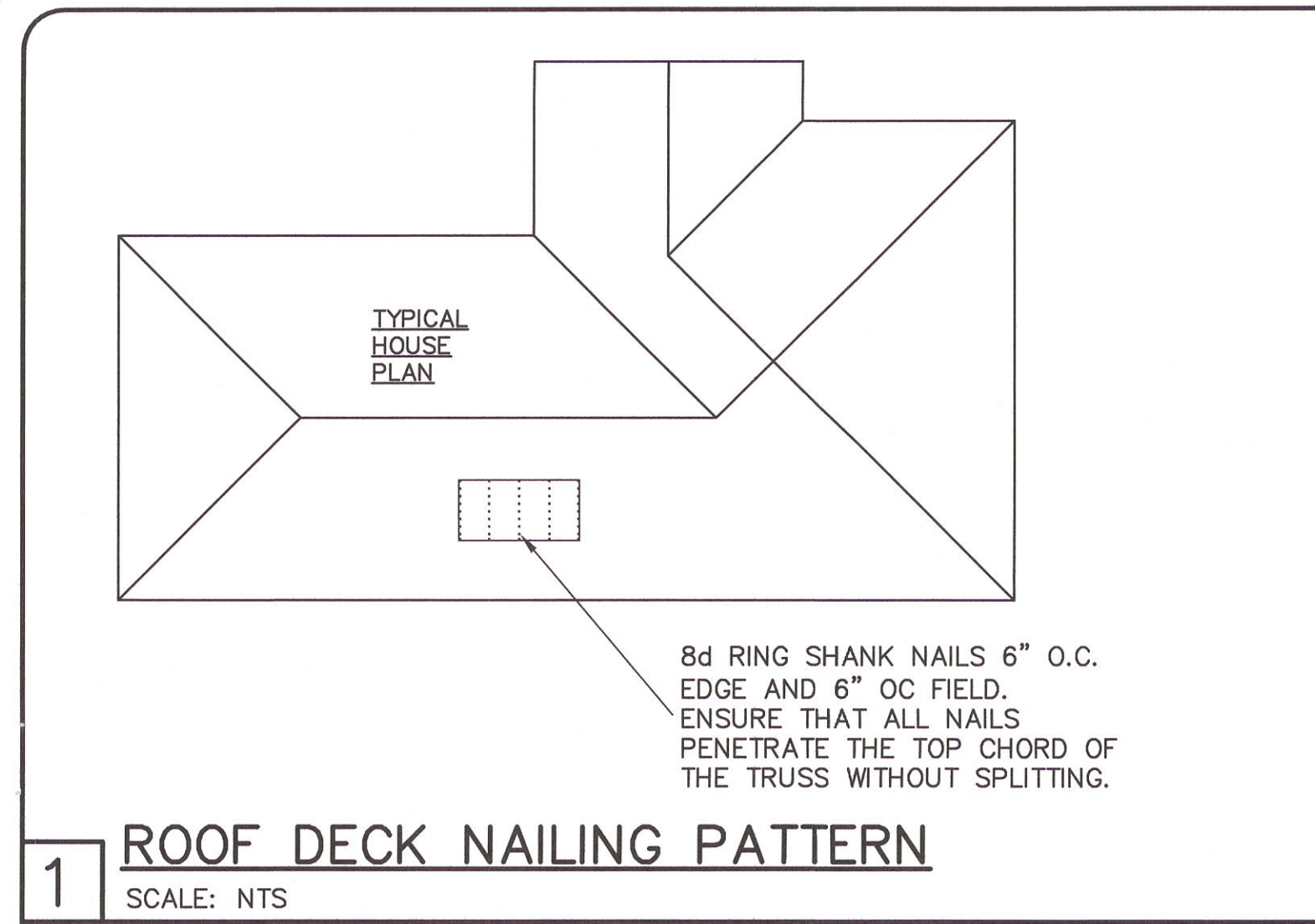
1. ROOF TRUSS BEARING @ 8'-0".
2. ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET 5-3.
3. PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET.
4. FOR NAILING OF ROOF AND FLOOR DECK, SEE 1 AND 2 ON 5-3.
5. **[5f-B]** etc., DENOTES PRECAST UNTEL ABOVE DOOR/DRAINAGE OPENING PER SCHEDULE THIS SHEET.
6. AT TRUSS BEARING, PROVIDE 6x6 MASONRY BOND BEAM W/ #5 CONTINUOUS, SEE DETAIL 11/5-3.



= BEARING @ 8'-0"

MASTERED PLAN
CAPE CORAL BUILDING DIVISION.
DATE 10/20
BY DLT
ALL CONSTRUCTION SHALL BE IN
COMPLIANCE WITH THE FLORIDA BUILDING
CODE. ALL STATE AND LOCAL CODES. THE
GRANTING OF A PERMIT DOES NOT IMPLY
THE CONTRACTOR OF RESPONSIBILITY TO
COMPLY WITH ALL CODES AND ORDINANCES.

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL
FLORIDA BUILDING CODE 2017 - 6TH EDITION



10 **RETROFIT UPLIFT CONNECTOR SCHEDULE**

RETROFIT STRAPS TO CONCRETE/MASONRY	
TRUSS UPLIFT (LBS) @ 24" OC	CONNECTOR
TO 840	1-MTSM16 or 20
TO 1045	1-HTSM16 or 20
TO 2090	2-HTSM16 or 20
TO 4300	2-LGT2
TO 3480	HTT16
TO 10530	HGT-2/3

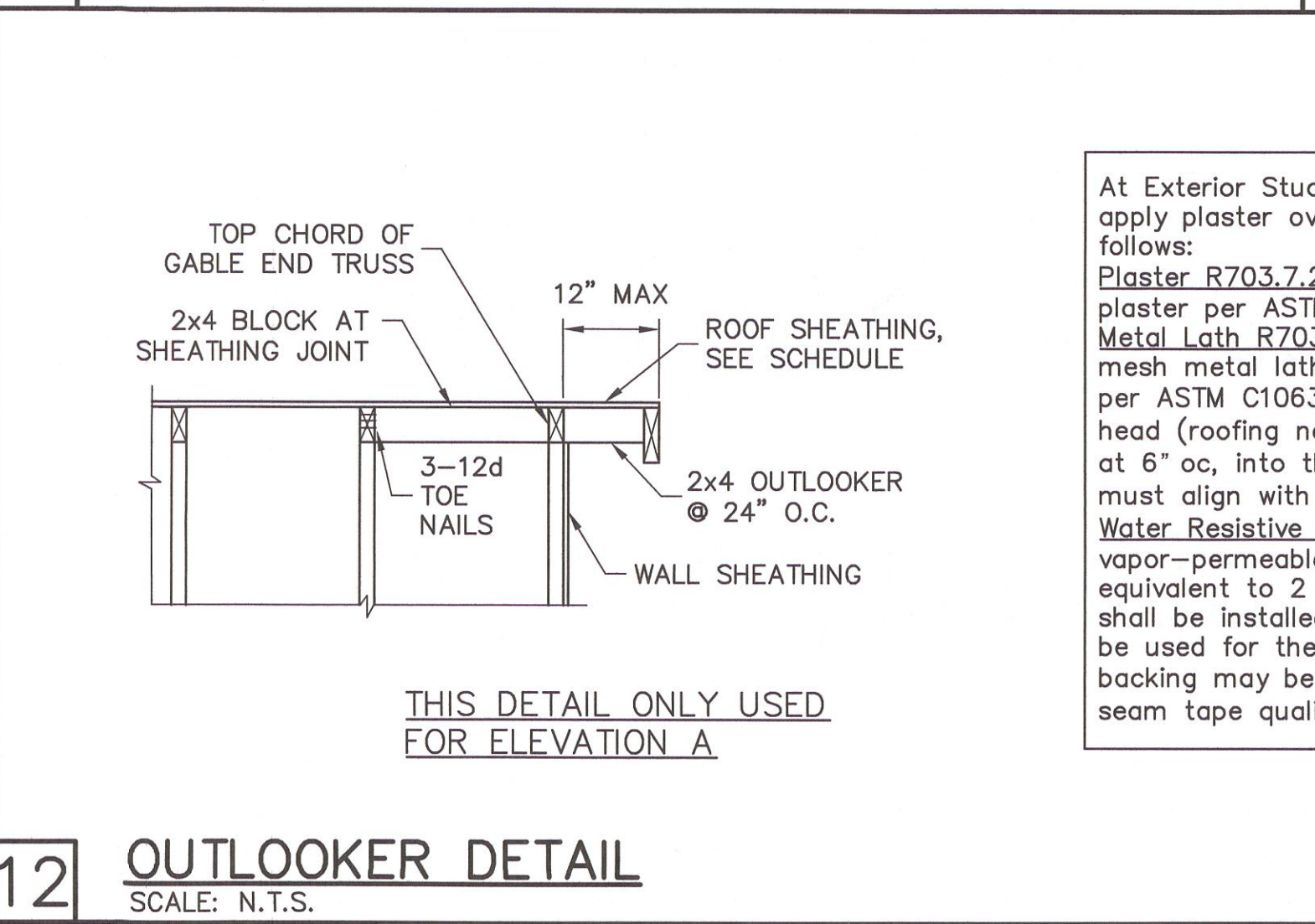
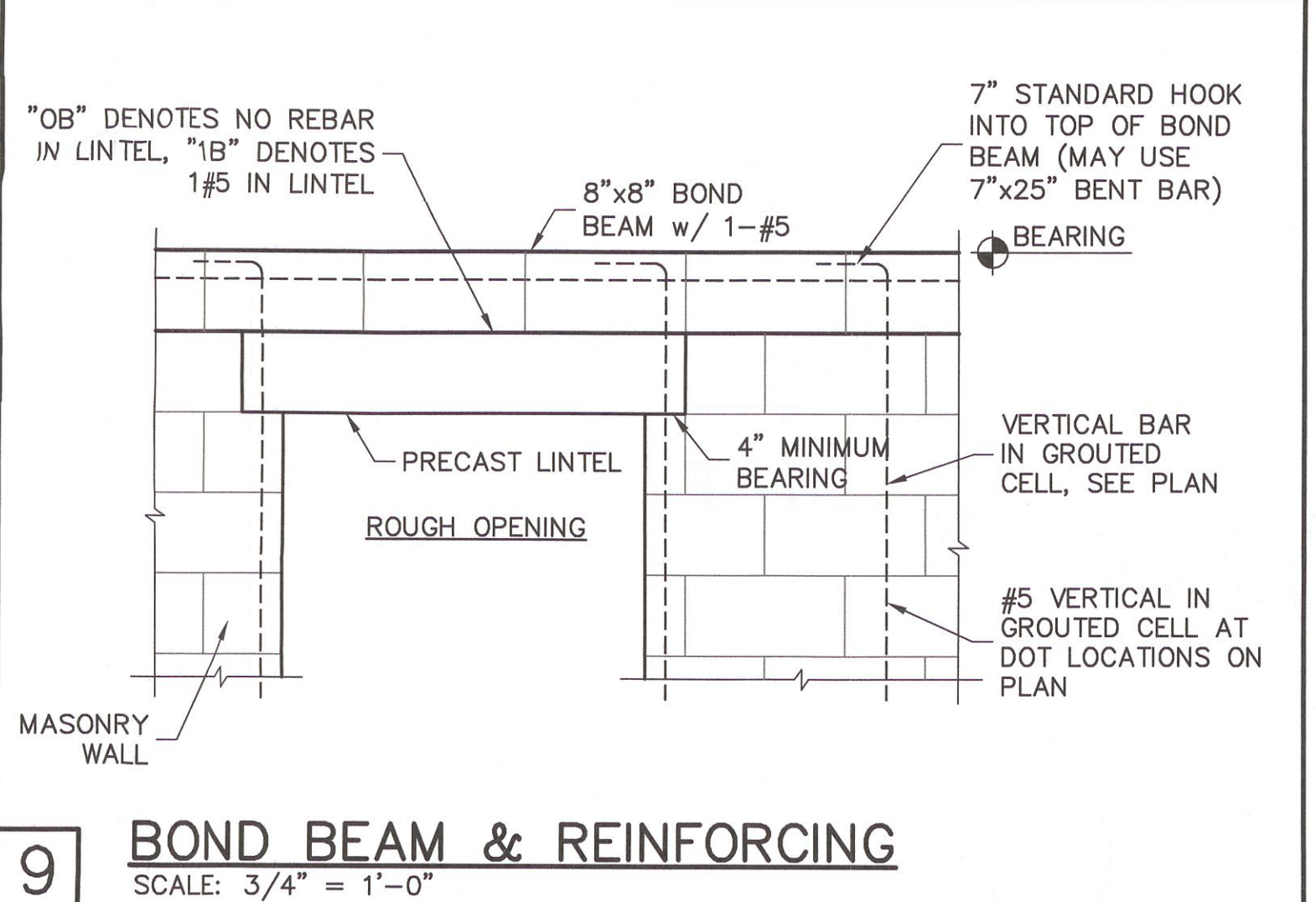
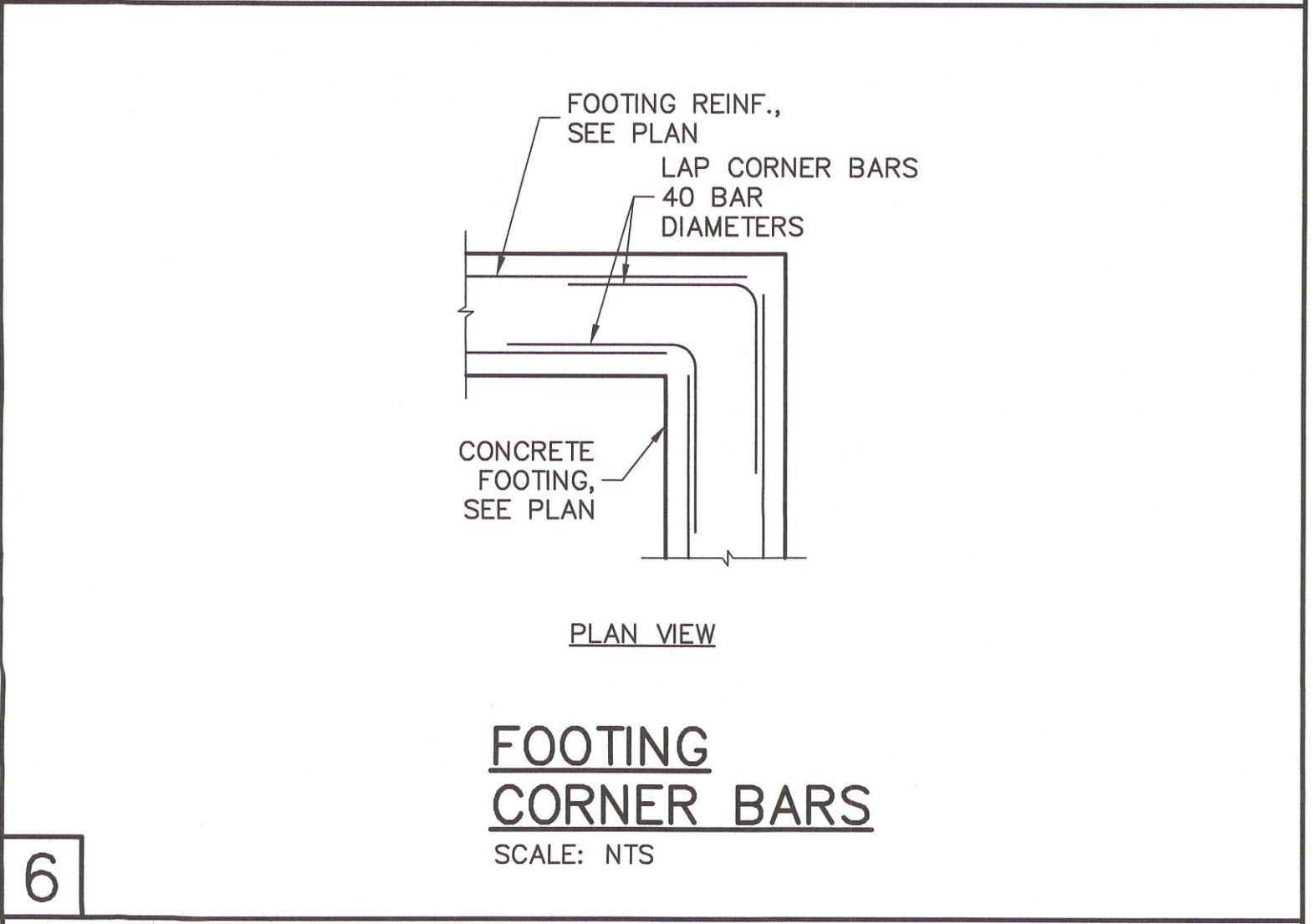
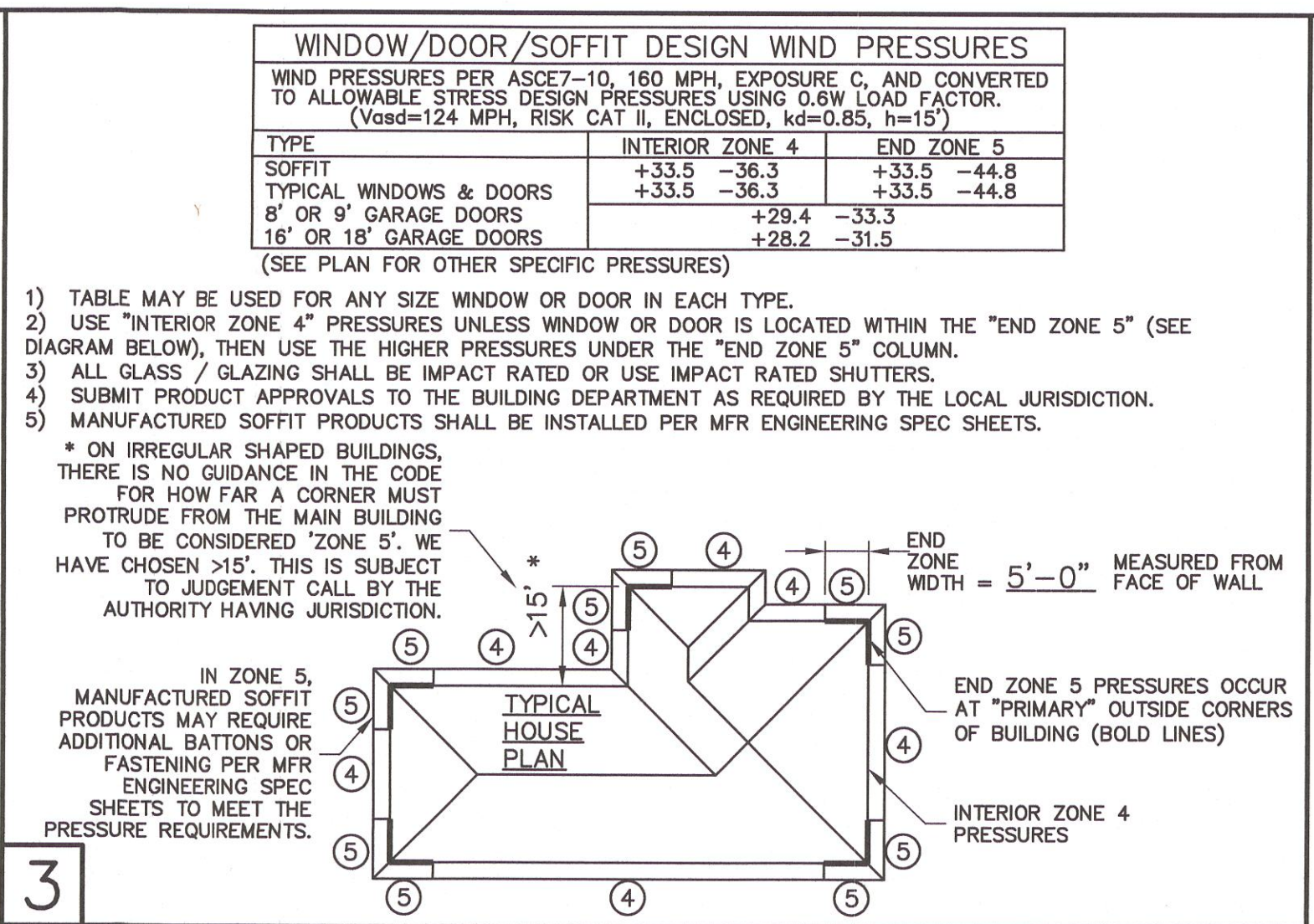
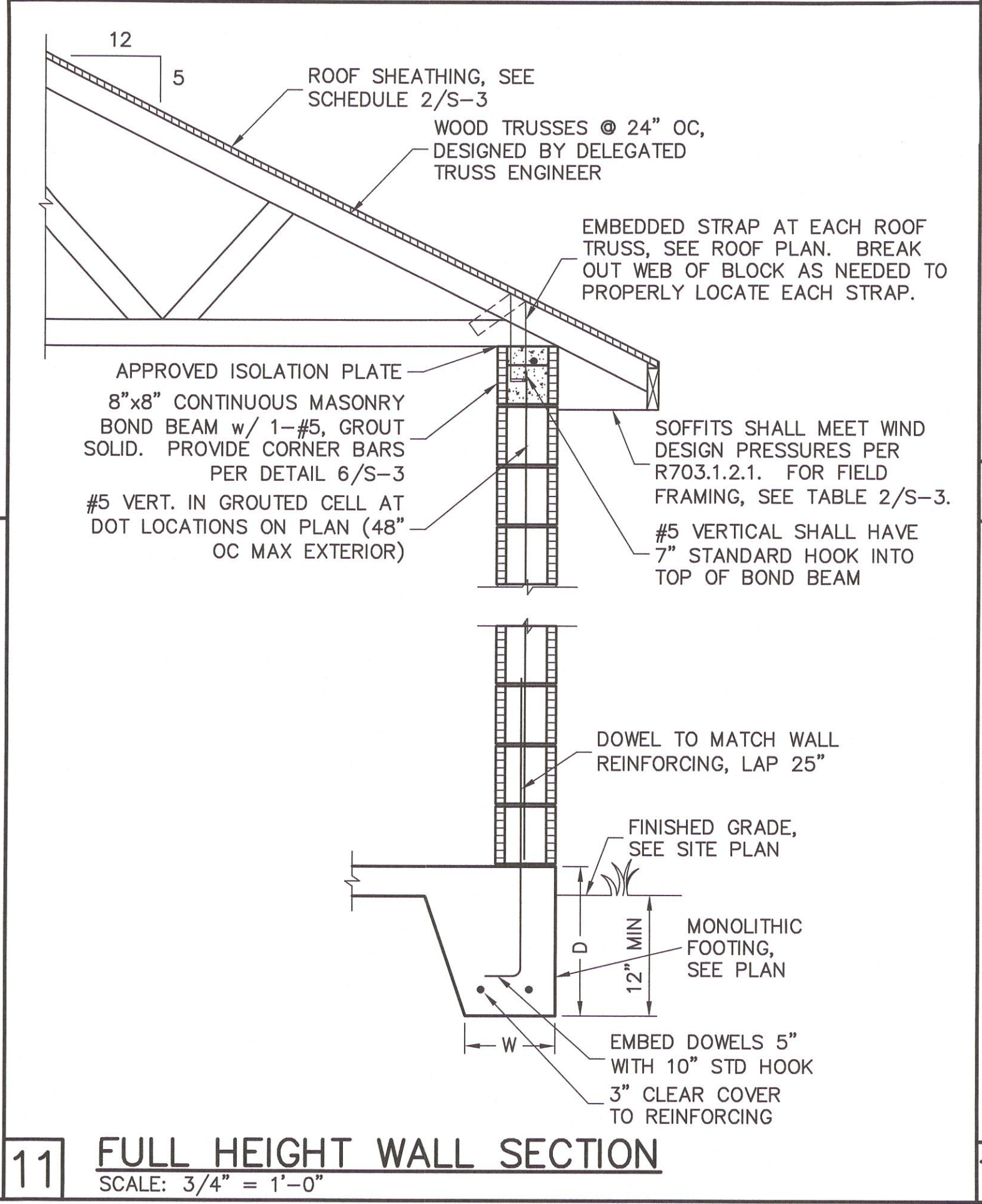
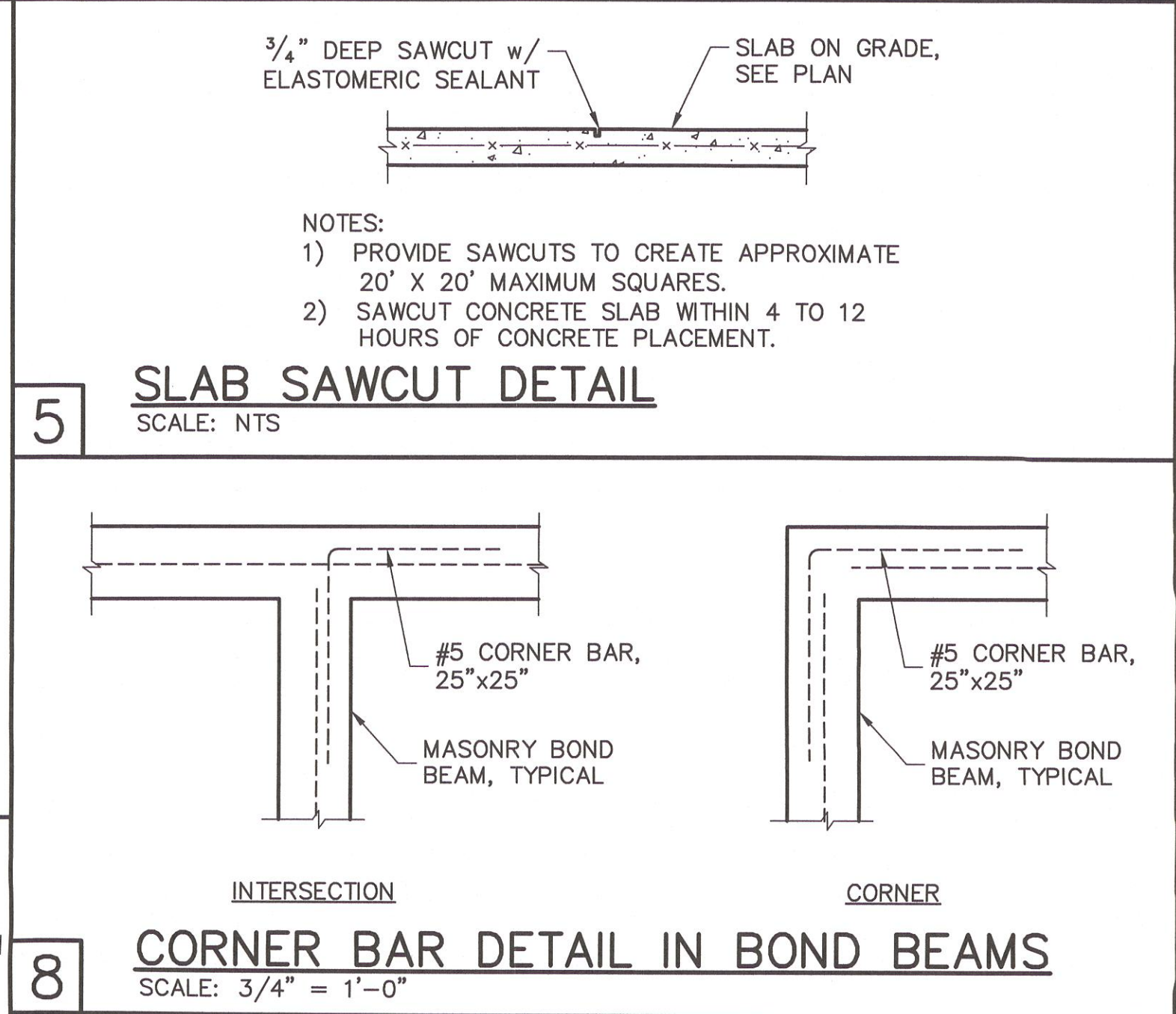
NOTES:
1) WHERE EMBEDDED STRAP IS MISSING OR MIS-LOCATED, PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.
2) CONNECTORS ARE SIMPSON STRONG TIE. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SIMPSON PRINTED INSTRUCTIONS.



2 **SHEATHING SCHEDULE**

EXTERIOR STUD WALL	FLOOR
7/16" ZIP SYSTEM WALL SHEATHING BY HUBER ENGINEERED WOODS LLC, NAILED W/ 8d COMMON WIRE @ 6" O.C. EDGE AND 6" O.C. FIELD. PROVIDE 2x4 BLOCKING AT ALL JOINTS. INSTALL SHEATHING AND SEAM TAPE IN STRICT ACCORDANCE WITH MFR. WRITTEN INSTRUCTIONS.	N/A
ROOF	EXTERIOR CEILING AND SOFFIT
A.P.A. RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. FASTEN WITH 8d RING SHANK NAILS @ 6" O.C. EDGE AND 6" O.C. FIELD. (WHEN 1/2" ZIP BRAND ROOF SHEATHING IS USED, H-CLIPS ARE NOT REQUIRED) (RING SHANK NAILS PER R803.2.3.1: 0.113" NOMINAL SHANK DIAMETER, RING DIA. OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH)	OPTIONS: 1) 1x4 STRIPPING @ 16"OC w/ 2-8d NAILS TO EACH TRUSS, 3/8" EXTERIOR GYPBOARD CEILING, FASTEN W/8d NAILS OR 1 1/8" DRYWALL SCREWS @ 6"OC EDGE & FIELD. 2) 3/8" BC PLYWOOD NAILED w/ 6d COMMON @ 6" OC EDGE & FIELD. 3) VINYL OR ALUMINUM PERFORATED SOFFIT INSTALLED PER MANUFACTURER INSTRUCTIONS TO MEET WIND PRESSURES PER R703.1.2.1.

NOTE: EXTERIOR CEILINGS AND SOFFITS 1) AND 2) SPECIFIED HERE MEET THE DESIGN WIND PRESSURES PER R703.1.2.1.



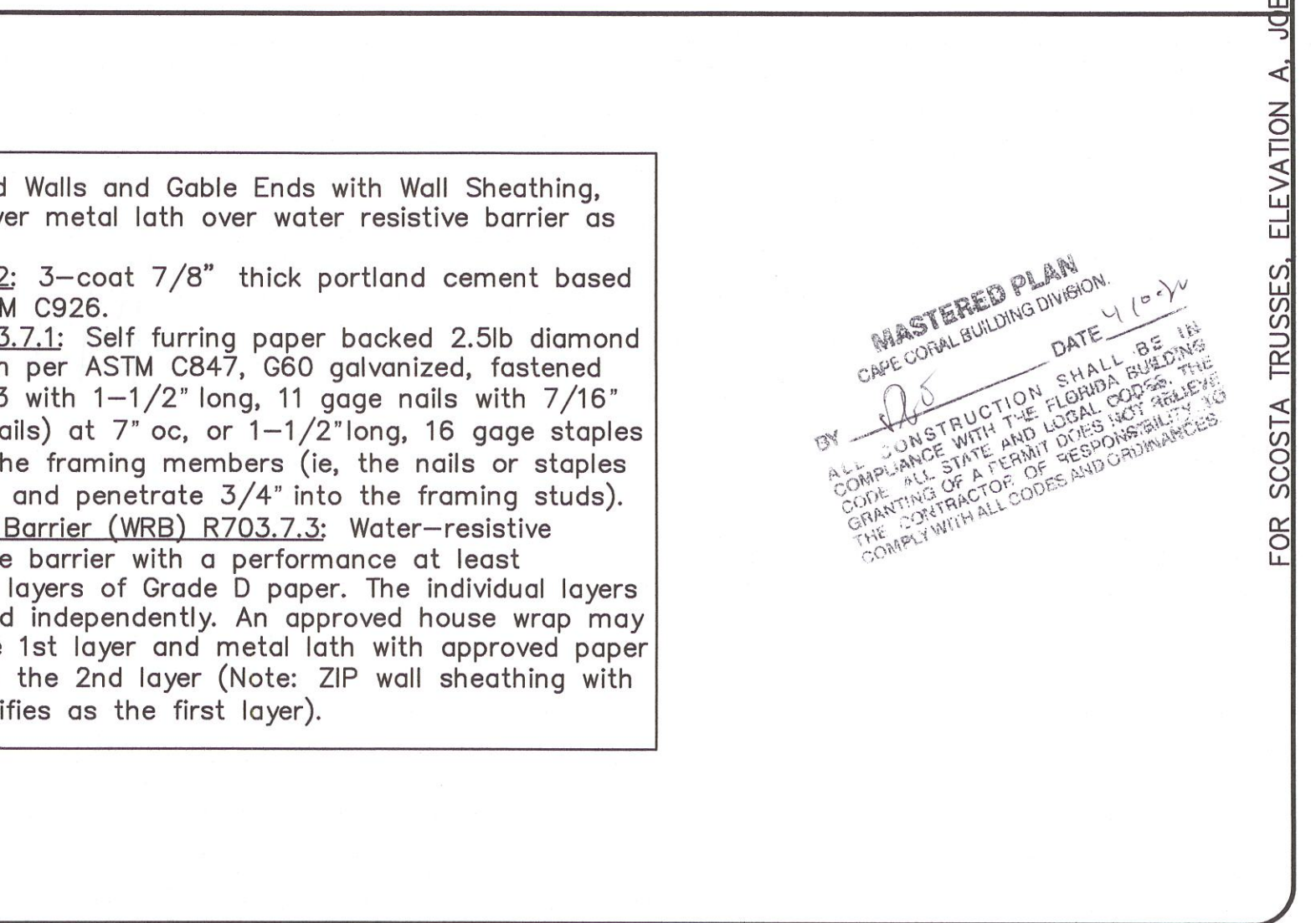
- DESIGN CRITERIA:
- DESIGN IN ACCORDANCE WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL
- FLOOR & ROOF UNIFORM LOADS:
ROOF: LIVE TOP CHORD 20 PSF
LIVE BOTTOM CHORD 10 PSF (NON-CONCURRENT w/ TOLL)
SHINGLE/METAL ROOFING DEAD LOAD 15 PSF TOTAL
MINIMUM DEAD LOAD FOR WIND: TC 5 PSF, BC 5 PSF
DEFLECTION CRITERIA:
ROOF L/240 LIVE, L/180 TOTAL
 - WIND LOADS:
WIND DESIGN PER, ASCE7-10
BASIC WIND SPEED (ASCE7-10) 160 MPH
NOMINAL WIND SPEED (Vg=124 MPH) 124 MPH
BUILDING CATEGORY II
IMPORTANCE FACTOR 1.00
EXPOSURE C
MEAN ROOF HEIGHT = 15 FT
ROOF PITCH 5/12
ENCLOSURE CLASS 1
INTERNAL PRESS. COEFF. +/- 0.18
WINDOW/DOOR DESIGN WIND PRESSURE, SEE TABLE IN DETAIL 3.
SOFFITS - PER R703.1.2.1, ALL SOFFITS SHALL BE CAPABLE OF RESISTING THE DESIGN PRESSURES SPECIFIED IN TABLE R301.2(2) FOR WALLS.
 - REINFORCED CONCRETE:
DESIGN AS PER ACI 318-14
REQUIRED COMPRESSIVE STRENGTH AT 28 DAYS:
SLAB ON GRADE f'c = 2500 PSI
3 1/2" MINIMUM THICKNESS REINFORCED WITH 5x6 w/1.4xw1.4 WWF OR FIBERMESH
CONVENTIONAL SHALLOW FOOTINGS f'c = 2500 PSI
BEAMS AND COLUMNS f'c = 3000 PSI
ALL OTHER CONCRETE (U.N.O.) f'c = 3000 PSI
UNLESS OTHERWISE SHOWN ON DRAWINGS, MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS:
FOOTINGS 3" CENTERED
SLAB ON GRADE 1 1/2"
BEAMS 1 1/2"
COLUMNS 1 1/2"
ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE TYPICAL BENDING DIAGRAMS AND PLACING DETAILS OF ACI STANDARDS AND SPECIFICATIONS. ALL REINFORCING STEEL SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE.
REINFORCING STEEL - ASTM A615 GRADE 40 FOR #3, GRADE 60 FOR #4 TO #11

WELDED WIRE FABRIC - ASTM A185

SPICES IN REINFORCING, SHALL BE 40 BAR DIAMETERS. NON-CONTACT LAP SPICES MAY BE USED PROVIDED REINFORCING IS NOT SPACED MORE THAN 5" APART FOR #5 BARS.

FORMWORK AND SHORING SHALL REMAIN IN PLACE UNTIL CONCRETE HAS REACHED AT LEAST 2/3 OF THE REQUIRED 28 DAY STRENGTH.
 - REINFORCED MASONRY:
DESIGN PER ACI 530-13
REQUIRED COMPRESSIVE STRENGTHS:
MASONRY WALLS f'm = 1500 PSI

REINFORCING STEEL - ASTM A615 GRADE 60.
SPICES IN REINFORCING, SHALL BE 40 BAR DIAMETERS.
ALL CONCRETE MASONRY UNITS SHALL BE COMPOSED OF ASTM C90, GRADE N-1 HOLLOW CONCRETE MASONRY UNITS WITH TYPE "S" MORTAR. GROUT ALL CELLS CONTAINING VERTICAL REINFORCEMENT WITH 3000 PSI PEA ROCK CONCRETE GROUT. ALL CELLS BELOW FINISHED GRADE SHALL BE GROUTED SOLID. ALL EXTERIOR WALLS SHALL BE REINFORCED FULL HEIGHT AT DOT LOCATIONS ON PLAN.
 - DELEGATED-ENGINEERED WOOD ROOF TRUSSES:
ALL WOOD ROOF TRUSSES SHALL BE DESIGNED BY A DELEGATED TRUSS ENGINEER PER RULE 61G15-31.003 OF THE FLORIDA ADMINISTRATIVE CODE. ALL TRUSSES SHALL HAVE TEMPORARY BRACING PER COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, HB-91. FOR OTHER BRACING REQUIREMENTS, NOTIFY ENGINEER. PROVIDE PERMANENT BRACING PER TRUSS MFR. SHOP DRAWINGS. IF PERMANENT BRACING IS NOT SPECIFIED, CONTACT ENGINEER.
 - FOUNDATION:
CONVENTIONAL SHALLOW CONCRETE FOOTINGS 2000 PSF
SOIL BEARING CAPACITY 2000 PSF
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL CONDITIONS FOR THE INTENDED STRUCTURE AND ASSUMED SOIL BEARING CAPACITY. IT IS RECOMMENDED THAT A GEOTECHNICAL FIRM BE HIRED TO PERFORM A SITE EVALUATION.
 - DIMENSIONS: VERIFY ALL DIMENSIONS WITH HOUSE PLANS. SEE HOUSE PLANS, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. WHICH ARE NOT SHOWN ON STRUCTURAL DRAWINGS.
 - MEANS AND METHODS: THE STRUCTURAL ENGINEER SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, OR SEQUENCES TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO SUPPORT STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CONSTRUCT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - SHOP DRAWINGS: SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED TO THE ENGINEER FOR REVIEW FOR ALL STRUCTURAL ELEMENTS UTILIZING PREFABRICATED COMPONENTS. ONE SET OF SIGNED & SEALED TRUSS ENGINEERING SHALL BE DELIVERED TO THE ENGINEER OF RECORD FOR THE STRUCTURE PER FLORIDA ADMINISTRATIVE CODE 61G15-30.005 AND 61G15-31.003.



REVISIONS BY

REVISIONS	BY
02/27/20	DWB

STRUCTURAL ENGINEERING:

STRUCTURAL SYSTEMS OF NORTH FLORIDA
184 E. 6TH STREET, SUITE 602
PENSACOLA, FL 32504
(904) 439-4554
CA# 8829

DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6th EDITION (2017) RESIDENTIAL

FOR SCOSTA TRUSSES, ELEVATION A, JOB # 44115, DATED: 12/11/19, REVISED: NONE

DESIGN/DRAWN: DWB/DWB
CHECKED: DWB
DATE: 02/07/19
SCALE: VARIES
JOB NO.: DR10701
SHEET: S-3

STRUCTURAL DETAILS
MODEL 1389 A w/ LANAI
MASTER PERMIT
160 MPH, EXPOSURE C
FLORIDA