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MODEL 1762	GCD JOB #
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DATE:	10/09/19
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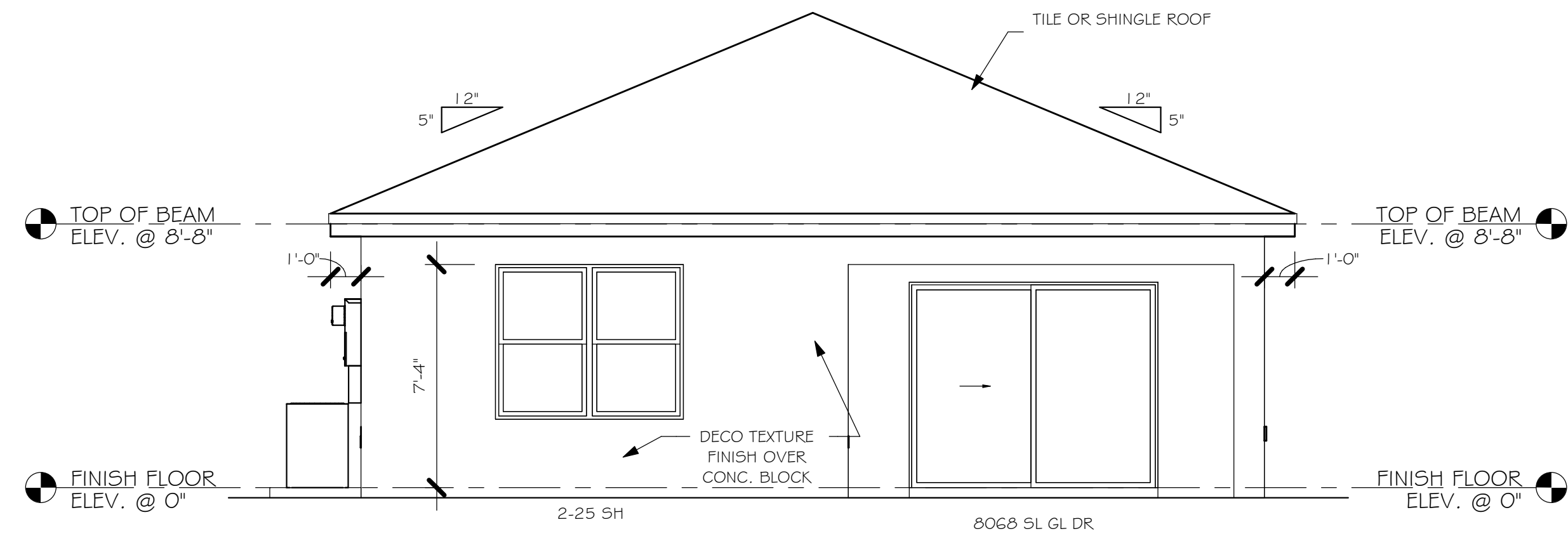
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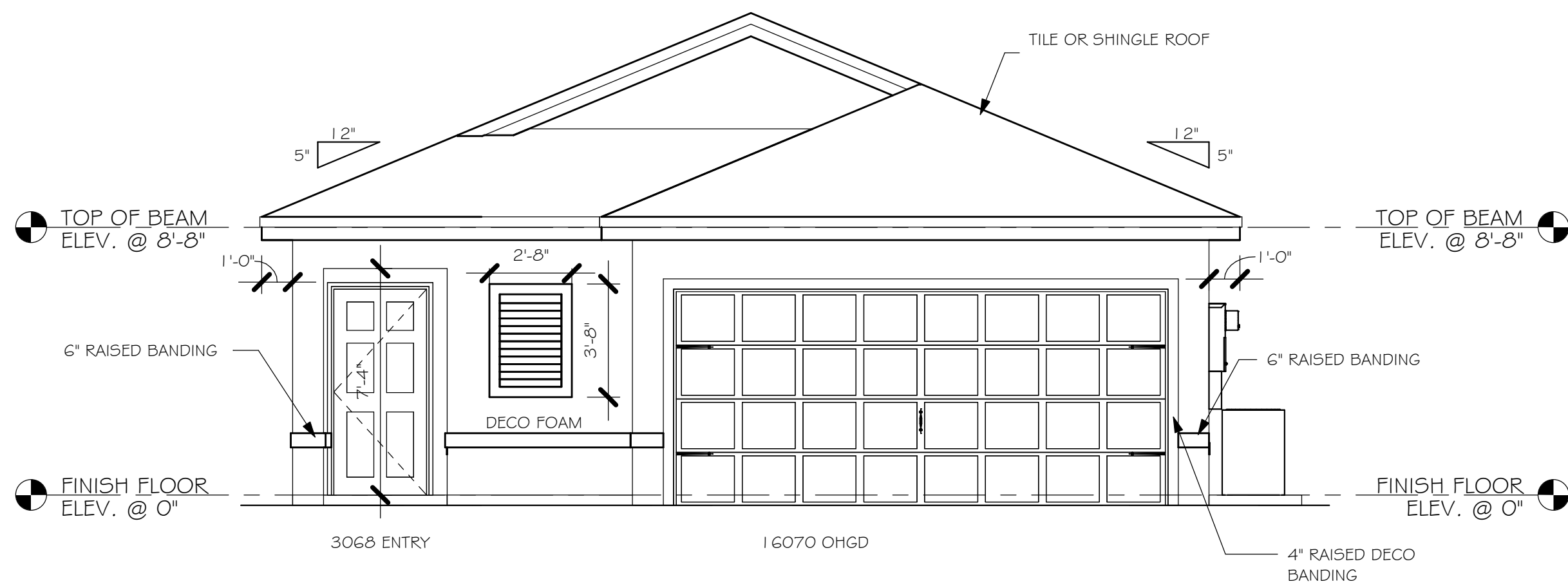
PLAN:	ELEVATIONS
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SCALE:	1/4" = 1'-0"
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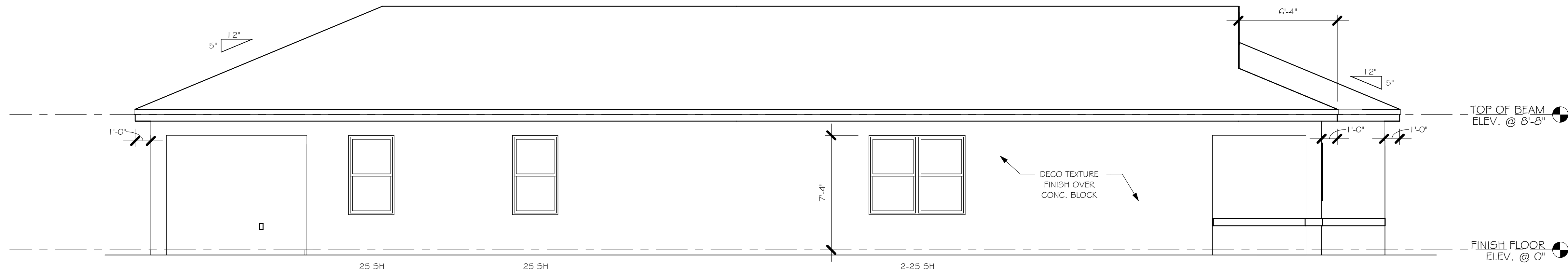
A-1 BR
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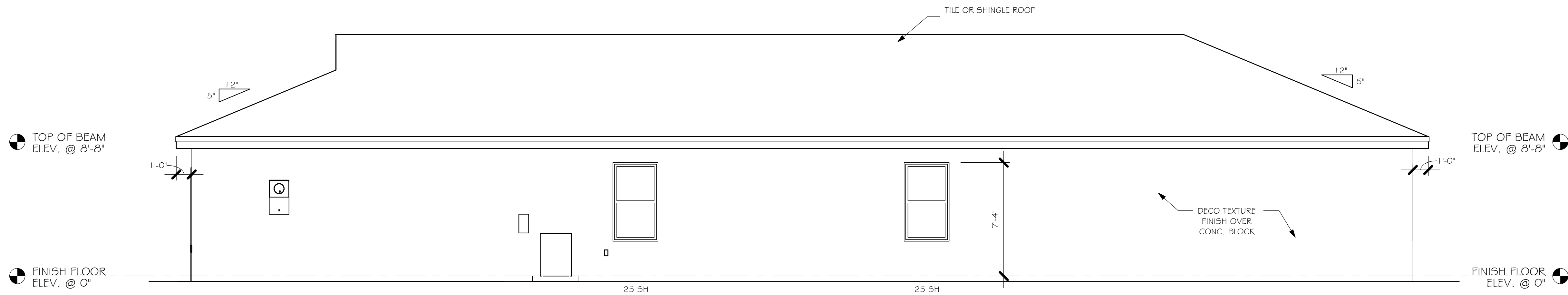
REAR ELEVATION "BR"  
1/4" = 1'-0"



FRONT ELEVATION "BR"  
1/4" = 1'-0"

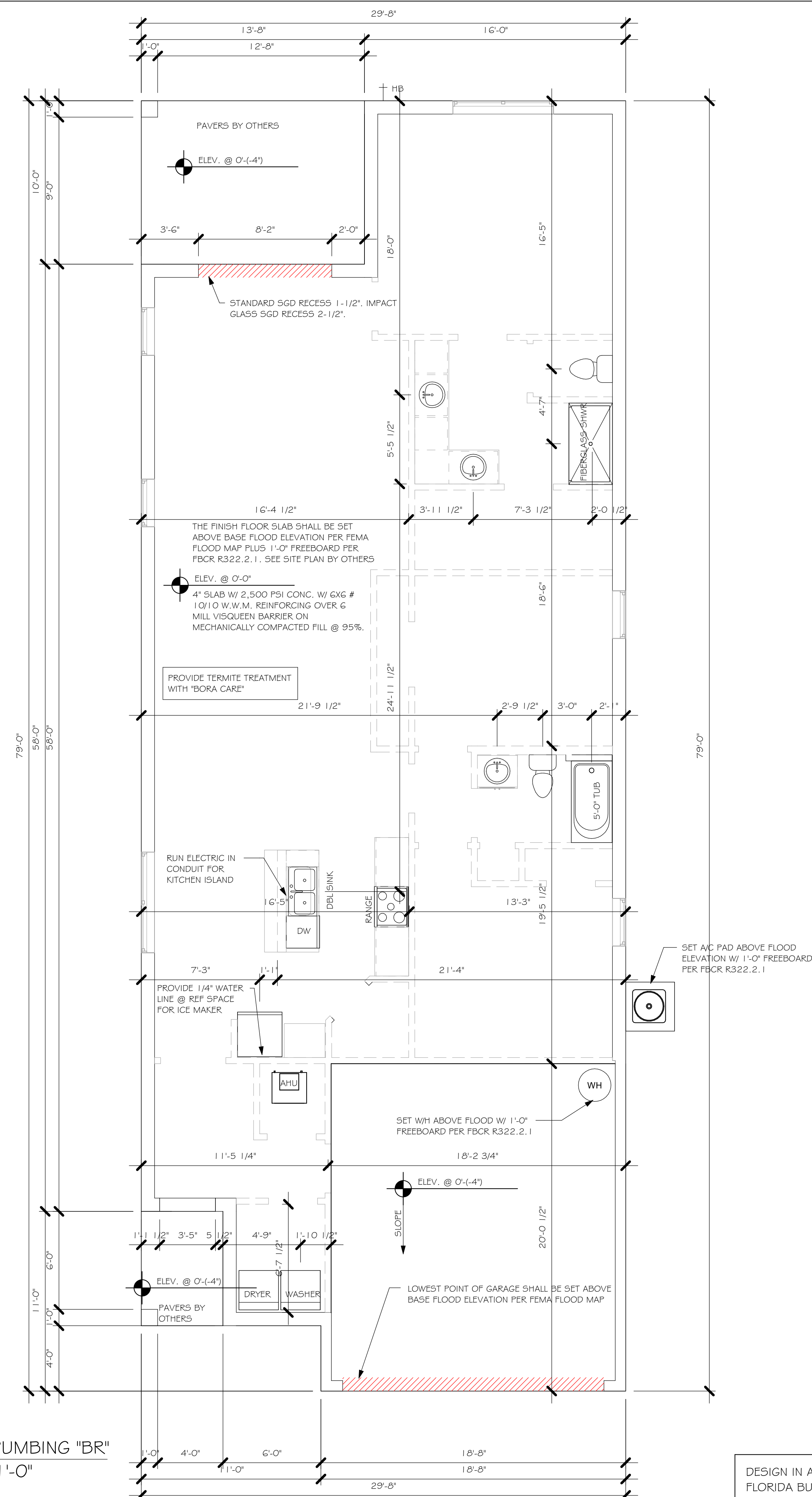
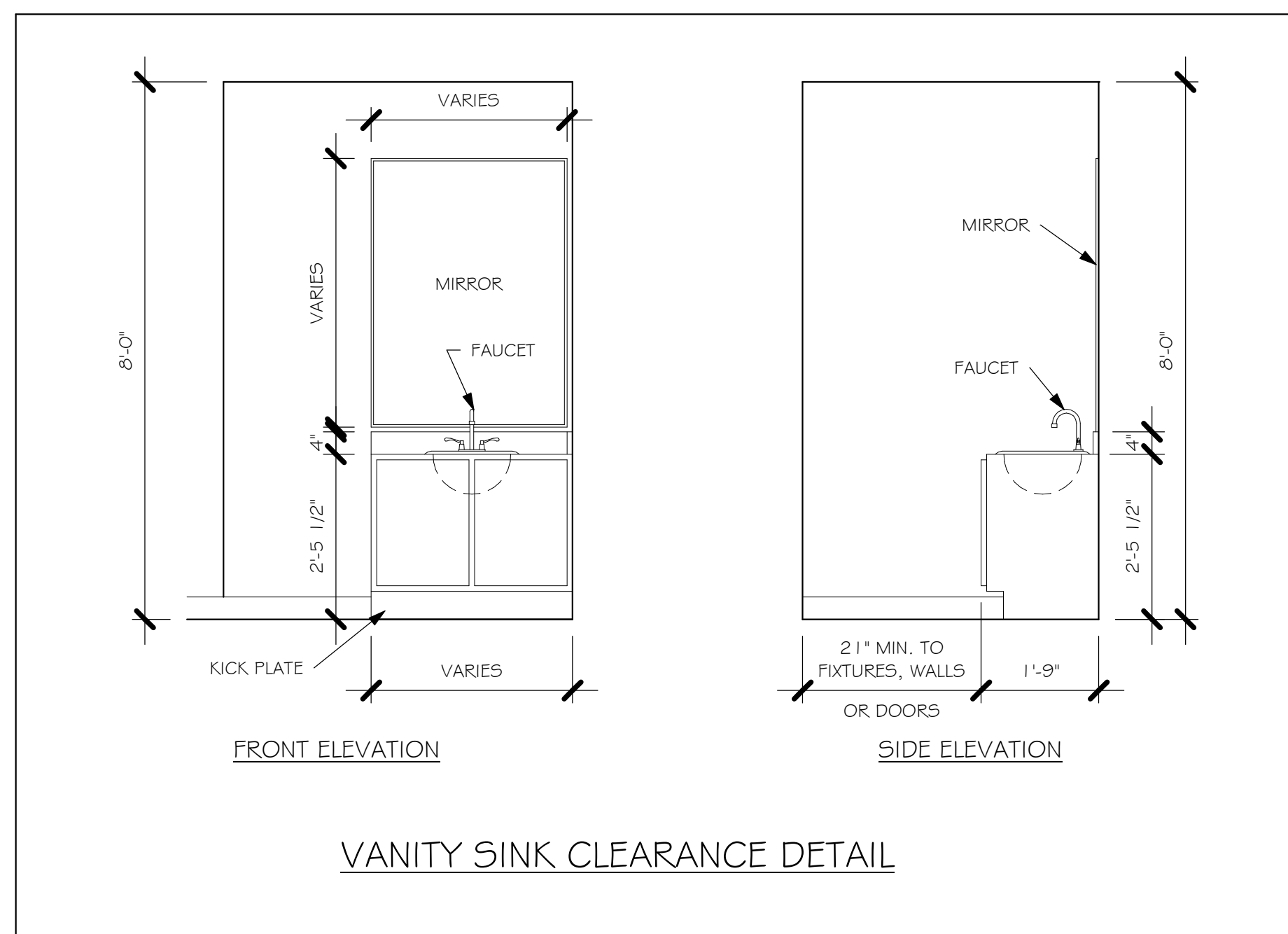
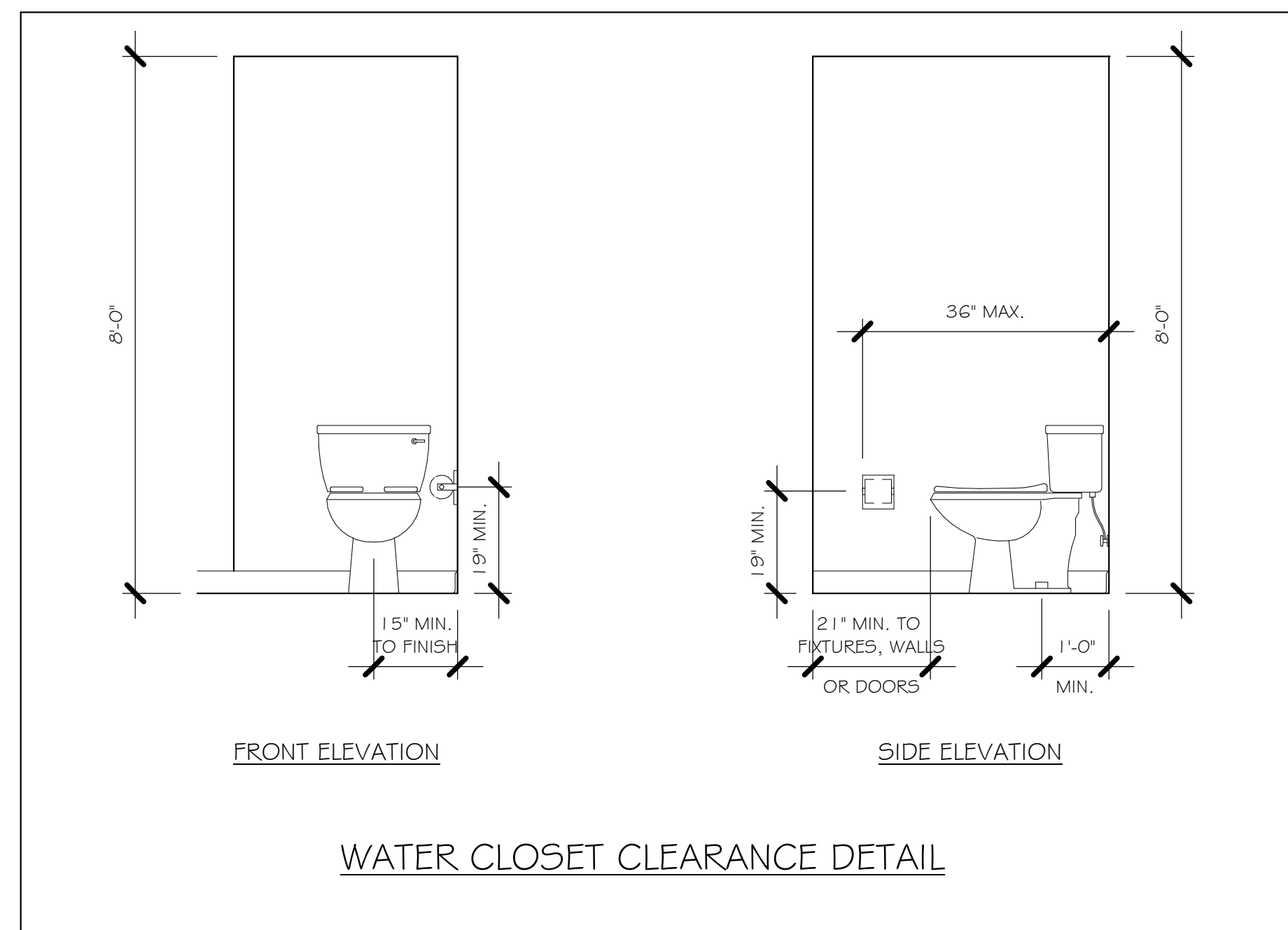


LEFT ELEVATION "BR"  
1/4" = 1'-0"



RIGHT ELEVATION "BR"  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION



DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION



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DOOR SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COMMENTS	QTY
1	16070 OHGD	GARAGE DOOR	7'-0"	16'-0"		1
2	3068 ENTRY	DISTINCTION	6'-8"	3'-0"		1
3	8068 SL. GL. DR.		6'-8"	8'-0"		1

WINDOW SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COMMENT'S	QTY
A	25 SH		5'-3"	3'-1"		4
B	2-25 SH		5'-3"	6'-4"		2

OPT IMPACT GLASS MAY BE INSTALLED IN LIEU OF SHUTTERS VERIFY W/ CONTRACT

#### DOOR HEADERS

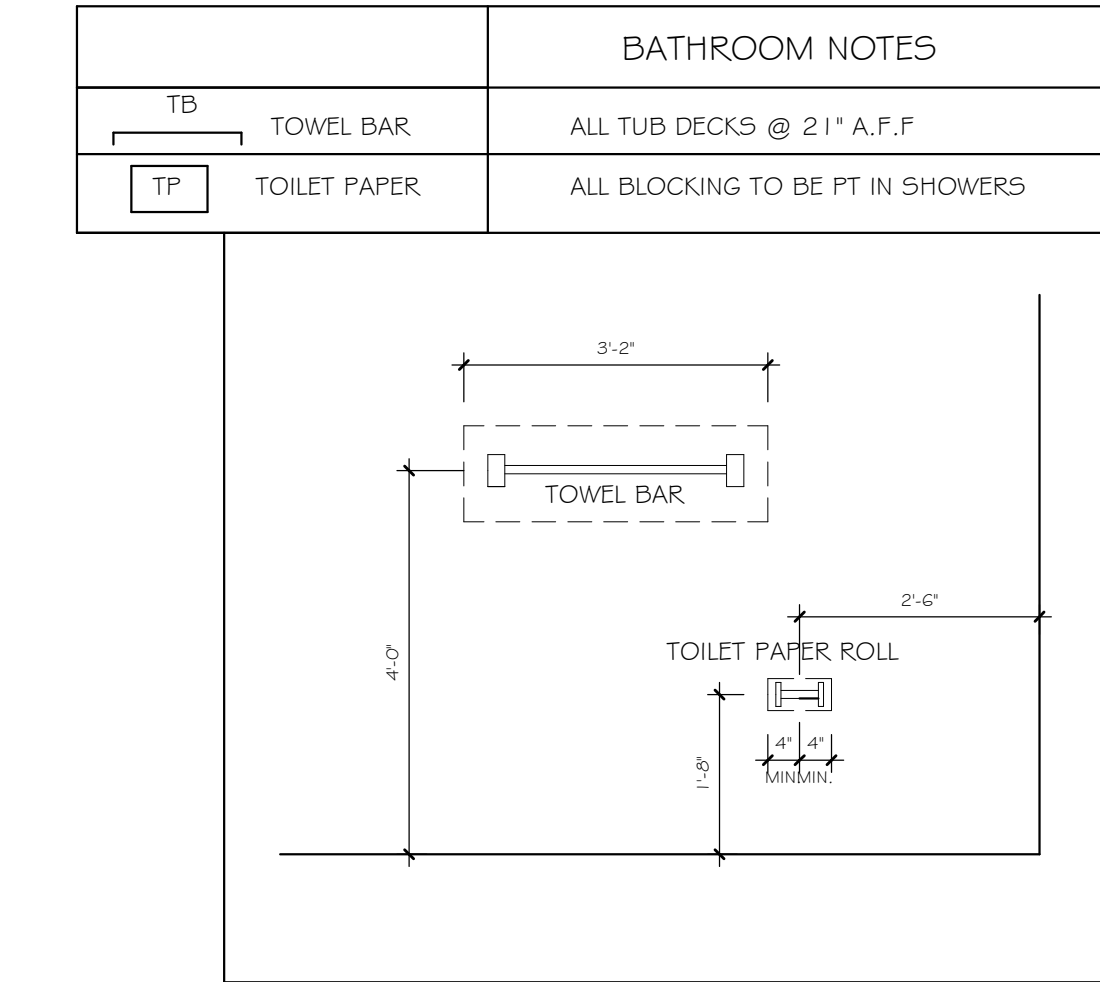
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

#### PLAN NOTES

- VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
- PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
- PROVIDE SAFETY GLAZING AT BATH SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
- NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
- PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
- KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
- INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
- WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD OR EQUIVALENT
- INSTALL 1 3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.1.5.
- ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH R612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PREVENTION DEVICE
- ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.
- ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED AT OR ABOVE FLOOD PLUS 1'-0" FREEBOARD.

#### CABINET BACKING

KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE TOP @ 35"
GUEST BATH	UPPER	BASE TOP @ 31"
LAUNDRY ROOM	UPPER TOP @ 84"	BASE



#### SQUARE FOOTAGE

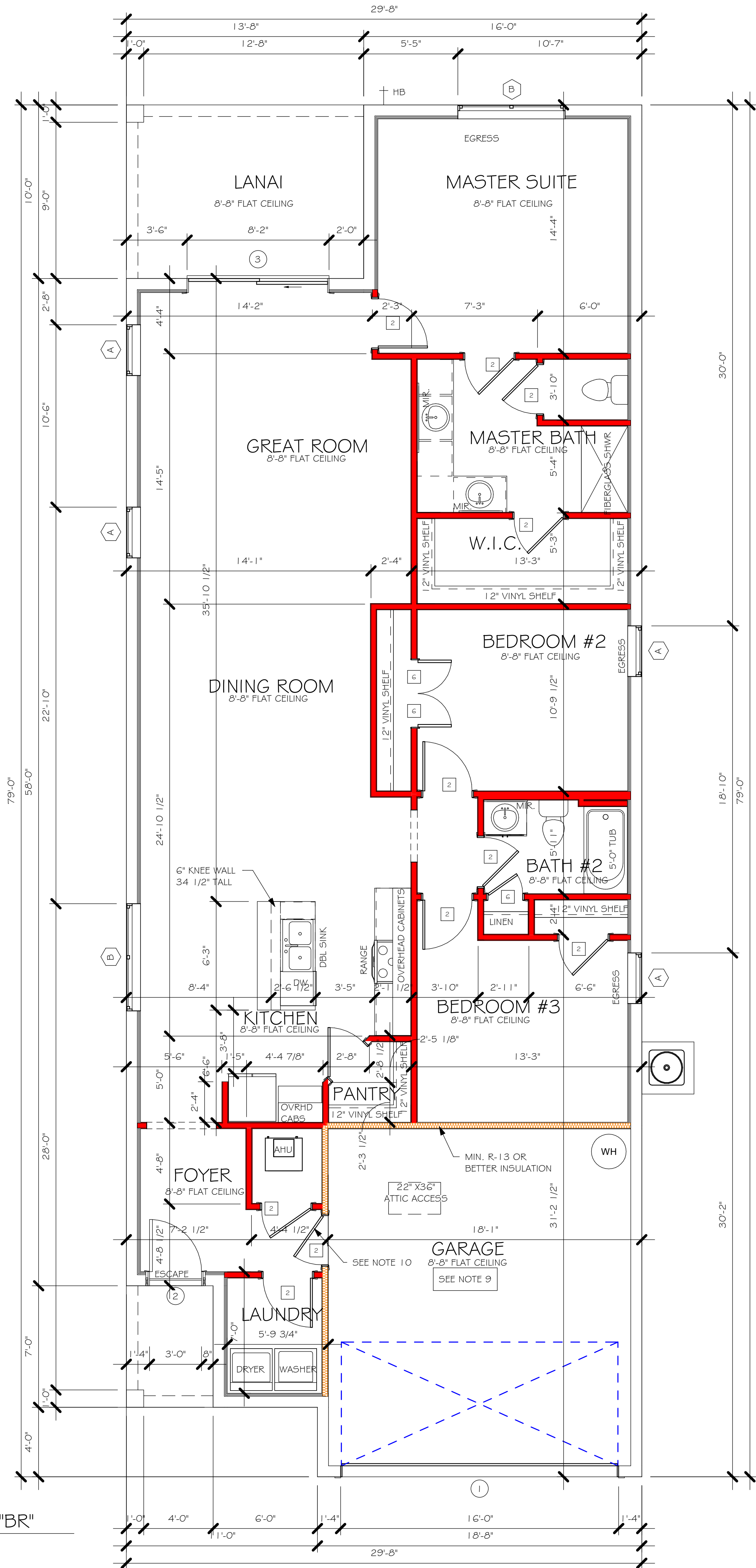
LANAI AREA	137 SF
LIVING AREA	1762 SF
GARAGE AREA	366 SF
ENTRY AREA	35 SF
TOTAL AREA	2300 SF

#### INTERIOR DOOR SCHEDULE

MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-10"	B.F. = BI-FOLD DOOR
3	2'-8"	
4	2'-6"	B.P. = BI-PASS DOOR
5	2'-4"	
6	2'-0"	L.V. = LOUVERED DOOR
7	1'-8"	
8	1'-6"	

#### FLOOR PLAN "BR"

1/4" = 1'-0"



DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2017 - 6TH EDITION

Express  
HOMES

Gulf Coast  
Drafting & Design, Inc.  
EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-8822  
1515 SE 47th ST. CAPE CORAL, FL 33904

ADDRESS: Enter address here

MODEL  
1762

GCD JOB #

DATE: 10/09/19

DRAWN BY:

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REVISED:

PLAN: FLOOR

SCALE: As indicated

A-3 BR

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RH.rvt

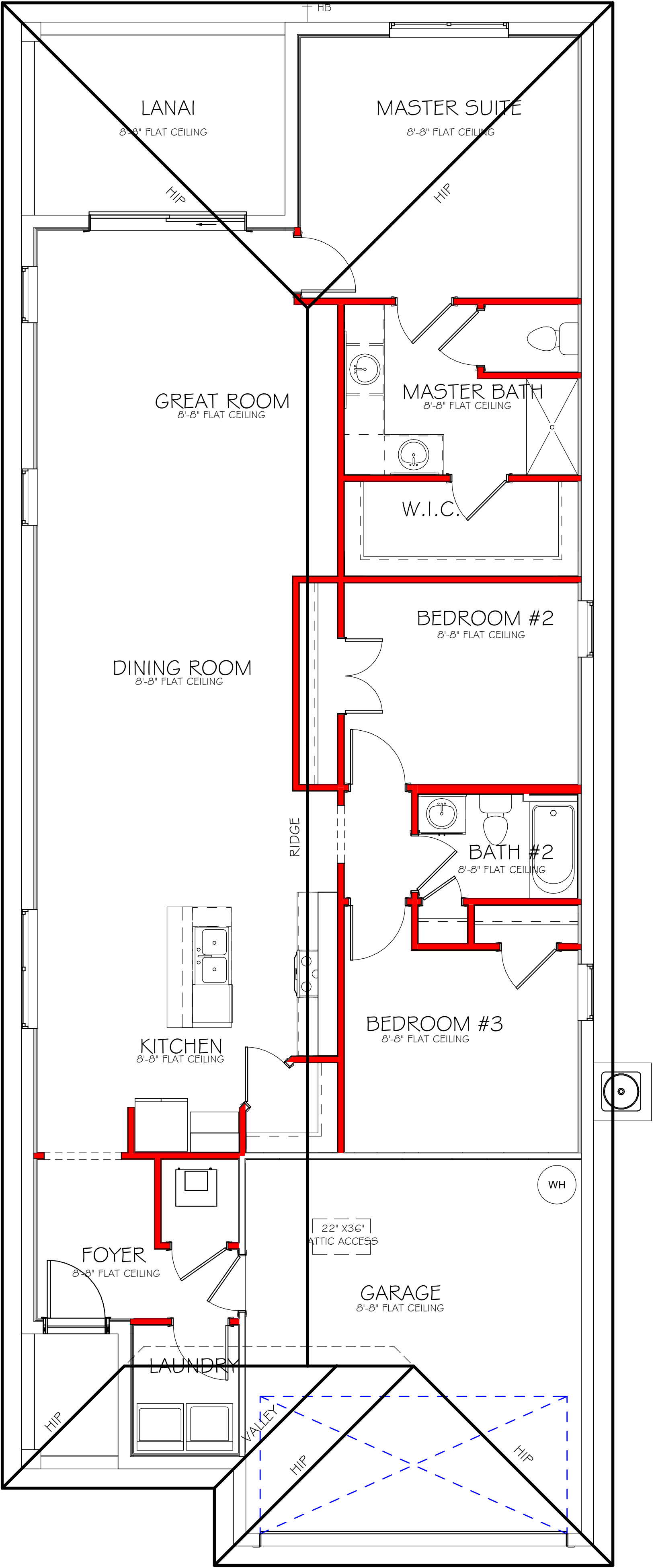
MODEL 1762 B: ATTIC VENTILATION FBCR R806

COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS

			SOFFIT ONLY (1/150) (NO ROOF VENTS)			WITH ROOF VENTS (1/300) (R.V.)		
AREAS (SQ. FT.)			ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED		
MARK	ATTIC	SOFFIT	ATTIC AREA/150	REQ'D AIR FLOW OF SOFFIT	QUAD 4 SOFFIT 145	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT
1st STORY	2510.7 SQ. FT.	2111.0 SQ. FT.	16.74 SQ. FT.	7.93%	8.15%	~ SQ. FT.	-	~%
			"SOFFIT ONLY" QUALIFIES			ROOF VENTS ARE NOT REQUIRED		
			SOFFIT MODEL  ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW			ROOF VENT MODEL  32" BASE  22" X36" VALLEY LOMANCO 770-D 0.97 SQ. FT. FREE AIR		

BEARING HEIGHT

=BEARING @ 8'-8"



ROOF PLAN "BR"  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION



Gulf Coast  
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MODEL  
1762  
GCD JOB #

DATE: 10/09/19

DRAWN BY:

CHECKED BY:

REVISED:

PLAN: ROOF

SCALE: As indicated



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RH.rvt

ELECTRICAL LEGEND

ELECTRICAL METER

ELECTRICAL PANEL

120 V JUNCTION BOX

SINGLE RECEPTACLE OUTLET

220 V RECEPTACLE OUTLET

4-PLEX RECEPTACLE OUTLET

DUPLEX RECEPTACLE OUTLET

1/2 SWITCHED DUPLEX OUTLET

DUPLEX RECEPTACLE AT ELEV. A.F.F.

DUPLEX RECEPTACLE - ABOVE COUNTER

SINGLE POLE SWITCH

3 WAY SWITCH

DIMMER SWITCH

MOTION SENSOR SWITCH

AC/DC SMOKE DETECTOR  
TO BE INTERCONNECTED  
ANY RESIDENT HAVING A FOSSIL-BURNING  
HEATER OR APPLIANCE, A FIREPLACE, OR  
AN ATTACHED GARAGE SHALL HAVE AN  
OPERATIONAL CARBON MONOXIDE ALARM  
INSTALLED WITHIN 10 FEET OF EACH  
ROOM USED FOR SLEEPING PERPOSES.  
PER RULE 9B-3.04.72  
SD (SMOKE DETECTOR)  
SCD (CARBON MONOXIDE/ SMOKE  
DETECTOR)

TELEPHONE OUTLET

TELEVISION RECEPTION OUTLET

SURFACE MOUNTED CEILING LIGHT

FLUSH MOUNTED LIGHT

WALL MTD. BRACKET LIGHT

DUPLEX FLOOD LIGHT

EXHAUST FAN

TRACK MTD. LIGHTS

A/C DISCONNECT

PUSH BUTTON (PB) / DOOR BELL (DB)

INTERCOM

KEYPAD

4' FLUORESCENT LIGHT

2' UNDER COUNTER LIGHT

NOTE: NOT ALL SYMBOLS ARE USED FOR THIS PROJECT.

ELECTRICAL NOTES:  
ARC-FAULT CIRCUIT INTERRUPTERS AND TAMPER  
RESISTANT RECEPTACLES SHALL BE INSTALLED  
IN DWELLING UNITS PER N.E.C 210.12 AND 400.11  
ALL ELECTRIC, ELECTRICAL EQUIPMENT AND APPLIANCES TO BE SET AT  
OR ABOVE BASE FLOOD ELEVATIONS PLUS 1'-0" FREEBOARD.  
ALL OUTLETS IN WET AREAS AND ALL  
EXTERIOR OUTLETS TO BE GFI'S.  
INSTALL PHONE AND T.V. PER CONTRACT.  
INSTALL ALL ELECTRICAL PER NEC 2014

150 AMP ELECTRICAL RISER DIAGRAM

ELECTRICAL PLAN 1762		
150 AMP SERVICE		
TAG	QUANTITY	PRODUCT
A	(X)	(FLUSH MOUNTED LT)
B	(1)	(VAPORS)
C	(X)	(PENDANT LIGHT
D	(9)	(10" MUSHROOMS)
E	(3)	(24" 3 LT)
F	(X)	(36" 4 LT)
G	(X)	(NOT USED)
H	(1)	(COACH LIGHTS)
I	(X)	(COACH LIGHTS)
J	(1)	(J BOX)
K	(1)	(4' FLUORESCENT)
L	(X)	(2' FLUORESCENT)
M	(X)	(SLT CHANDELER)
N	(X)	(3 LT )
O	(X)	(PENDANT/ NOOK)
P	(X)	(X)
Q	(X)	(X)

ELECTRICAL PLAN "BR"

1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION

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1762

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DATE:  
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REVISED:

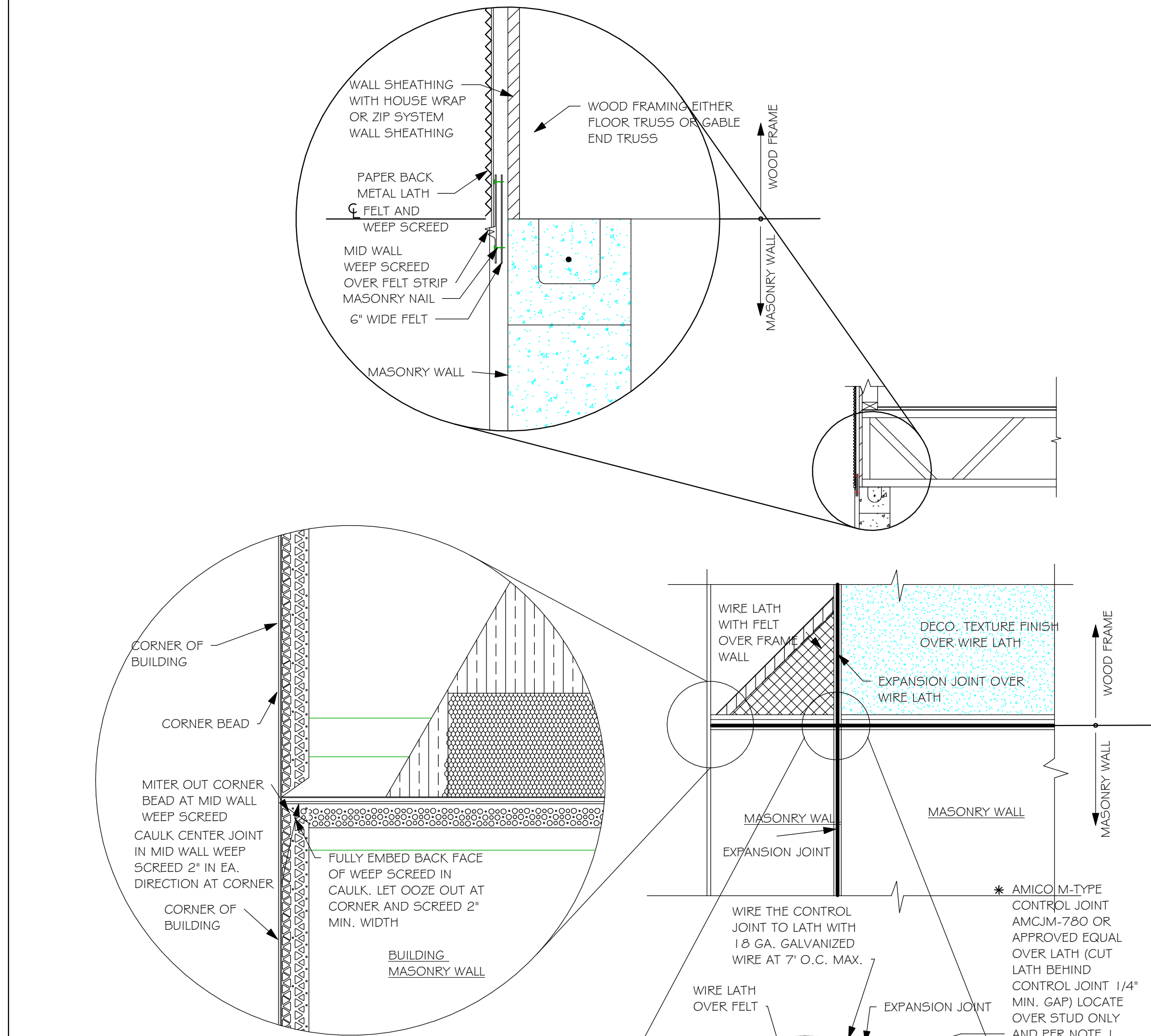
PLAN:  
ELECTRICAL

SCALE:  
As indicated

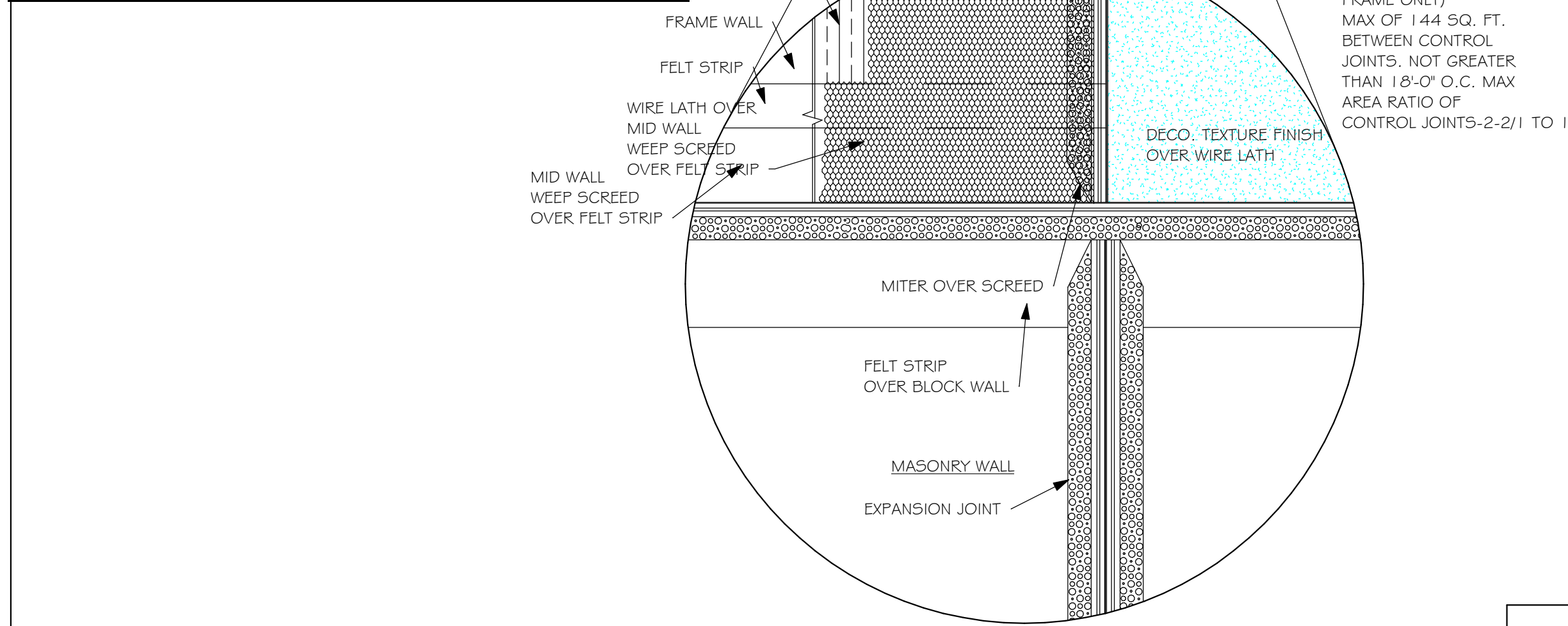
A-5 BR



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R.H.vic

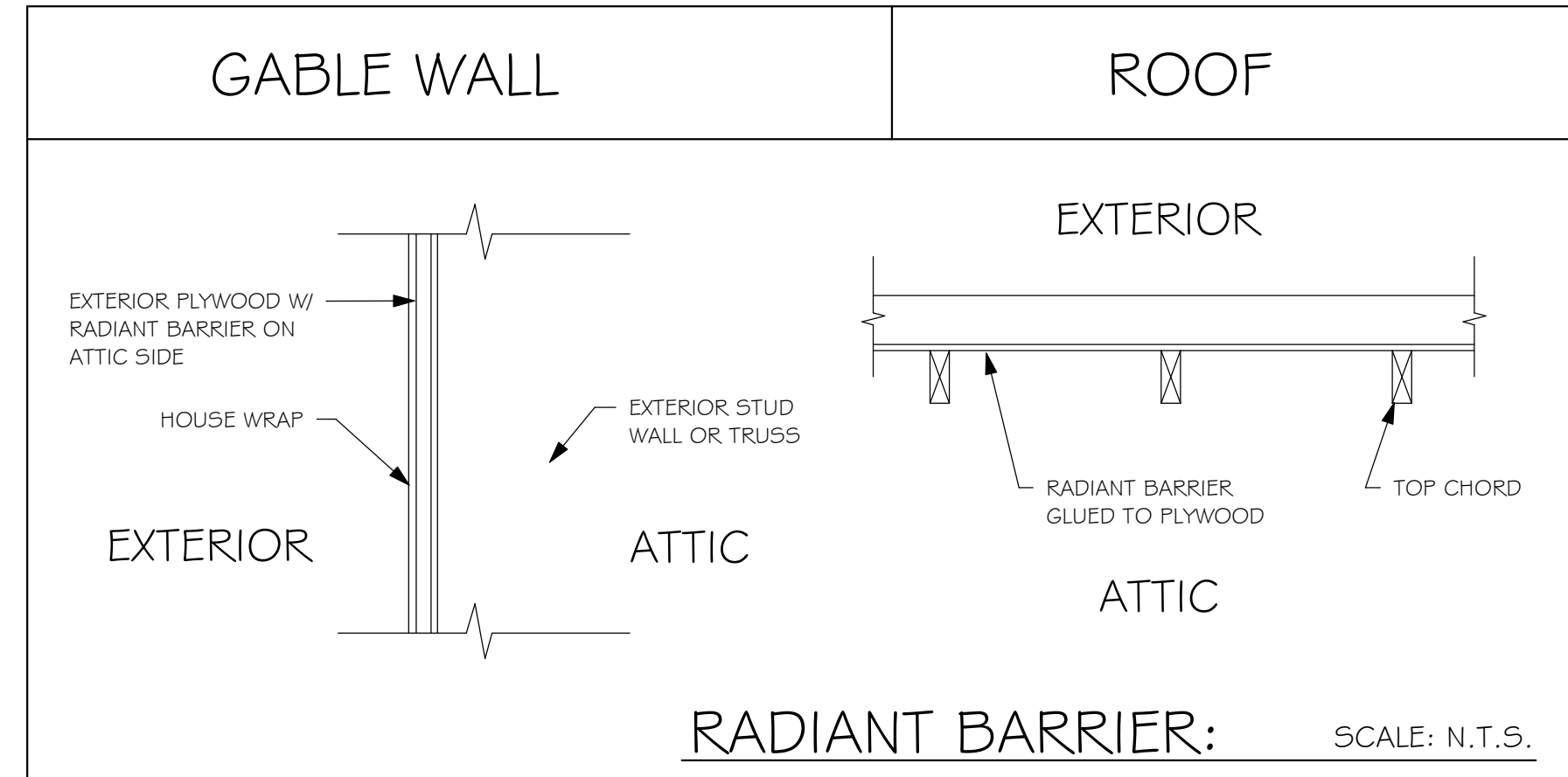


MID WALL WEEP SCREED DETAIL



WEEP SCREED DETAIL

INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE WOOD STUD FRAMING IS ABOVE MASONRY WALLS.



NOTE: EXTERIOR WALLS ADJACENT TO ATTIC SPACE, INCLUDING KNEEWALLS AND GABLE END WALLS, MUST HAVE RADIANT BARRIER AND HOUSE WRAP.

## RESIDENTIAL SPECIFICATIONS

### GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING. THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT. ALL BOLTS, NUTS, WASHERS, STRAPS, AND FASTENERS INCLUDING NAILS, SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
- TREATED WOOD REQUIREMENTS:- ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
- CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" SAG RESISTANT PER SEC. 702.3.5
- LANAI CEILINGS # COVERED ENTRY CEILINGS 1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS. 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

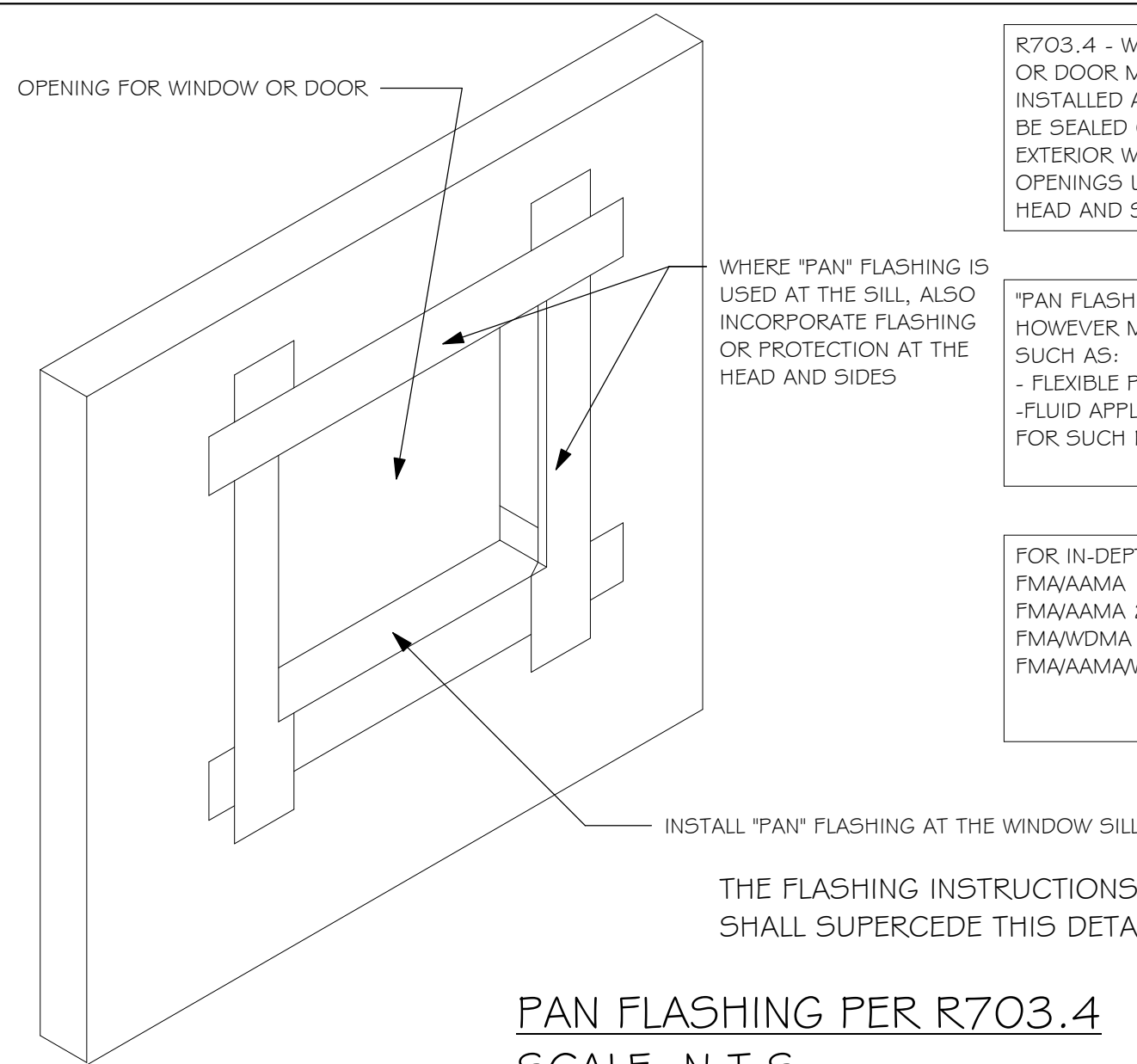
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### GENERAL ROOF ASSEMBLY

**ROOF SHEATHING**  
SHALL BE APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL "H" CLIPS AT UNSUPPORTED PANEL EDGES. THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 4" O.C. EDGE AND 6" O.C. FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSSES WITHOUT SPLITTING. RING SHANK NAILS PER R803.2.3.1 - 0.113" NOMINAL SHANK DIAMETER, RING DIAMETER OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.280" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.

**FLASHING**  
FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE AZ50 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURERS PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).

**DRIP EDGE**  
DRIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS. LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". DRIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.



PAN FLASHING PER R703.4

SCALE: N.T.S.

6

### ASPHALT SHINGLE ROOF SPECS

#### SHINGLES

15# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462, AND SHALL BE SECURED TO THE ROOF WITH NO LESS THAN 6 FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF 2 FASTENERS PER SHINGLE TAB, AND SHALL IN NO CASE BE FASTENED WITH LESS FASTENERS THAN THAT REQUIRED BY THE MANUFACTURE. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.

#### FASTENERS

FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F 1667, AND SHALL BE MADE WITH GALVANIZED STEEL, STAINLESS STEEL OR ALUMINUM WITH A MINIMUM SHANK SIZE OF 12 GAUGE (0.105") WITH A MINIMUM 3/8" DIAMETER HEAD SHANK AND SHALL BE A LENGTH TO PENETRATE THE SHEATHING

THE NAIL COMPONENT OF PLASTIC CAP NAILS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A 641, CLASS 1, OR EQUAL, AND SHALL BE CORROSION RESISTANT BY ELECTRO GALVANIZATION, MECHANICAL GALVANIZATION, HOT DIPPED GALVANIZATION OR SHALL BE MADE OF STAINLESS STEEL, NON-FERROUS METAL

4

### CLAY AND CONCRETE ROOF TILE SPECS

INSTALL PEEL AND STICK UNDERLAYMENT APPROVED FOR SINGLE LAYER APPLICATION UNDER TILE ROOF.  
THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF R905.3 F.B.C. MARKING. EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURER'S IDENTIFICATION MARK.  
APPLICATION SPECIFICATIONS: THE TILE MANUFACTURER'S WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING:  
1. TILE PLACEMENT AND SPACING,  
2. ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CURRENT WIND CODE.  
A. AMOUNT AND PLACEMENT OF MORTAR  
B. AMOUNT AND PLACEMENT OF ADHESIVE  
C. TYPE, NUMBER, SIZE AND LENGTH OF FASTENERS AND CLIPS.  
3. UNDERLAYMENT  
4. SLOPE REQUIREMENT.

5

### FLOOR SHEATHING AT 2ND FLOOR

A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATING 48/24 OR BETTER, GLUED AND NAILED

ROOF SHEATHING PER SCHEDULE 2/5-1.  
AND PER NOTES IN TABLE 3 ON A-6

TILE ROOF PER NOTE 6 ON A-6. OR  
SHINGLE ROOF PER NOTE 5 ON A-6

WOOD TRUSSES @ 24" O.C. (TYPICAL.)  
DESIGNED BY DELEGATED TRUSS  
ENGINEER.

EMBEDDED STRAP AT EACH  
TRUSS PER ROOF FRAMING PLAN.  
FLASHING AND DRIP  
EDGE PER NOTES IN  
TABLE 2 ON A-6

2X6 MIN. SUB FASCIA

PROVIDE VENTILATION  
PER R806.1

VENTED SOFFIT SHALL  
MEET R703.1.2.1 SEE  
TABLE 3 ON 5-3

8X8 CONTINUOUS BOND  
BEAM W/ 1 #5, GROUT  
SOLID

SLOPE TO EXTERIOR

PRECAST CONCRETE SILL

DECO. CEMENT  
FINISH PER ASTM C-926

GRADE

CONC. FOOTING  
SEE FOUNDATION PLAN  
FOR SIZE AND  
REINFORCING.

12"

12"

12"

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SEE ENERGY CODE FORMS  
FOR INSULATION R-VALUES

DRYWALL CEILING PER  
NOTE 9 IN TABLE 1 ON A-6

1X4 P.T. STRIP

PRECAST LINTEL SEE FRAMING PLAN  
WINDOW BUCKS SEE TABLE 2 ON A-6  
1X4 P.T. BUCK W. BED OF  
CONTINUOUS CAULK UNDER

WINDOW, SEE SCHEDULE AND PLAN

PROVIDE TERMITE TREATMENT  
WITH "BORA CARE".

SILL SET IN MORTAR

1/2" DRYWALL W/  
TEXTURED WALLS  
1X2 P.T. FURRING STRIPS @ 24"  
O.C. W/ INSULATION (MIN. R4.1)

WOOD BASE

4" CONC. SLAB ON 6 MIL.  
VISQUEEN VAPOR BARRIER ON  
MECHANICALLY COMPACTED FILL  
@ 95%.

GRADE

CONC. FOOTING  
SEE FOUNDATION PLAN  
FOR SIZE AND  
REINFORCING.

12"

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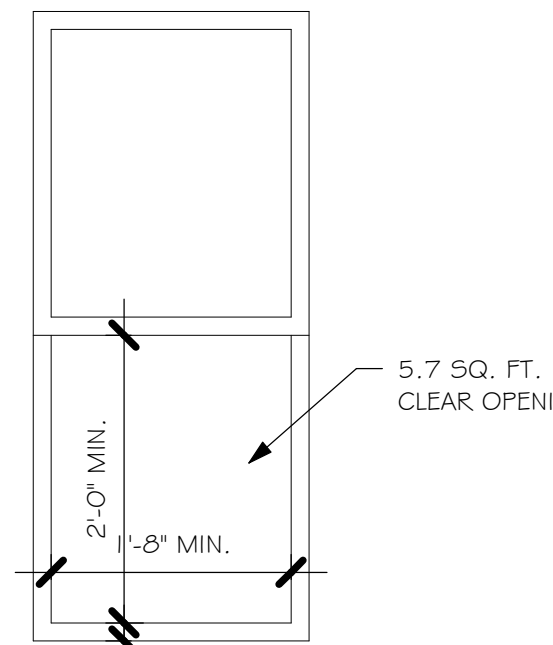
12"

12"

12"

12"

## TYPICAL WALL SECTION



3'-6" MAX.

FINISH FLOOR

R310.2.1 MINIMUM OPENING AREA: ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²).

EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (0.465 m²).

R310.2.1 MINIMUM OPENING HEIGHT: THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm).

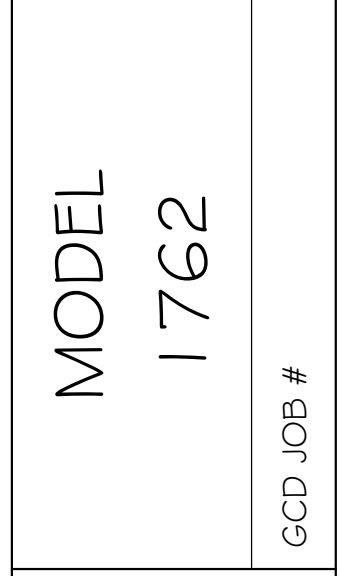
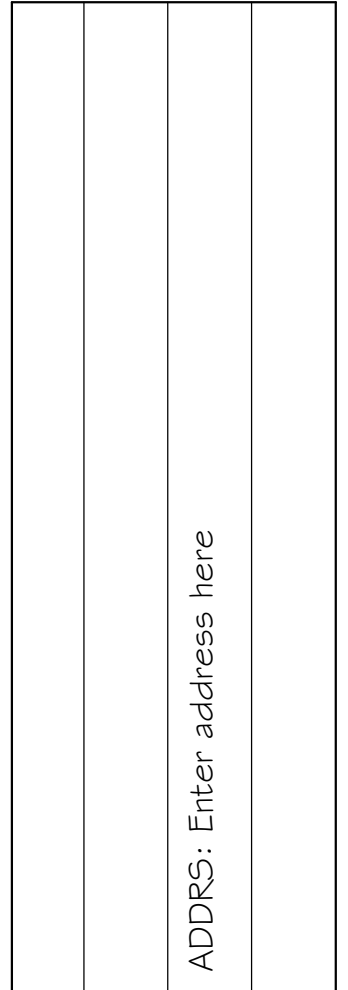
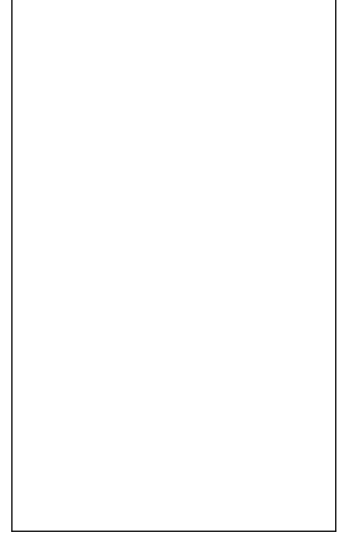
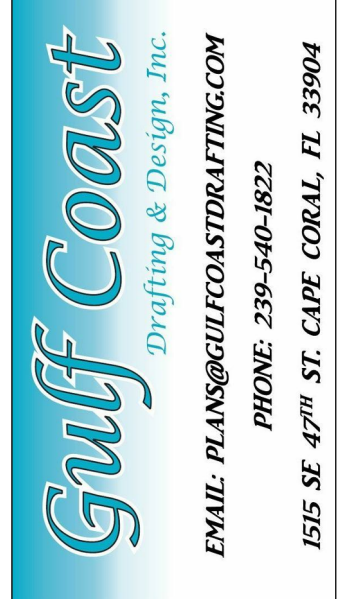
R310.2.1 MINIMUM OPENING WIDTH: THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508mm).

R310.1.1 OPERATIONAL CONSTRAINTS: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

R310.2.3 WINDOW WELLS: THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (0.84 m²), WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (914mm). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

### MINIMUM EGRESS WINDOW DETAIL

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2017 - 6TH EDITION



DATE: 10/09/19

DRAWN BY:

CHECKED BY:

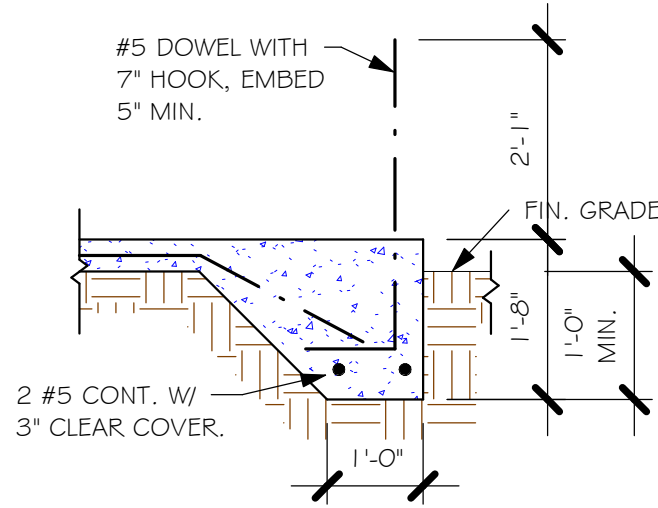
REVISED:

PLAN: SECTIONS

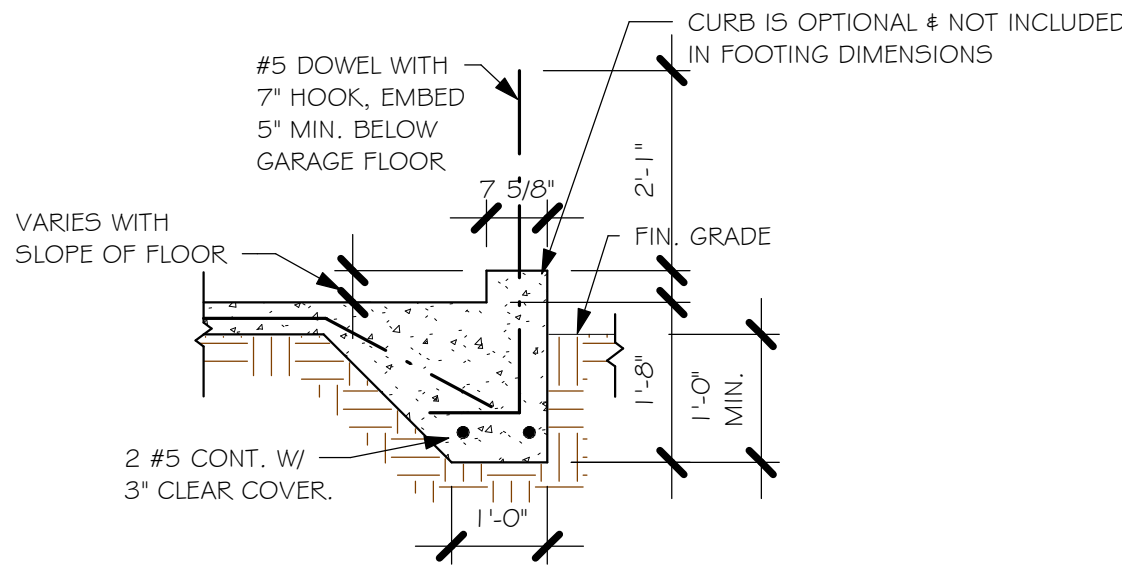
SCALE: As indicated

A-6

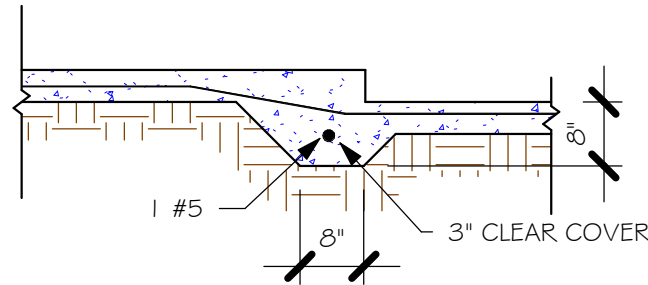




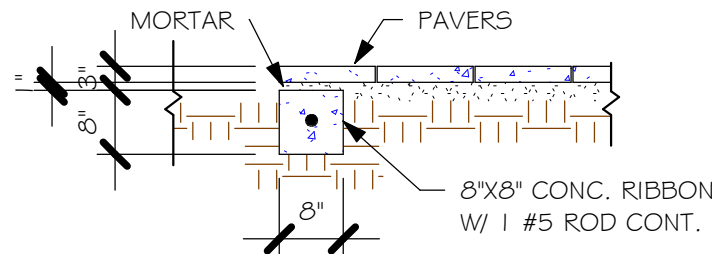
"F3" FOOTING  
1/2" = 1'-0"



"F3" WITH CURB AT GARAGE  
1/2" = 1'-0"



"F6A" STEP DOWN  
1/2" = 1'-0"



"P" PAVERS DETAIL  
1/2" = 1'-0"

FOUNDATION PLAN

- SCALE: 1/4" = 1'-0"
- PLAN NOTES:
1. TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0"
  2. "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
  3. PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
  4. ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
  5. FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
  6. PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.

PAD FOOTING SCHEDULE

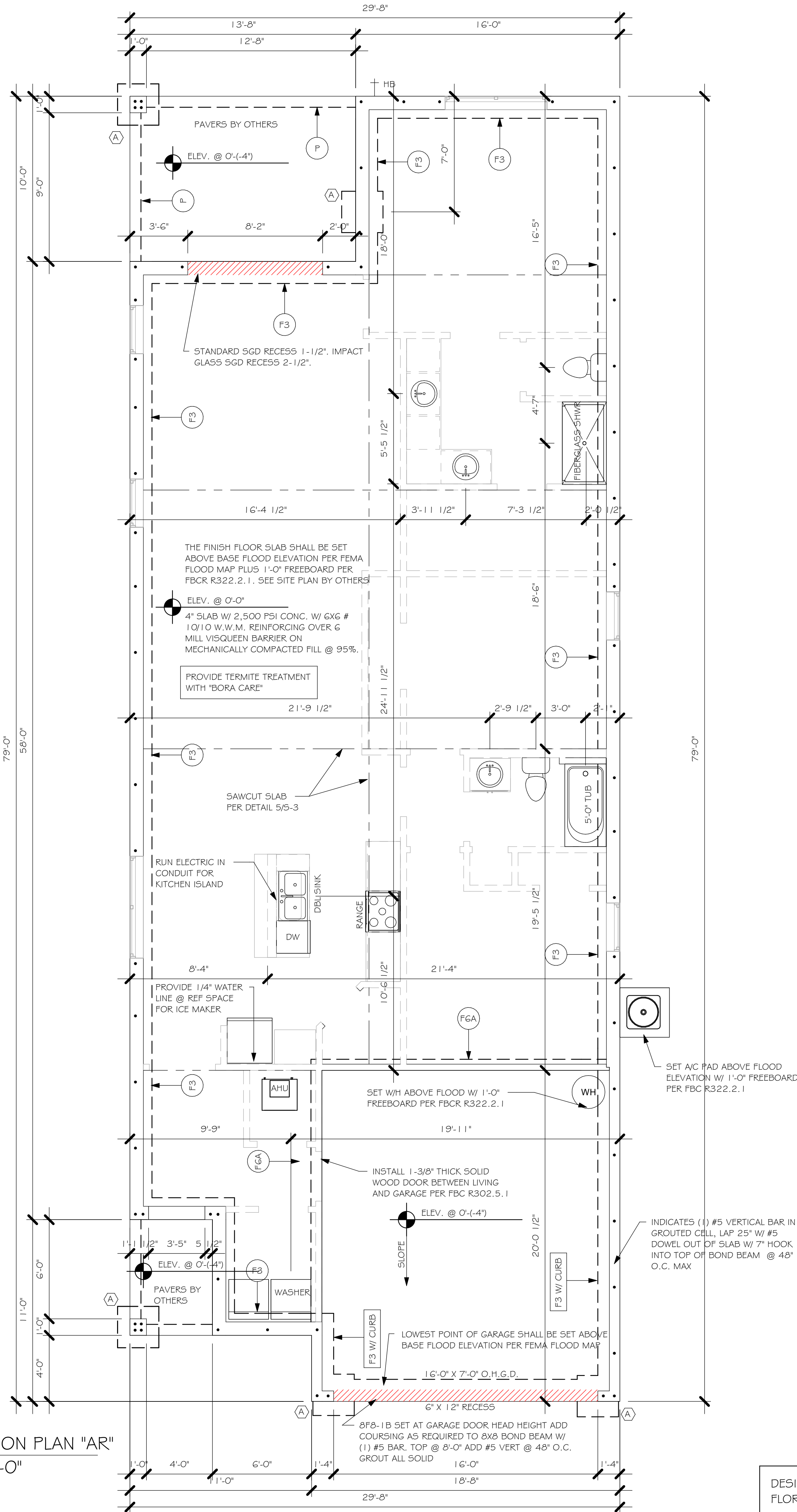
USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINF.		REMARKS
					LONG WAY	SHORT WAY	
X	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5	-
	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5	-
	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5	-
	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5	-
	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5	-

WALL FOOTING SCHEDULE

USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING	SHAPE	
	F1	CONT.	1'-4"	0'-8"	2-#5		
	F2	CONT.	1'-8"	0'-10"	2-#5		
X	F3	CONT.	1'-0"	1'-8"	2-#5		ADD CURB TO GARAGE, SEE DETAIL
	F4	CONT.	1'-4"	1'-8"	2-#5		
	F5	CONT.	1'-4"	1'-0"	2-#5		
	F6	CONT.	1'-4"	1'-0"	2-#5		
X	F6A	CONT.	0'-8"	0'-8"	1-#5		
	TE	CONT.	0'-8"	0'-8"	1-#5		

PROVIDE CORNER BARS PER 6/S-3

FOUNDATION PLAN "AR"  
1/4" = 1'-0"



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CFL 889

ADDRESS: Enter address here

MODEL  
1762  
GCD JOB #

DATE: 10/09/19

DRAWN BY:

CHECKED BY:

REVISED:

PLAN:  
FOUNDATION PLAN

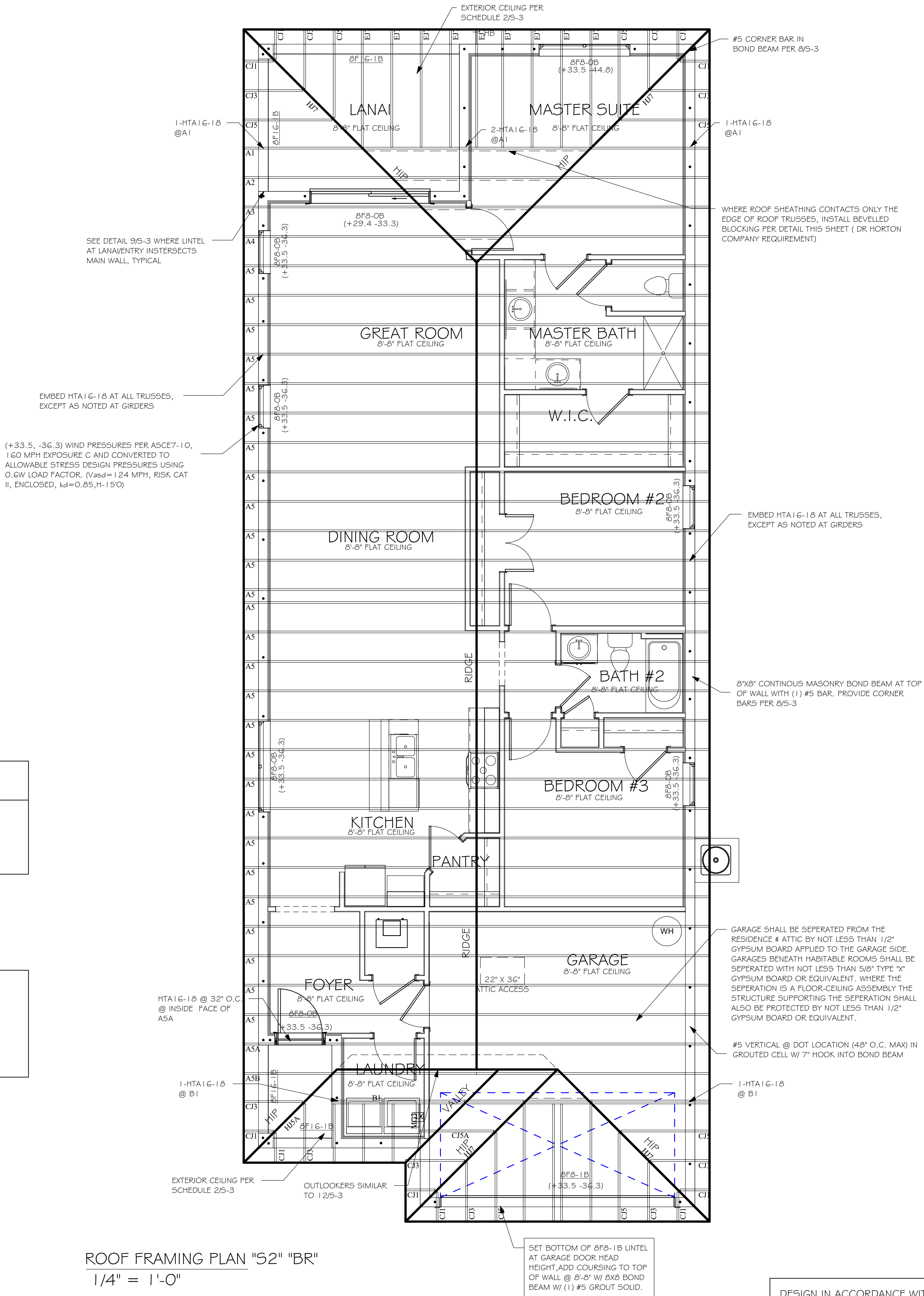
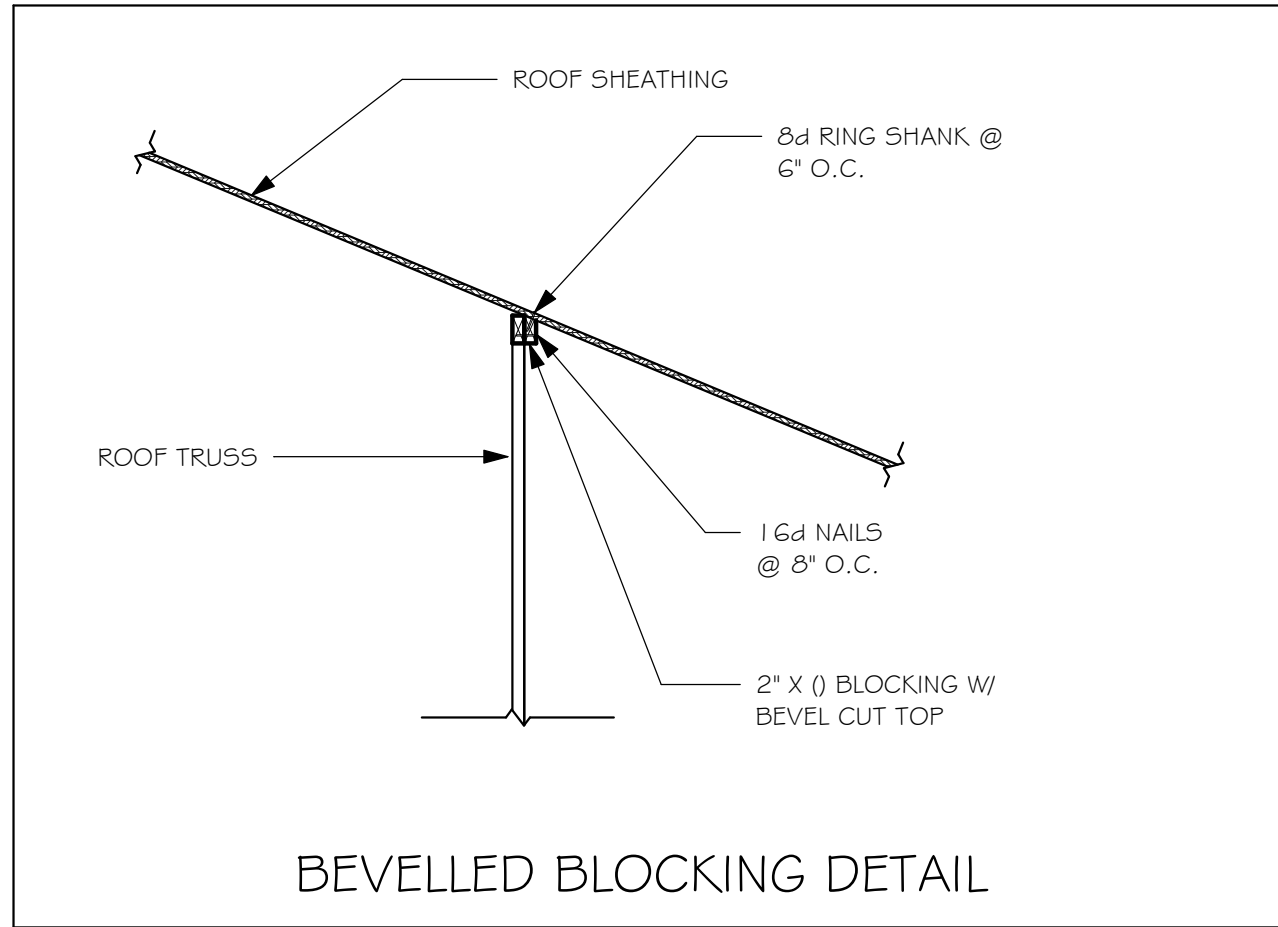
SCALE:  
As indicated

S-1 BR



# PLAN NOTES:

1. ROOF TRUSS BEARING ELEVATION VARIES, SEE LEGEND.
2. ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET 5-3.
3. PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET
4. FOR NAILING OF ROOF DECK, SEE 1 AND 2 ON 5-3.
5. BFB-1B etc., DENOTES PRECAST Lintel ABOVE DOWNDRAIN/OPENING PER SCHEDULE THIS SHEET.
6. AT TRUSS BEARING, PROVIDE 6x8 MASONRY BOND BEAM W/ #5 CONTINUOUS, SEE DETAIL 115-3.



ROOF FRAMING PLAN "S2" "BR"

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1/4" = 1'-0"

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FLORIDA BUILDING CODE 2017 - 6TH EDITION