

JOB SITE PLANS

This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance per Sarasota County Construction and Property Maintenance Department

SUPERIMPOSED LOAD TABLE		
	DEAD LOAD	LIVE LOAD
INTERIOR (PRIVATE) FLOORS	20 PSF	40 PSF
PRIVATE BALCONIES (> 100 SQ.FT.)		100 PSF
STAIRS & LANDINGS		100 PSF

REVISED HISTORY TABLE			
REV	DATE	BY	COMMENTS
1.			
2.			
3.			
4.			
5.			
6.			

1 HOUR FIRE RATING ON THIS FLOOR ONLY:
ALL PLANK OVER FIRST FLOOR ENCLOSED AREA ONLY CONTAINS A 1 HOUR FIRE RATING. USE PCI MANUAL 4TH EDITION RATIONAL DESIGN METHOD FOR FIRE RATINGS.

NOTE:
TOPPING CONTRACTOR IS TO USE PROPER PROCEDURES TO ENSURE BONDING BETWEEN TOPPING AND PRECAST PLANK WHEN POURING TOPPING. (E.G. WET SURFACE OF PLANK, CLEAN SURFACE OF PLANK FROM FOREIGN MATTER ETC.)

ARCHITECT/ENGINEER NOTE:
1. THESE SHOP DRAWINGS ARE FOR DESIGN OF PRECAST MEMBERS ONLY. DESIGN OF THE STRUCTURAL DIAPHRAGM CONNECTIONS AS WELL AS WATERPROOFING AND FLASHING IS BY OTHERS.
2. PLANK ARE DESIGNED TO SUPPORT ONLY SUPERIMPOSED FLOOR LOADS. NO SUPPORT FOR CONCENTRATED OR BEARING WALL LOADS ON THE PLANK HAVE BEEN CONSIDERED IN THIS DESIGN. UNLESS NOTED OTHERWISE ON THE DRAWINGS.

ARCHITECT/ENGINEER NOTE:
CANTILEVERS ARE NOT DESIGNED FOR ANY LOADING IN EXCESS OF LOADS SHOWN ON THE SUPERIMPOSED LOAD TABLE. I.E. NO WALL LOADS. UNLESS NOTED OTHERWISE ON THE DRAWINGS.

THE UNTOPPED SLAB SYSTEM INDICATES FLOOR SLABS THAT WILL ACCEPT GOOD QUALITY CARPET WITH MINIMUM 9/16" HEAVY PAD, DIRECTLY APPLIED TO THEIR SURFACE.

NOTE: ONLY LENGTHWISE SEAMS TO BE GROUTED.

NOTE:
THE DESIGN LOADS OF THE SLAB DECK SYSTEM MUST NOT BE EXCEEDED DURING THE CONSTRUCTION PHASE. IN NO CASE SHOULD BLOCK/MATERIAL BE STACKED HIGHER THAN A SINGLE CUBE. FLOOR SPANS BELOW 25 FEET SHOULD HAVE ALL BLOCK STOCKED WITHIN 1/3 OF EACH END. FLOOR SPANS FROM 25' TO 32' MAY HAVE A MAXIMUM OF ONE CUBE OF BLOCK (OR EQUIVALENT) 1/4 DISTANCE FROM EACH END. LOADS HEAVIER THAN ABOVE MAY BE APPLIED ONLY AFTER DECKS HAVE BEEN SHORED AT MID SPAN DOWN TO GRADE.

ANY ALTERATIONS BY OTHERS (WITHOUT PRIOR WRITTEN CONSENT) TO THE ORIGINAL SYSTEM AS SHOWN ON THESE SHOP DRAWINGS SHALL NULL AND VOID THE WARRANTY ON THIS PROJECT.

= CONSTRUCTION LOADING ZONES (MAX. 1 CUBE OF BLOCK HIGH)

NOTES:

- 1.) BEARING BEAMS MUST BE SMOOTH, TRUE & LEVEL.
- 2.) ALL CONCRETE TOPPING & PERIMETER POUR ARE BY OTHERS.
- 3.) ELECTRICAL & PLUMBING HOLES CORED BY OTHERS.
- 4.) KEYWAYS TO BE GROUTED BY GULF COAST PRECAST.
- 5.) PLANK BEARING MAY VARY SLIGHTLY FROM DIMENSIONS ON GULF COAST PRECAST SHOP DRAWING. MINIMUM END BEARING IS 2". NO SIDE OR EDGE BEARING IS REQUIRED.
- 6.) VERTICAL REBAR STUBBED OUT OF THE BEAMS MUST BE HELD IN MIDDLE OF THE 8" WIDTH.
- 7.) IF THE TOPPING IS SHOWN AS COMPOSITE (FULLY BONDED), IT MUST BE A 2" MINIMUM THICKNESS AND 3000 PSI @ 28 DAYS. PRECAST MUST BE WET PRIOR TO PLACING TOPPING & TOPPING PLACED PRIOR TO ANY INTERIOR PARTITIONS BEING INSTALLED.
- 8.) ALL OPENINGS, EVEN IF SHOWN, ARE BY OTHERS UNLESS INCLUDED IN THE CONTRACT. NO OPENINGS PERMITTED UNLESS SHOWN ON SHOP DRAWINGS.
- 9.) ALL WATERPROOFING OR WATERPROOFING MEMBRANES BY OTHERS.

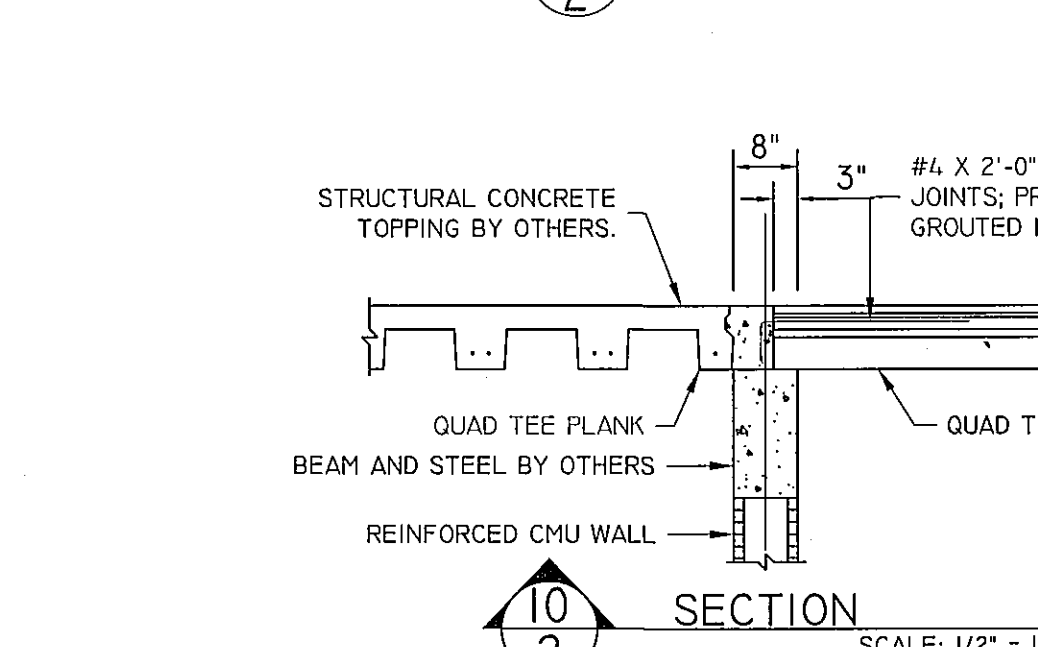
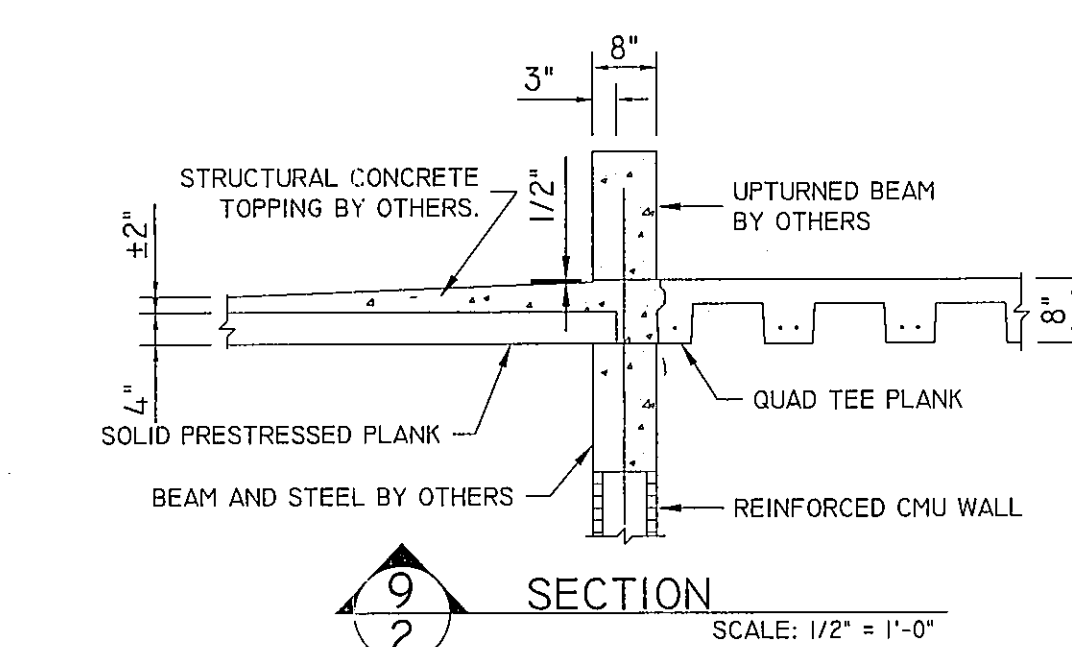
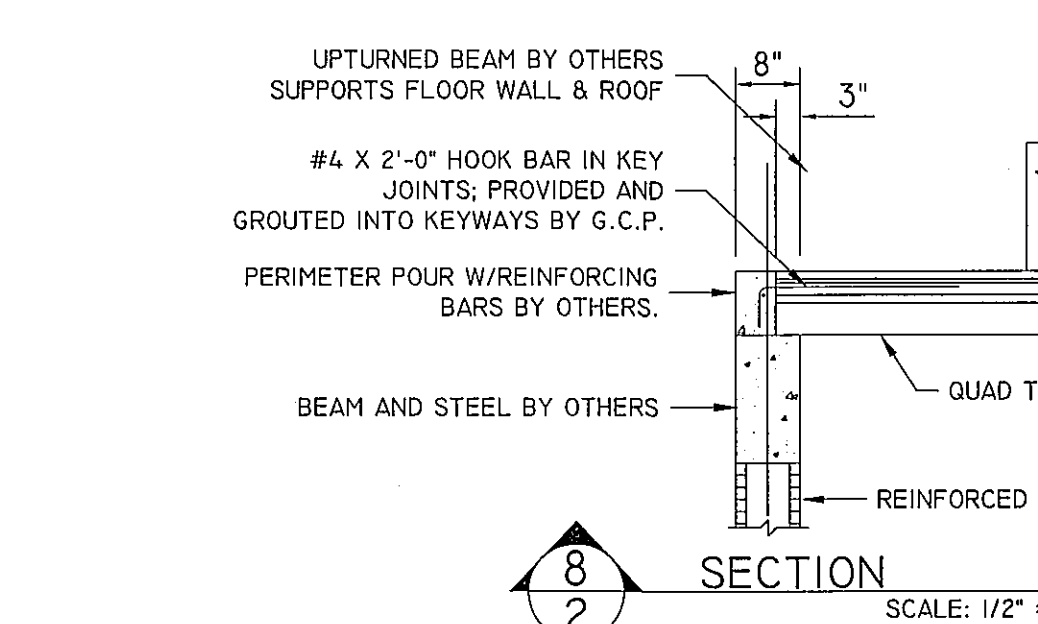
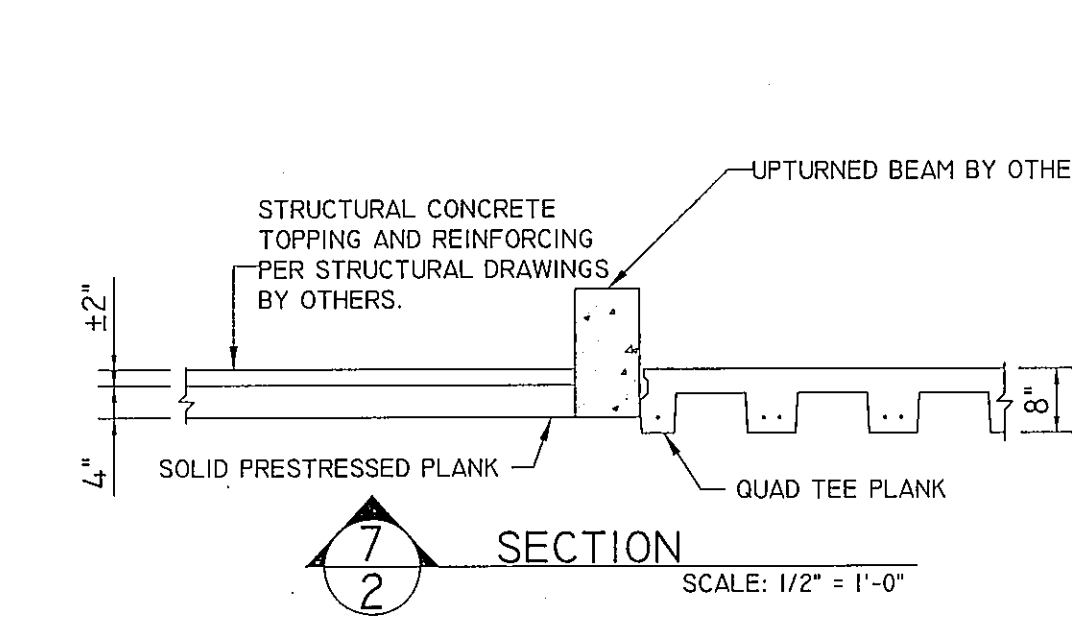
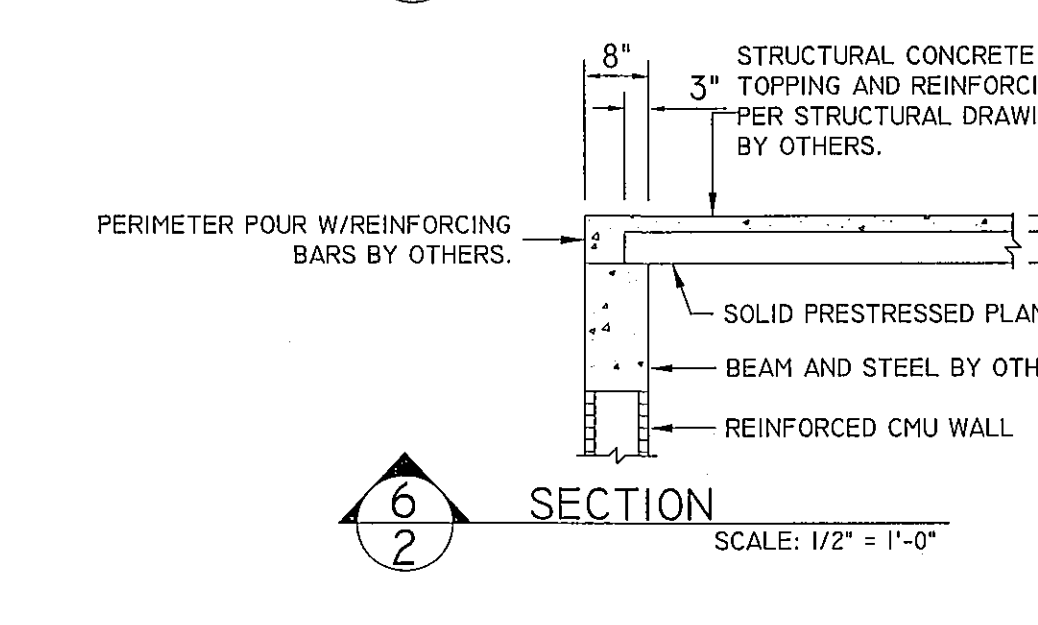
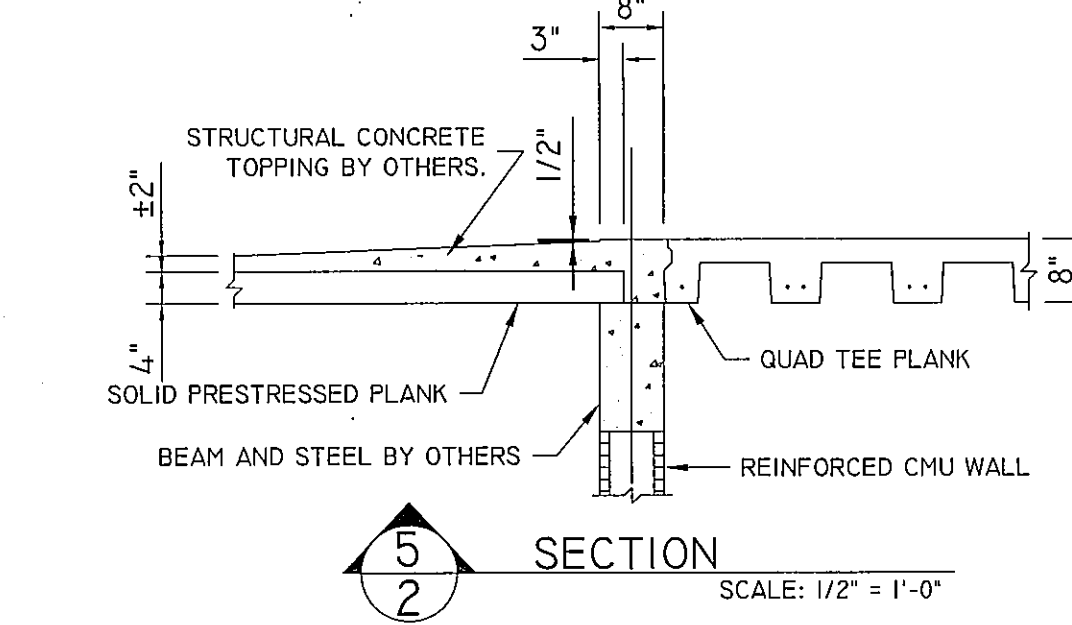
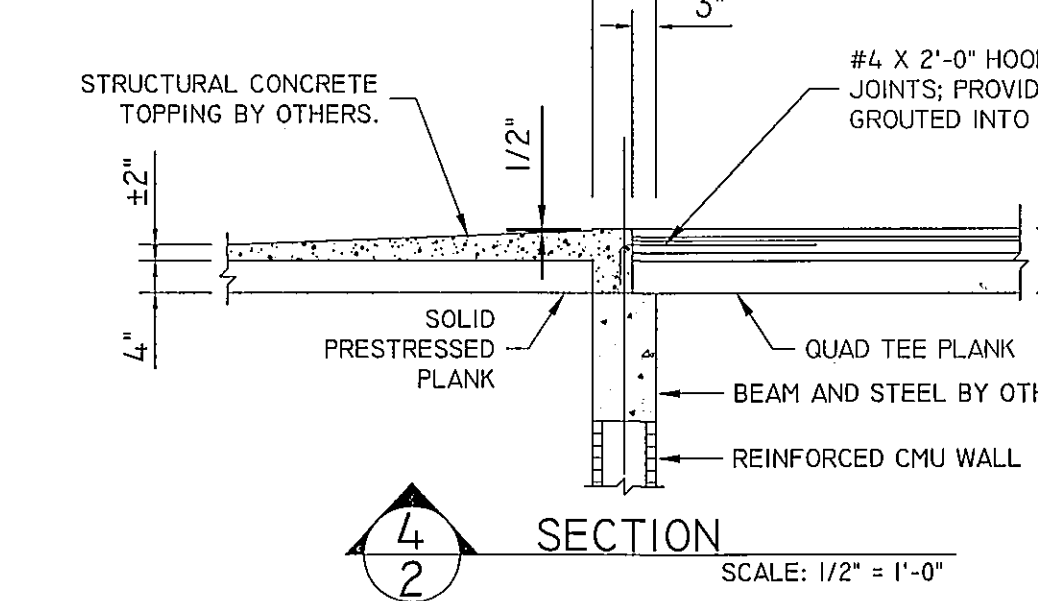
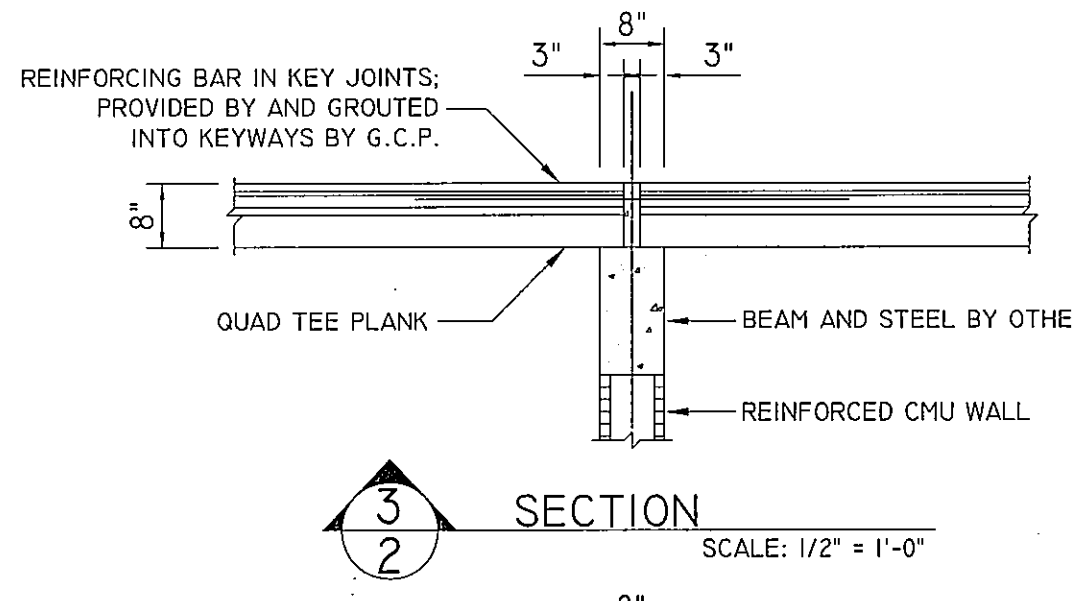
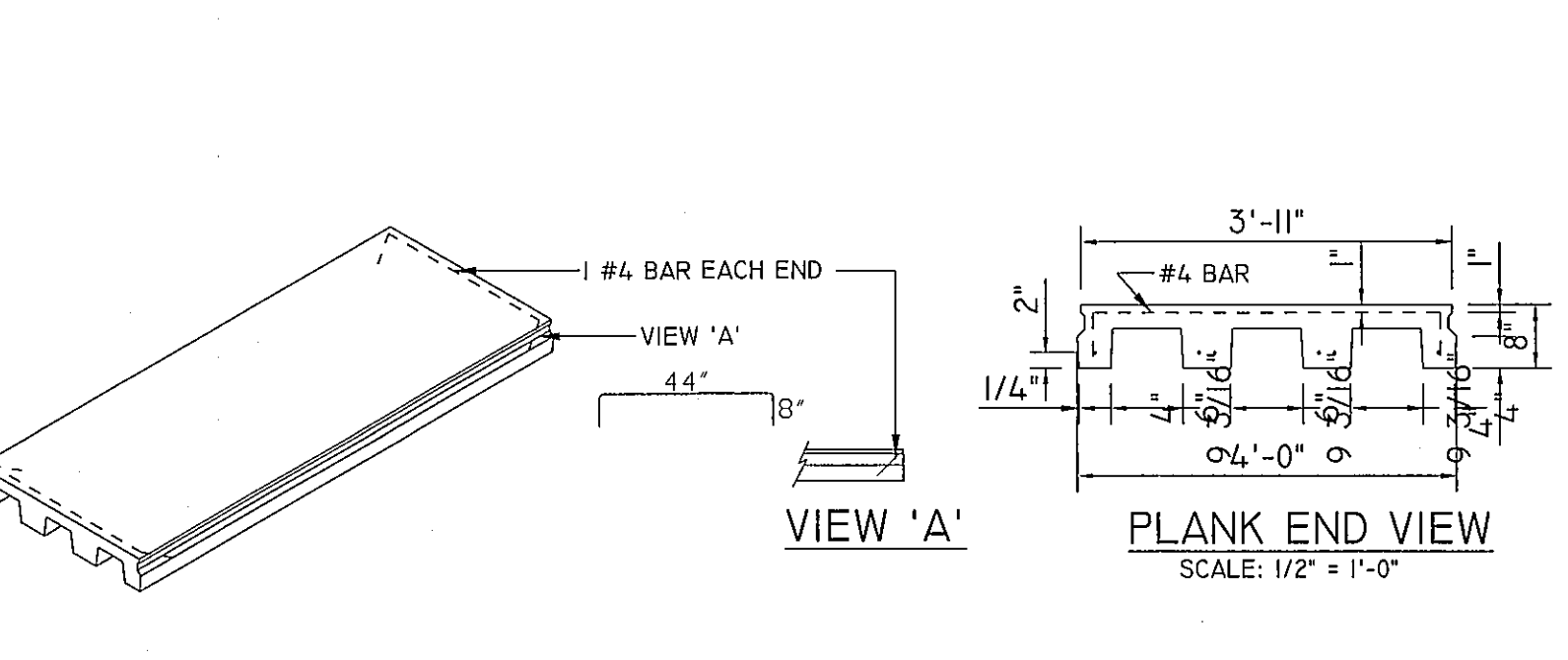
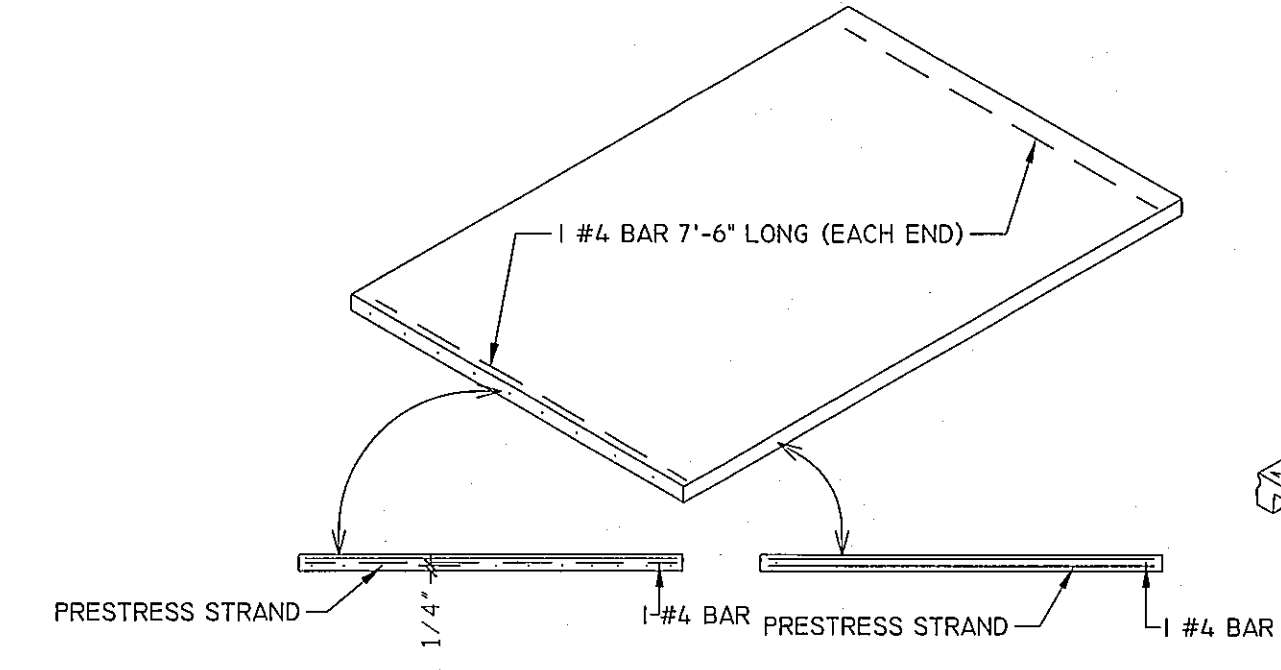
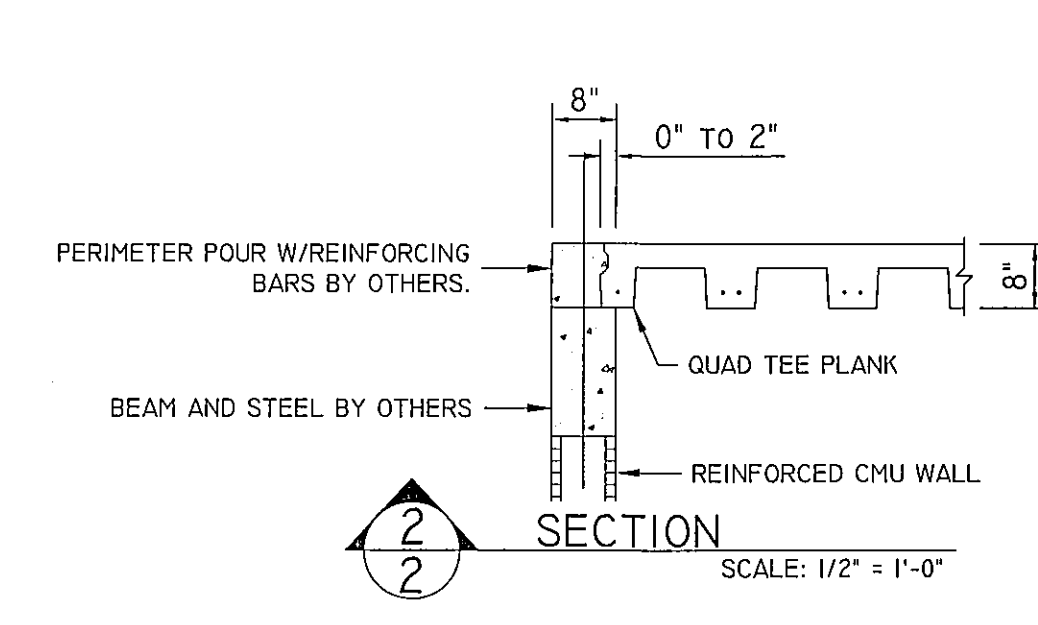
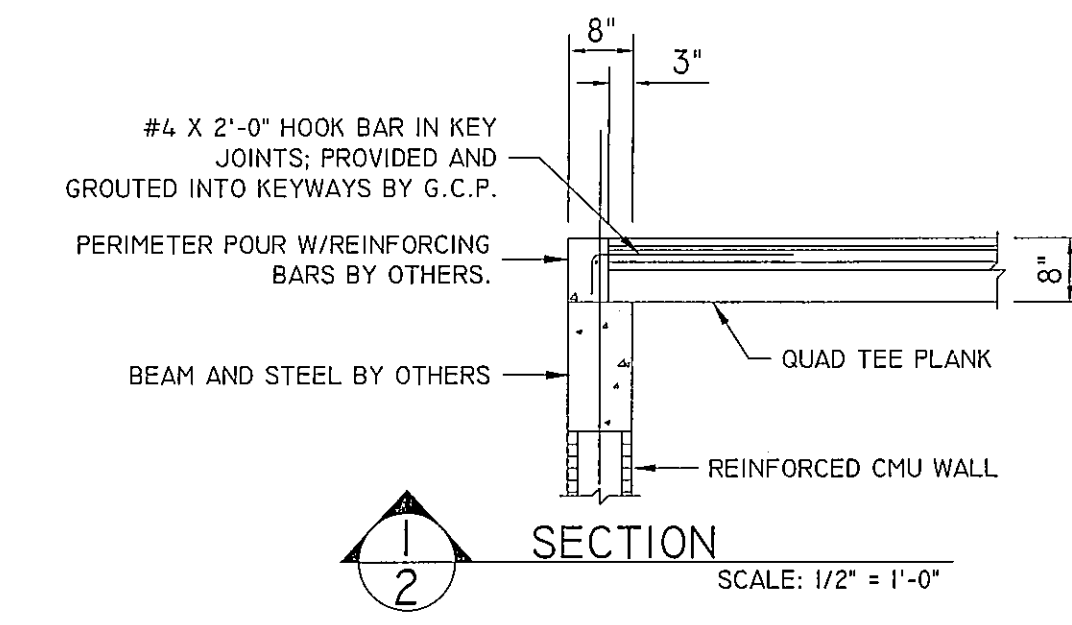
Robert T. Haug P.E.
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GCP
GULF COAST PRECAST, INC.
2506 PRECAST CT.
FORT MYERS, FL 33916
OFFICE: (239) 337-0021 FAX: (239) 337-0081

PROJECT	MARISOL AT BAYSTREET 7 UNIT CONDO
LOCATION	OSPREY, FLORIDA
ARCHITECT	BSB DESIGNS
CONTRACTOR	DR HORTON HOMES
DRAWN: 02/24/12	BY: ABBEY L. MOTISI
APPROVED	
DATE REV.	12-25-13, RTH

SHEET: 1 OF 2 SCALE: 3/16" = 1'-0" JOB NO. 13-09

SECOND FLOOR PRECAST PLANK LAYOUT



PRECAST PLANK SCHEDULE							
TAG #	2ND	LENGTH	WIDTH	LBS.	STRAND PATTERN*	INTAL PULL	REMARKS
800	8	33'-2"	4'-0"	7695	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	
801L	1	33'-2"	4'-0"	7695	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	SUPPORTS PRECAST STAIR; LN 8"W X 8'-2"D
801R	1	33'-2"	4'-0"	7695	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	SUPPORTS PRECAST STAIR; RN 8"W X 8'-2"D
802	6	25'-0"	4'-0"	5800	4-1/2"Ø @ 2"	.70 IP (28920#/Ø)	
803	2	33'-2"	3'-2"	6092	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	
804	4	33'-2"	1'-10"	3527	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	
805	4	26'-2"	4'-0"	6071	6-7/16"Ø @ 2"	.70 IP (21735#/Ø)	
806	2	26'-2"	3'-4"	5059	6-7/16"Ø @ 2"	.70 IP (21735#/Ø)	
807	2	33'-2"	3'-0"	5771	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	
808	2	3'-10"	2'-4"	0519	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
809	4	3'-10"	4'-0"	0889	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
810	2	3'-10"	1'-10"	0408	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
811	4	11'-1"	4'-0"	2571	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
812	16	11'-6"	4'-0"	2668	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
813	4	11'-6"	3'-4"	2223	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
814	8	14'-8"	4'-0"	3403	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
815	2	14'-8"	3'-4"	2836	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
816S	2	6'-10"	2'-6"	0991	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	8" SOLID
817	2	4'-1"	2'-2"	0513	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
818	2	11'-1"	2'-4"	1500	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
819	2	11'-1"	2'-0"	1286	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
4" PLANK 12'-0" OR LONGER MUST HAVE KEYWAYS IN EDGES							
400	2	10'-6"	6'-6"	3276	6-3/8"Ø @ 1.25"	.70 IP (16070#/Ø)	
401	2	4'-1"	6'-8"	1307	4-3/8"Ø @ 1.25"	.70 IP (16070#/Ø)	
402	2	6'-10"	7'-7"	2487	4-3/8"Ø @ 1.25"	.70 IP (16070#/Ø)	

STRAND PATTERNS SHOWN ABOVE ARE BASED ON FULL-WIDTH SLABS. SLABS LESS THAN FULL WIDTH WILL HAVE A PROPORTIONAL AMOUNT OF STRAND. (E.G. A 4' WIDE QUAD TEE WITH 6 STRAND, WHEN CUT TO 24" WIDTH WILL HAVE 3 STRAND REMAINING.)
 *ALL STRAND TO BE 270LL PULL TO 0.70 OR 0.65 FPU; F'c=6000 PSI, F't=3800 PSI
 800'S @ 2" UP UNLESS NOTED OTHERWISE; 400'S @ 1 1/4" UP UNLESS NOTED OTHERWISE

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STAIRS & LANDINGS		60 PSF

JOB SITE PLANS
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DRAWN: 02/24/12 BY: ABBEY L. MOTISI	
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SCALE: 1/4" = 1'-0"	

**160 East Bay Street
Osprey, Florida 34229**



This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasota County Construction and Property Standards Department

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**160 East Bay Street
Osprey, Florida 34229**

G1

Q

REVISIONS

DRILLER • RICHMOND • America's Builder

13880 Treeline Ave, Suite 3
Fort Myers, Florida 33913

02-14-14 Permit Set

BSB ABBREVIATIONS

Periods only used on one word abbreviations, if the abbreviation is a different word by itself e.g. ARCH, DIT, and LAM. Periods are usually used when abbreviating multiple words, unless they are very common without periods; e.g. AFF, HVAC, R/A, and WMM.

A	AB. ANCHOR BOLT ABV. ABOVE AC. AIR CONDITIONING ACC. ACCESS ACT. ACoustICAL TILE (CLG) AFH. ABOVE FINISH FLOOR AD. AREA DRAIN ADD. ADDENDUM ADH. ADHESIVE ADJ. ADJUSTABLE AGG. AGGREGATE AHU. AIR HANDLING UNIT ALT. ALTERNATE ALUM. ALUMINUM A.P. ACCESS PANEL APX. APPROXIMATE ARCA. ARCHITECTURAL ASPH. ASPHALT AT. ASPHALT TILE AUTO. AUTOMATIC AVG. AVERAGE AWG. AWNING	B	B36. 36" WIDE BASE CAB. BD. BOARD BF. BI-FOLD (DOOR) BFF. BELOW FINISHED FLOOR BIT. BITUMINOUS BLCK. BLOCKING BLDG. BUILDING BLK. BLOCK (CMH) BLUG. BLOWING BM. BEAM BM. BENCH MARK BP. BI-PASS DOOR BRG. BEARING BRK. BRICK B.S. BOTH SIDES BSHT. BASEMENT BTM OR BOT. BOTTOM BTWN. BETWEEN BVL. BEVELED B.M. BOTH MATS	C	CAB. CABINET C.B. CATCH BASIN CBF. CEMENT FLOOR CER. CERAMIC CF. FLOOR FOOT CHAM. CHAMFER C.I. CAST IRON C.I.P. CONC. CAST-IN-PLACE CONC. CIR. CIRCLE CIRC. CIRCUMFERENCE C.J. CONTROL JOINT OR CONSTRUCTION JOINT C.K. CALKING (CAULKING) CL. CLOSET OR CENTER LINE CLG. CLEARANCE CLS. CLOSURE OR CLOSER (DOOR) CM. CENTIMETERS CMH. CONCRETE MASONRY UNIT C.O. CASH OPENING COL. COLUMN COMB. COMBINATION CONC. CONCRETE COND. (AC) CONDENSER CONST. CONSTRUCTION CONT. CONTINUOUS CONTS. CONTRACTOR CORR. CORRUGATED COP. COPPER C OR CPT. GARRET CPS. CEMENT CMT. CASEMENT CST. CAST STONE C.T. CERAMIC TILE CTR. CENTER OR CENTER CX. CONNECTION CY. CIRC. YARD	D	D2'D. 12" DEEP DBL. DOUBLE DCCO. DECORATIVE DEM. DEMOLISH DEMOLITION DEP. DEPRESSION DET. DETAIL D.F. DRINKING FOUNTAIN DI. DOUBLE HING DIAM. DIAMETER DIM. DIMENSION DL. DEAD LOAD DN. DOWN (STAIRS) D.P. DAMP-PROOFING DR. DOOR DRY. DRYER MACHINE DS. DOWNBOLT D/S. DRAWER STACK (CABINET) DT. DRAIN TILE DTL. DETAIL DWH. DISH WASHER DWS. DRAWING DWR. DRAWER	E	EA. EACH EB. EYEBROW (FLAT ARCH) EF. EACH FACE E.J. EXPANSION JOINT EL. ELEVATION ELEC. ELECTRICAL E.P. ELECTRICAL PANEL EQ. EQUAL EST. ESTIMATE EPIC. ELECTRIC WATER COOLER EXG. EXISTING EXH. EXHAUST EXT. EXTERIOR	F	FAS. FASTENER FB. FACE BRICK FBO. FINISHED BY OTHERS F.D. FLOOR DRAIN FE. FIRE EXTINGUISHER FF. FINISH FLOOR LINE FG. FIXED GLASS FGL. FIBERGLASS FIN. FINISH FLG. FLASHING FLR. FLOORING FLUR. FLOURESCENT (LIGHT) FN. FENCE FND. FOUNDATION F.O. FACE OF FP. FIRE PROOF FPHS. FIRE PROOF HOSE BIBB FPHS. FIRE PROOF HOSE BIBB FPL. FIREPLACE FR. FRAMED(WING) FS. FULL SIZE FTG. FOOTING FUR. FURRED(WING)	G	GA. GYPSUM (WALL) BOARD GC. GENERAL CONTRACTOR GD. GARAGE OR GRADING G.D.O. GARAGE DOOR OPENER GFI. GROUND FAULT INTERRUPTER GLASS. GLASS OR GLAZING GLEK. GALVANIZED IRON GROUT	H	H24. 42" HIGH (WALL) HB. HOSE BIBB HC. HOLLOW CORE HD. HEAD OR HARD HED. HEAT DETECTOR OR HEAVY DUTY HWR. HARDWARE HGT. HEIGHT HM. HORIZONTAL METAL HORZ. HORIZONTAL HR. HOLE H.R. HALF ROUND (WINDOW) HS. HORIZONTAL SLIDER HTG. HEATING HVAC. HEATING/VENTILATING/AIR COND. HWD. HARDWOOD FLOORS)	I	IB. IRONS ID. INSIDE DIAMETER ILD. IN LIEU OF IK. INSULATED METAL INS OR INSUL. INSULATION/INTERIOR	J	JST. JOIST (FLOOR OR ROOF) JF. JOINT	K	KNOCKDOWN (CEILING) KIT. KITCHEN KO. KNOCKOUT KPL. KICKPLATE (ON DOOR) K/S. KNEE SPACE	L	LAM. LAMINATED LAV. LAVATORY (SINK) LB.D. LOCATION BY OTHERS LIV. LIVING LL. LIVE LOAD LP. LAMINATED PLASTIC LT. LIGHT L.T. LAUNDRY TUB LTL. LINTEL LAM. LAM VENER LINGER (BEAMS) LVR. LOWER	M	METER(S) MAX. MAXIMUM MAG. MASONRY MAT. MATERIAL MC. MCDONNELL CABINET MECH. MECHANICAL MFR. MANUFACTURER MH. HANDLE MIN. MINIMUM MR. MIRROR MSC. MISCELLANEOUS M.D. MOLDING MM. MILLIMETER MBS. MASONRY OPENING MOD. MODULAR MR. MARBLE MT. METAL MT. MOUNTING(S) M.L. MULLION OR MULLED	N	N/A. NOT APPLICABLE N.C. NOT IN CONTRACT N/L. NOT AVAILABLE NOM. NOMINAL N.T.S. NOT TO SCALE N.G.V.D. NAT. GEODETTIC VERTICAL DATUM	O	OA. OVERALL OBS. OBSERVATION (GLASS) OC. ON CENTER OCAB. OVERHEAD CABINET OD. OUTSIDE DIAMETER O.G.D. OVERHEAD GARAGE DOOR OH. OVERHEAD OPNS. OPENING(S) OPT. OPTIONAL OSB. ORIENTED STRAND BOARD
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SYMBOLS

	ELEVATION KEY SHEET NUMBER		EARTH		PLYWOOD
	BUILDING SECTION KEY SHEET NUMBER		SAND OR GRAVEL FILL		BATT INSULATION
	DETAIL NUMBER SHEET NUMBER		WOOD STUD PARTITION		RIGID INSULATION
	ANGLE		3-2x4 WOOD POST OR 2-2x6 UNLESS OTHERWISE NOTED		WATER CLOSET
	CENTERLINE		BRICK		TUB/SHOWER
	HOSE BIBB (FREEZE PROOF)		CONCRETE		LAVATORY
	GAS LINE STUB		STONE		DOUBLE SINK
	PENNY		STEEL		SINGLE SINK
	PERPENDICULAR		DIMENSIONAL LUMBER		
	PLATE		BLOCKING		
	ROUND OR DIAMETER		FINISH GRADE WOOD		

PROFESSIONAL STATEMENT:
TO THE BEST OF MY KNOWLEDGE SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 AND 633, FLORIDA STATUTES.

GENERAL NOTES

- These documents are the property of the architect and shall not be copied, duplicated, altered, modified or revised in any way without the expressed written approval of the architect.
- To the best of the architects' knowledge these construction documents are in conformance with the requirements of the building authorities having jurisdiction over this type of construction and occupancy.
- It is the intent of the architect to delineate these documents as accurate as possible for the purpose of construction. Do not "scale" these documents. The dimensions shown are to take precedence over scaling the documents. The general contractor shall take full responsibility for any incorrect work and any repair of said work as a result of scaling the documents.
- All work performed by the general contractor shall comply and conform with local and state building codes, ordinances and regulations, along with all other authorities having jurisdiction. The general contractor is responsible to be aware of these requirements and governing regulations.
- The general contractor shall thoroughly review and become familiar with these documents. Upon review, the general contractor shall document and notify the architect of any errors, omissions, discrepancies and / or inconsistencies prior to the start of any portion of the proposed work. The architect shall review the proposed corrections after the receipt of notification. The discovery of discrepancies and / or conflicts after the start of work shall be the full responsibility of the general contractor to repair or replace.
- The general contractor shall be responsible for the correction of any errors, omissions, discrepancies and / or inconsistencies which have not been brought to the architects' attention.
- The general contractor shall accept the premises as is, in its current state. The owner shall assume no responsibility for the condition of the existing site, and its contents, at the time of bidding or thereafter.
- The general contractor shall field verify all existing site conditions, along with dimensions, prior to the start of any portion of the work. All findings, discrepancies and concerns shall be brought to the owners' attention in written format.
- The general contractor shall be responsible for all work and materials represented on these documents including the work and materials furnished by subcontractors and vendors.
- Deviations from these documents in the construction phase shall be reviewed by the architect and the owner prior to the start of work in question. Any deviations from these documents without prior review, shall be the sole responsibility of the general contractor.
- It is the sole responsibility of the general contractor to determine erection procedure, means and methods and sequence of construction.
- The general contractor is responsible to produce and comply with an approved construction schedule acceptable to the owner's expectations.
- The owner shall furnish any and all reports received from the geotechnical engineer (soil reports), on the study of the proposed site, to the architect, structural engineer and general contractor. In the event the geotechnical reports do not exist, the soil condition shall be assumed to be a minimum design soil pressure stated by the structural engineer of record for the purpose of structural design. General contractor shall assure the soil conditions meet or exceed this criteria.
- Shop drawing review and distribution, along with product submittals, requested in the construction documents, shall be the sole responsibility of the general contractor, unless directed otherwise under a separate agreement.
- The architect shall not accept, or review any request for shop drawing review and / or stamp without the review and stamp of the general contractor clearly shown on the documents.

WALL LEGEND

	2x4 INTERIOR PARTITION WALL
	2x6 INTERIOR PLUMBING WALL
	2x8 P.T. EXTERIOR FURRED WALL W/ EXTERIOR SHEATHING PER STRUCTURAL
	8" CMU WALL PER STRUCTURAL DWGS
	8" CMU WALL W/ 2x P.T. FURRINGS AT INTERIOR FINISH SIDE OF STUD
	INDICATES LINE OF 1 HOUR RATED TENANT SEPARATION. SEE BUILDING SECTIONS FOR TESTED ASSEMBLIES.

DIMENSION NOTE

INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE.	EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING TO INTERIOR FACE OF STUD, UNLESS NOTED OTHERWISE.
MASONRY DIMENSIONS ARE TAKEN FROM FACE TO FACE OF MASONRY UNIT OR FACE OF MASONRY UNIT TO FACE OF STUD UNLESS NOTED OTHERWISE.	

PROJECT INFORMATION

PROJECT NAME:	BAY STREET VILLAGE							
PROJECT NUMBER:	02T12034							
PROJECT LOCATION:	SARASOTA, FLORIDA							
PROJECT JURISDICTION:	SARASOTA COUNTY, FLORIDA							
APPLICABLE CODES:	2010- FLORIDA BUILDING CODE 2010- FLORIDA BUILDING CODE / NFPA 101 2010- FLORIDA BUILDING CODE 1998- FAIR HOUSING ACT DESIGN MANUAL 2010- FLORIDA BUILDING CODE - PLUMBING 2010- FLORIDA BUILDING CODE - MECHANICAL 2008- NATIONAL ELECTRICAL CODE 2012- LIFE SAFETY CODE (NFPA 101)							
PROJECT DESCRIPTION:	TWO STORY STACKED FLAT CONDOMINIUM BUILDING							
OCCUPANCY CLASSIFICATION:	R2							
CONSTRUCTION TYPE:	IIIB							
AUTOMATIC FIRE SPRINKLERS REQUIRED?:	YES - TYPE : NFPA 13R							
FIRE ALARM SYSTEM CLASSIFICATION:	MANUAL							
ALLOWABLE HEIGHT & BUILDINGS AREAS	ALLOWED	PROVIDED (WORST CASE)						
HEIGHT IN FEET:	55'-0"	30'-0"						
MAX. NO. OF STORIES:	4	2						
BUILDING AREA:								
1ST FLOOR:	16,000	6,828						
2ND FLOOR:	16,000	10,463						
FIRE RESISTANCE RATINGS: (FBC 2010/ BUILDING TABLE 601)								
EXTERIOR LOAD BEARING WALLS		2 HOUR						
EXTERIOR NON-LOAD BEARING WALLS		SEE BELOW						
STRUCTURAL FRAME - INCLUDING COLUMNS, GIRDERS, TRUSSES		0 HOUR						
NONBEARING INTERIOR WALLS AND PARTITIONS		0 HOUR						
FLOOR CONSTRUCTION - INCLUDING SUPPORTING BEAMS AND JOISTS		0 HOUR						
ROOF CONSTRUCTION - INCLUDING SUPPORTING BEAMS AND JOISTS		0 HOUR						
FIRE RESISTANCE RATINGS REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (FBC 2010 Table 602)								
exterior bearing & non-bearing walls		0 ft to 5 ft	3-hour					
horizontal separation from common property line or assumed property line)		5 ft to 10 ft	2-hour					
		10 ft to 20 ft	2-hour					
		20 ft to 30 ft	1-hour					
		over 30 ft	0-hour					
MAXIMUM AREA OF EXTERIOR WALL OPENINGS (FBC 2010 Table 705.8)								
CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (feet)							
	0 - 3	3 - 5	5 - 10	10 - 15	15 - 20	20 - 25	25 - 30	OVER 30
UNPROTECTED	N/A*	N/A*	10%*	15%*	25%*	45%*	70%*	UL
PROTECTED	N/A	15%	25%	45%	75%	UL	UL	UL
N/A = NOT ALLOWED		UL = UNLIMITED						
*Buildings whose exterior bearing wall, exterior nonbearing wall and exterior structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.								
104.8.1 Automatic sprinkler system.								
In buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1, the maximum allowable area of unprotected openings in occupancies other than Groups H-1, H-2 and H-3 shall be the same as the tabulated limitations for protected openings.								
SECTION 1207-SOUND TRANSMISSION								
SOUND TRANSMISSION SUMMARY								
BUILDING ELEMENT		SOUND TRANSMISSION CLASS (STC) RATING FOR LAB TESTED ASSEMBLIES		FIELD TESTED (STC) REQUIREMENTS				
		REQUIRED	PROVIDED	REQUIRED	REQUIRED			
TENANT SEPARATION WALLS - VERTICAL		50	54	45				
TENANT SEPARATION WALLS- HORIZONTAL		50	53	45				
		IMPACT INSULATION CLASS (IIC) RATING FOR LAB TESTED ASSEMBLIES						
		REQUIRED	PROVIDED	REQUIRED				
TENANT SEPARATION HORIZONTAL		50	50	45				

SHEET INDEX

GENERAL

G-1 COVER SHEET

ARCHITECTURAL

- A-0.1 INDEX, PROJECT INFO, AND GENERAL NOTES
- A-0.2 FAIR HOUSING GUIDELINES
- A-2.1 FIRST AND SECOND FLOOR BUILDING PLANS
- A-2.2 ROOF PLAN PLAN AND TRIM PROFILES
- A-2.3 UNIT "A" AND "B" FLOOR PLANS
- A-2.4 UNIT "C" AND "D" FLOOR PLANS
- A-3.1 EXTERIOR ELEVATIONS
- A-3.2 EXTERIOR ELEVATIONS
- A-4.1 BUILDING SECTIONS
- A-4.2 BUILDING AND WALL SECTIONS
- A-4.3 WALL SECTIONS
- A-5.1 ROOF AND STAIR DETAILS
- A-5.2 WINDOW AND DOOR DETAILS
- A-6.1 RATED ASSEMBLY DETAILS

STRUCTURAL

- S1.0 FOUNDATION PLANS AND DETAILS
- S2.0 1ST FLOOR STRUCTURAL PLAN
- S3.0 LOWER ROOF PLAN AND 2ND FLOOR FRAMING
- S4.0 2ND FLOOR STRUCTURAL PLAN
- S5.0 UPPER ROOF FRAMING PLAN
- S6.0 STRUCTURAL WALL SECTIONS
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS
- SD3 STRUCTURAL DETAILS
- SD4 STRUCTURAL DETAILS

ELECTRICAL

- E0.1 ELECTRIC NOTES AND LEGEND
- E0.2 ELECTRIC PANEL DIAGRAMS AND SCHEDULES
- E1.1 BUILDING ELECTRICAL PLANS
- E2.1 UNIT "A" AND "B" ELECTRIC PLANS
- E3.1 UNIT "C" AND "D" ELECTRIC PLANS

MECHANICAL

- M1.1 BUILDING MECHANICAL PLAN AND NOTES
- M2.1 UNIT "A" AND "B" MECHANICAL PLANS
- M2.2 UNIT "C" AND "D" MECHANICAL PLANS

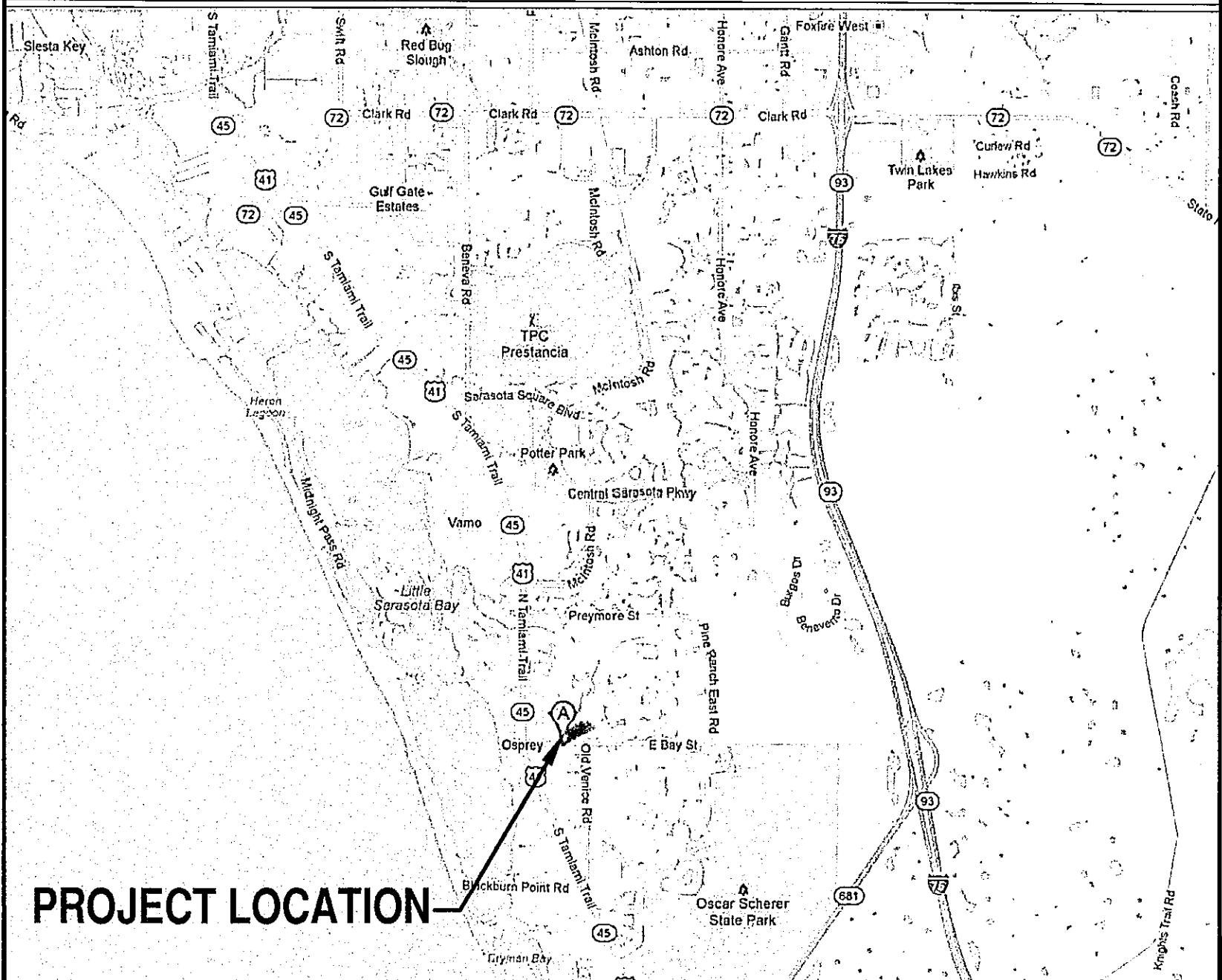
PLUMBING

- P1.1 PLUMBING NOTES AND SCHEDULES
- P2.1 SANITARY PLANS AND RISERS
- P3.1 UNIT "A" AND "B" PLUMBING PLANS
- P3.2 UNIT "C" AND "D" PLUMBING PLANS

JOB SITE PLANS

This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasota County Construction and Property Standards Department

SITE LOCATION MAP



PROJECT LOCATION

02-14-14 Permit Set

BSB DESIGN
11512 Lake Mead Ave., #301
Jacksonville, Florida 32256
904 732 7335

www.bsbdesign.com

JOB NO: 02T12034 PROJ MGR: JD
DRAWN: JD, AM CHECKED:

CODE DATA, GENERAL NOTES, SYMBOLS & ABBREVIATIONS

BSB DESIGN
America's Builder
13880 Treeline Ave, Suite 3
Fort Myers, Florida 33913

BSB DESIGN
11512 Lake Mead Ave., #301
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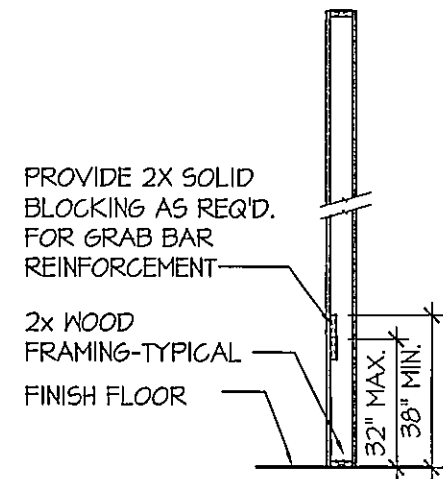


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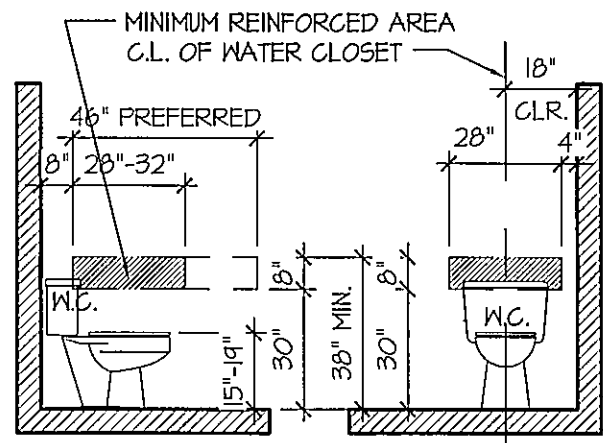
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CODE DATA, GENERAL NOTES, SYMBOLS & ABBREVIATIONS

A0.1

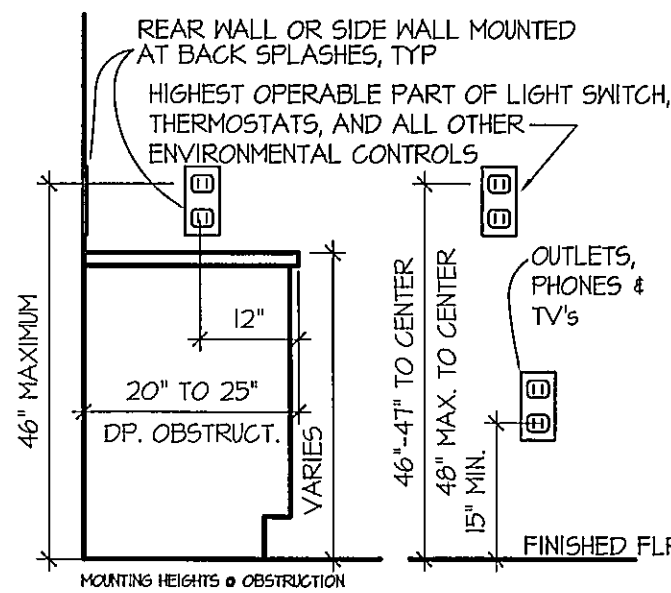


2 TOILET REINFORCING
SCALE: 1/4"=1'-0"

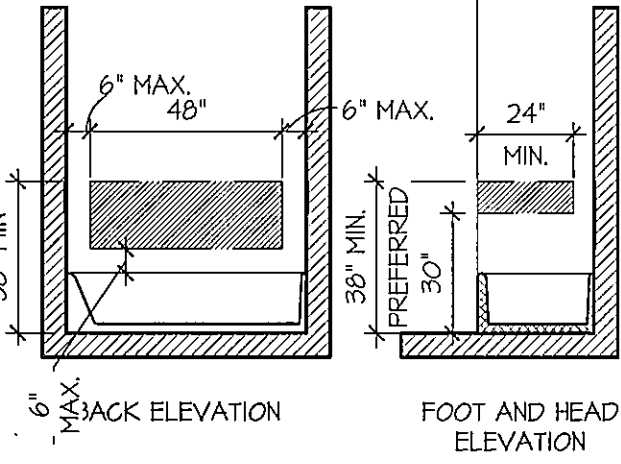


1 GRAB BAR REINF'G @ W. CLOSET
SCALE: 1/4"=1'-0"

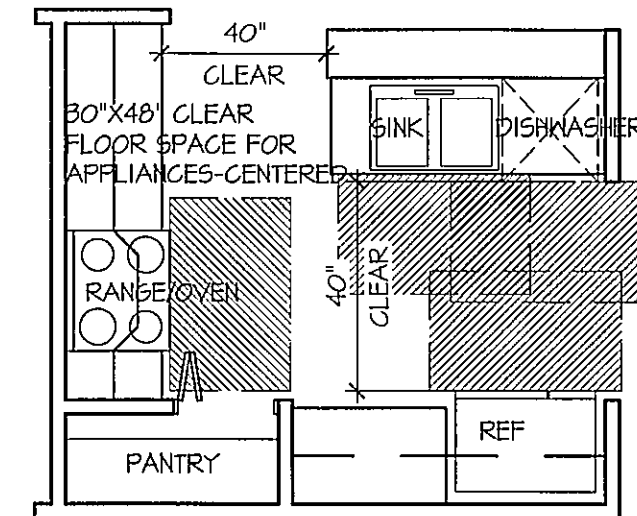
NOTE: UNIT 'A' IS TO MEET THE REQUIREMENTS OF FAIR HOUSING. THIS SHEET PROVIDES THE REQUIRED CLEAR FLOOR SPACES AT APPLIANCES AND PLUMBING FIXTURES, GRAB BAR REINFORCING LOCATIONS, AND GENERAL GUIDELINES THAT APPLY TO UNIT 'A' ONLY.



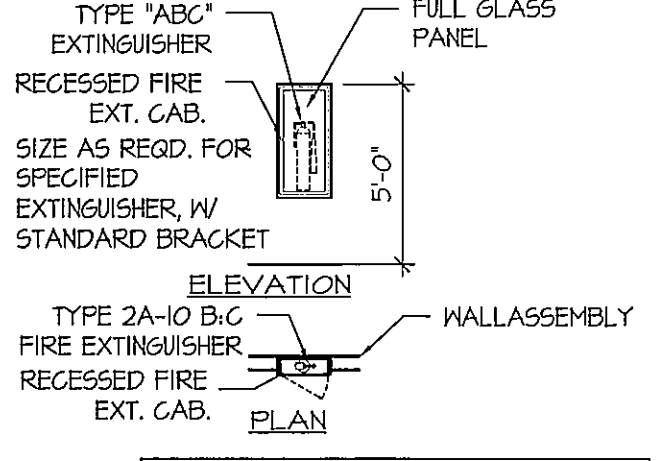
4 OUTLET MOUNTING HEIGHTS
SCALE: 1/8"



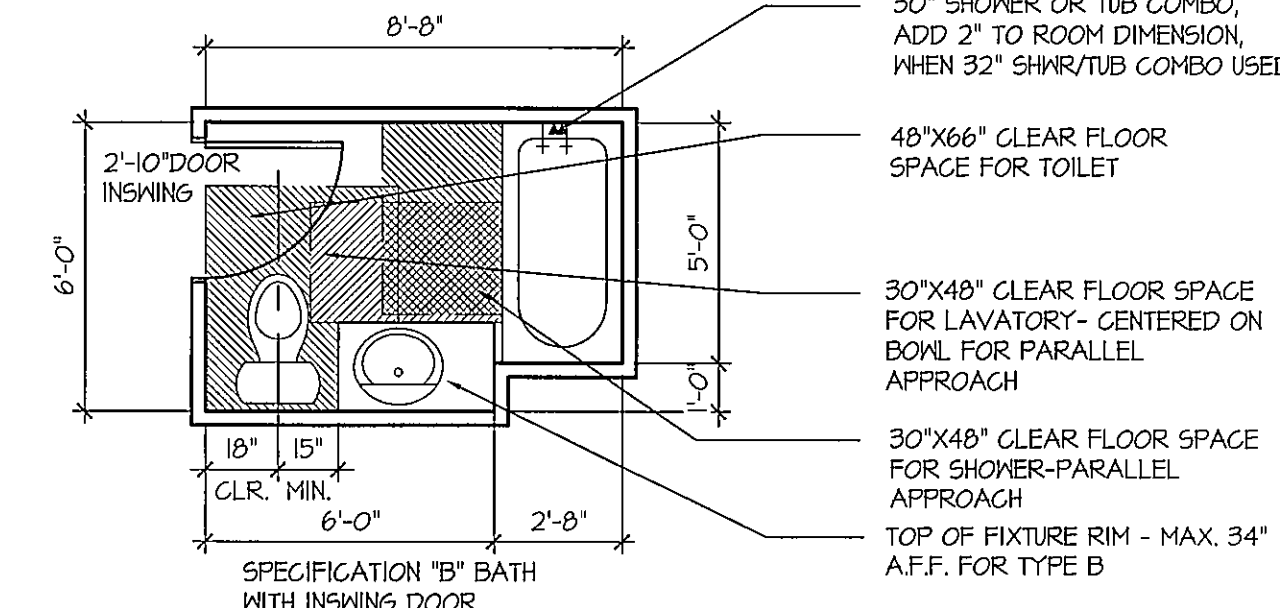
3 GRAB BAR REINF'G @ BATHTUB
SCALE: 1/4"=1'-0"



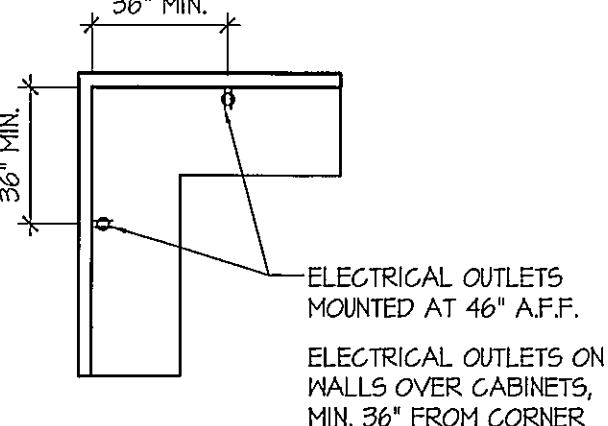
6 TYPICAL CLEAR FLOOR SPACE FOR KITCHEN APPL'S
SCALE: 1/4"=1'-0"



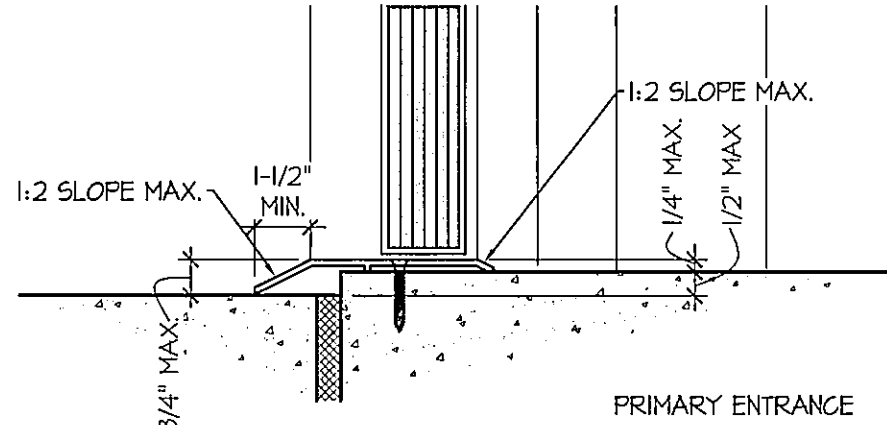
5 FIRE EXTINGUISHER DETAIL
SCALE: 1/8"



7 TYPICAL SPECIFICATION "B" BATH
SCALE: 1/4"=1'-0"



9 OUTLET MOUNTING @ CABINETS
SCALE: 1/4"=1'-0"



8 THRESHOLD CONDITIONS
SCALE: 1/4"=1'-0"

GENERAL REQUIREMENTS & PORTIONS OF FAIR HOUSING ACT GUIDELINES

GENERAL NOTE
INFORMATION PROVIDED ON THIS PAGE APPLY TO ALL FHA COVERED UNITS, REFER TO THE CURRENT FHA MANUAL FOR EXACT DETAILS & DIRECTION, NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEFINITIONS
"COVERED MULTIFAMILY DWELLINGS" ARE:

- (1) ALL DWELLING UNITS IN BUILDINGS CONTAINING FOUR OR MORE DWELLING UNITS IF SUCH BUILDINGS HAVE ONE OR MORE ELEVATORS, AND
- (2) ALL GROUND FLOOR DWELLING UNITS IN OTHER BUILDINGS CONTAINING FOUR OR MORE DWELLING UNITS

"ADAPTABLE DWELLING UNITS" ARE:

- DWELLING UNITS IN BUILDINGS CONTAINING FOUR OR MORE DWELLING UNITS THAT INCLUDE THE FEATURES OF ADAPTABLE DESIGN AS SPECIFIED IN 24 CFR 100.205(c) (2)-(3)

GENERAL REQUIREMENTS

- (1) TO BE A "COVERED" MULTIFAMILY DWELLING UNIT, ALL OF THE FINISHED LIVING SPACE MUST BE ON THE SAME LEVEL. (EX. SINGLE STORY)
- (2) MULTI STORY DWELLING UNITS ARE NOT COVERED BY THESE GUIDELINES UNLESS LOCATED WITHIN A BUILDING THAT IS EQUIPPED WITH ONE OR MORE ELEVATORS, IN WHICH CASE, THE PRIMARY ENTRY LEVEL IS COVERED.
- (3) "COVERED" MULTIFAMILY DWELLINGS, AS DEFINED HEREIN, WHICH ARE INTENDED FOR FIRST OCCUPANCY AFTER MARCH 13, 1991, SHALL BE DESIGNED AND CONSTRUCTED TO HAVE AT LEAST ONE BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE UNLESS IT IS IMPRACTICAL TO DO SO BECAUSE OF THE TERRAIN OR UNUSUAL CHARACTERISTICS OF THE SITE, AS DETERMINED BY COMMISSION RULE.
- (4) "COVERED" MULTIFAMILY DWELLINGS, AS DEFINED HEREIN, SHALL COMPLY WITH THE FOLLOWING SEVEN REQUIREMENTS:
 1. "COVERED" MULTIFAMILY DWELLING UNITS MUST HAVE AT LEAST ONE BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE
 2. PUBLIC AND COMMON USE AREAS MUST BE READILY ACCESSIBLE TO AND BE USABLE BY PEOPLE WITH DISABILITIES
 3. ALL DOORS SHALL BE DESIGNED AS "USABLE" TO ALLOW PASSAGE INTO AND WITHIN ALL PREMISES. DOORS SHALL BE DESIGNED TO ALLOW PASSAGE OF A WHEEL CHAIR
 4. THERE SHALL BE AN ACCESSIBLE ROUTE INTO AND THROUGH THE "COVERED" DWELLING UNITS
 5. ALL PREMISES WITHIN THE "COVERED" DWELLING UNITS SHALL CONTAIN LIGHTS SWITCHES, ELECTRICAL, OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS IN ACCESSIBLE LOCATIONS
 6. ALL PREMISES WITHIN THE "COVERED" DWELLING UNITS SHALL CONTAIN REINFORCEMENTS IN BATHROOM WALLS TO ALLOW FOR FUTURE INSTALLATIONS OF REQUIRED GRAB BARS.
 7. ALL "COVERED" DWELLING UNITS SHALL BE DESIGNED WITH USABLE KITCHENS AND BATHROOMS TO ALLOW FOR THE NECESSARY MANUEVERING SPACE FOR INDIVIDUALS WITH DISABILITIES.

- (5) CLEAR FLOOR SPACE FOR A STATIONARY WHEELCHAIR SHALL BE 30" X 48" MINIMUM
- (6) CLEAR FLOOR SPACE FOR A WHEELCHAIR TO MANUEVER OR TURN AROUND SHALL BE 60" DIAMETER MINIMUM (CLEAR OF ALL OBSTRUCTIONS)- ALTERNATIVELY, A "T"-TURN SPACE CAN BE PROVIDED IF CONDITIONS ALLOW FOR IT

- (7) ALTHOUGH THE AMERICANS WITH DISABILITIES ACT(ADA) GENERALLY DOES NOT COVER DWELLING UNITS, PUBLIC AND COMMON USE AREAS OF DEVELOPMENTS MAY BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF ADA, SUCH AS SITE ACCESSIBILITY, COMMON ENTRANCES, COMMUNITY ROOMS/AREAS, ETC. THESE AREAS SHALL COMPLY WITH THE REQUIREMENTS OF ADA AND ANSI A117.1-1990

- (8) ALL DOORS INSTALLED WITHIN A "COVERED" MULTIFAMILY DWELLING UNIT, THAT ARE REQD. FOR PASSAGE, SHALL COMPLY WITH ANSI A117.1-1990 SECTION 4.13. A MINIMUM OF 32" CLEAR, UNOBSTRUCTED WIDTH, WHEN THE DOOR IS IN THE 90 DEG. OPEN POSITION, MEASURED FROM THE FACE OF THE DOOR TO THE NEAREST PROJECTION (DOOR STOP)

- (9) OPENING DEPTHS OF GREATER THAN 24" SHALL BE A MINIMUM OF 36" WIDE, CLEAR OF ANY OBSTRUCTIONS

- (10) THE GUIDELINES ALLOWS THE OPTION OF SPECIFICATION "A" OR SPECIFICATION "B" FOR BATHROOMS WHEN DESIGNING FOR COMPLIANCE. THE MAIN DIFFERENCE BETWEEN SPEC "A" AND "B" IS THE PARALLEL APPROACH TO THE BATH TUB, REQUIRED FOR SPECIFICATION "B" BATHS. IF ONE BATHROOM IS SELECTED TO MEET SPECIFICATION "B", ALL OTHER BATHROOMS WITHIN THE DWELLING UNIT NEED ONLY MEET THE ACCESSIBILITY REQUIREMENTS AND NOT THE CLEAR FLOOR SPACE REQUIREMENTS. IF SPECIFICATION "A" IS SELECTED THEN ALL BATHROOMS WITHIN THE DWELLING UNIT SHALL COMPLY WITH SPECIFICATION "A"

- (11) THE INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE UTILIZED AS A GUIDE TO COMPLY WITH THE "FAIR HOUSING ACT". THE FULL PRINTED DOCUMENT OF THE FAIR HOUSING GUIDE LINE MANUAL IS AVAILABLE THROUGH THE OFFICE OF DCA. THE CONTRACTOR SHALL BE AWARE OF THE REQUIREMENTS OF THE FHA. INFORMATION NOT SHOWN ON THESE DOCUMENTS DOES NOT NEGATE THE REQUIREMENT TO COMPLY.

- (12) IF A POWDER ROOM IS LOCATED ON THE ACCESSIBLE LEVEL OF A MULTI-STORY DWELLING UNIT, IT SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE CLEAR FLOOR SPACE FOR FIXTURES AND THE REINFORCED WALLS FOR INSTALLATION OF GRAB BARS

- (13) TOTAL NUMBER OF PARKING SPACES PROVIDED SHALL INCLUDE 2% OF THE TOTAL NUMBER TO BE MADE ACCESSIBLE AND BE ON AN ACCESSIBLE ROUTE. IF MORE THAN ONE TYPE OF PARKING SPACE IS PROVIDED THEN EACH OF THE TYPES OF PARKING SHALL COMPLY.

- (14) THRESHOLDS AT PRIMARY ENTRANCE DOORWAYS SHALL NOT EXCEED 3/4" IN (9/16)" INCLUDING THE THRESHOLD HEIGHT. MAXIMUM OF 1/2" DIFFERENCE IN FLOOR LEVELS.

- SECONDARY EXTERIOR DOORS MAY HAVE A 4" STEP TO THE OUTSIDE. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2

- (15) A MINIMUM OF 30" X 48" CLEAR FLOOR SPACE SHALL BE PROVIDED AND CENTERED ON ALL KITCHEN APPLIANCES, SEE LATEST EDITION OF THE FHA DESIGN MANUAL FOR APPLICABLE FORWARD & PARALLEL APPROACHES ALLOWED.

- (16) A MINIMUM OF 40" CLEARANCE SHALL BE PROVIDED BETWEEN ALL CABINET COUNTER TOP EDGES. A MINIMUM OF 40" SHALL BE PROVIDED BETWEEN ALL FACES OF APPLIANCES AND CABINETS COUNTER TOPS.

- (17) ALTHOUGH THESE GUIDELINES DO NOT REQUIRE CLEAR FLOOR SPACE AT THE WASHER AND DRYER EQUIPMENT, IT IS RECOMMENDED THAT SUFFICIENT CLEAR FLOOR SPACE BE PROVIDED FOR THE USE BY PERSONS WITH DISABILITIES.

- (18) REFER TO THE "FAIR HOUSING ACT GUIDELINES MANUAL" FOR CONDITIONS THAT MAY NOT BE COVERED BY THESE DRAWINGS AND INFORMATION

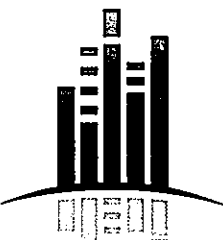
- (19) WALK-IN TYPE PANTRIES THAT ALLOW A PERSON TO PASS THROUGH THE DOOR OPENING SHALL COMPLY WITH THESE GUIDELINES. PANTRIES AND OTHER SHALLOW TYPE CLOSETS ARE NOT COVERED BY THESE GUIDELINES SINCE PASSAGE ISNT REQUIRED.

- (20) THE DIAGRAMS SHOWING THE SPECIFICATIONS FOR AN "A" AND "B" BATHROOM ARE INTENDED AS GUIDES FOR THE DESIGN. THEY ARE NOT INTENDED TO LIMIT THE DESIGN POSSIBILITIES. THEIR INTENT IS TO SHOW THE MINIMUM REQUIREMENTS NECESSARY TO COMPLY WITH THE FAIR HOUSING ACT GUIDELINES.

JOB SITE PLANS
This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance per Sarasota County Construction and Property Standards Department

Bay Street Village
7 Unit Condominium Building

160 East Bay Street
Osprey, Florida 34229



BSB
DESIGN

www.bsbdesign.com
11092 Main Street, Suite 209
Sarasota, Florida 34235
888 288 4308

JOB NO: 02T12034 PROJ MGR: JD
DRAWN: JD, AM CHECKED: JD
ACCESSIBILITY

FHA GUIDELINES
A0.2

02-14-14 Permit Set

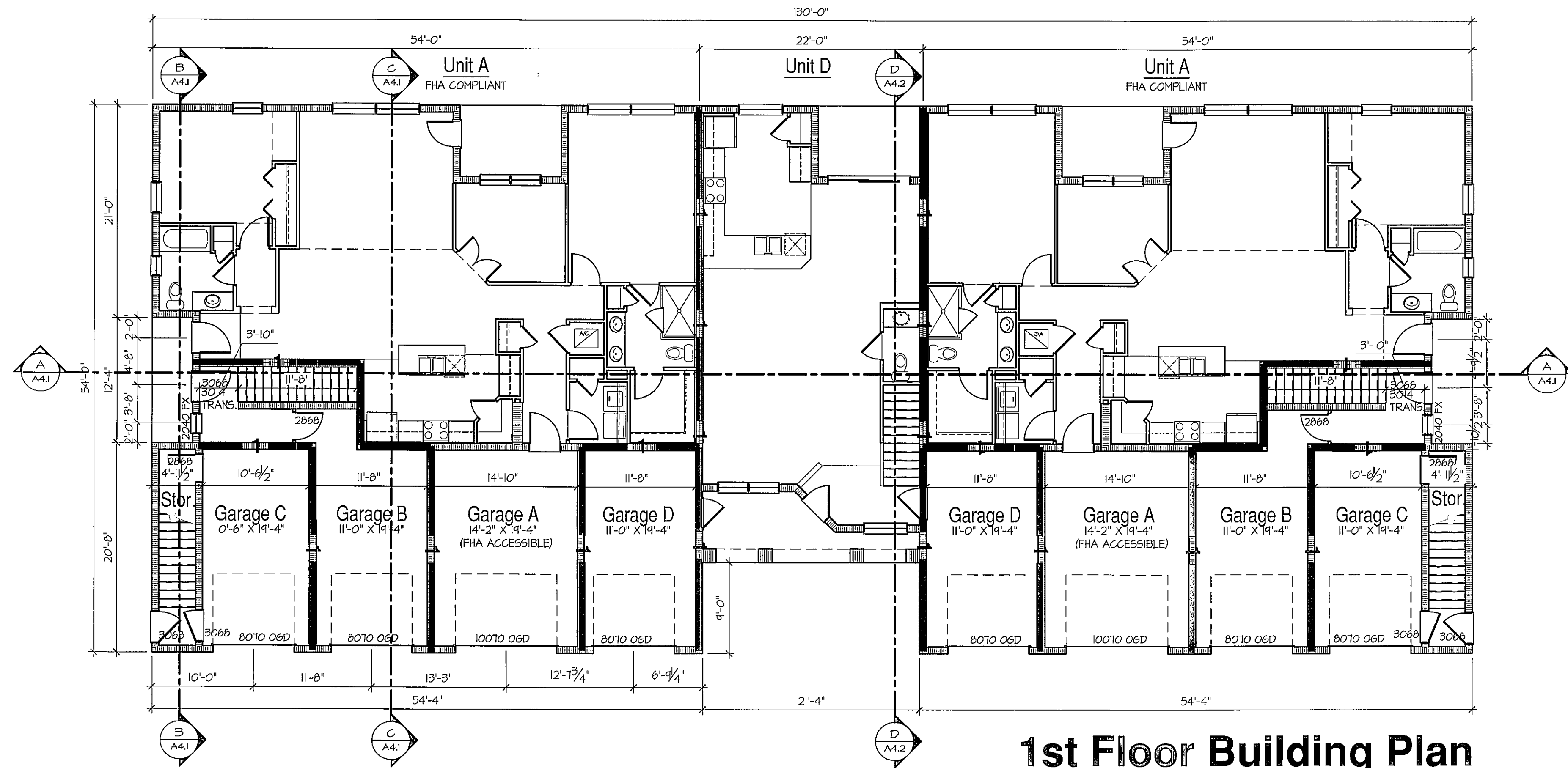
ISSUE DATE:	MAY 9, 2007
REVISIONS	
UPDATE ENTIRE SET (M07)	

D.R. HORTON
P.A. MYERS
ATYSE

America's Builder
13880 Treeline Ave, Suite 3
Fort Myers, Florida 33913

FEB 16 2014

Health

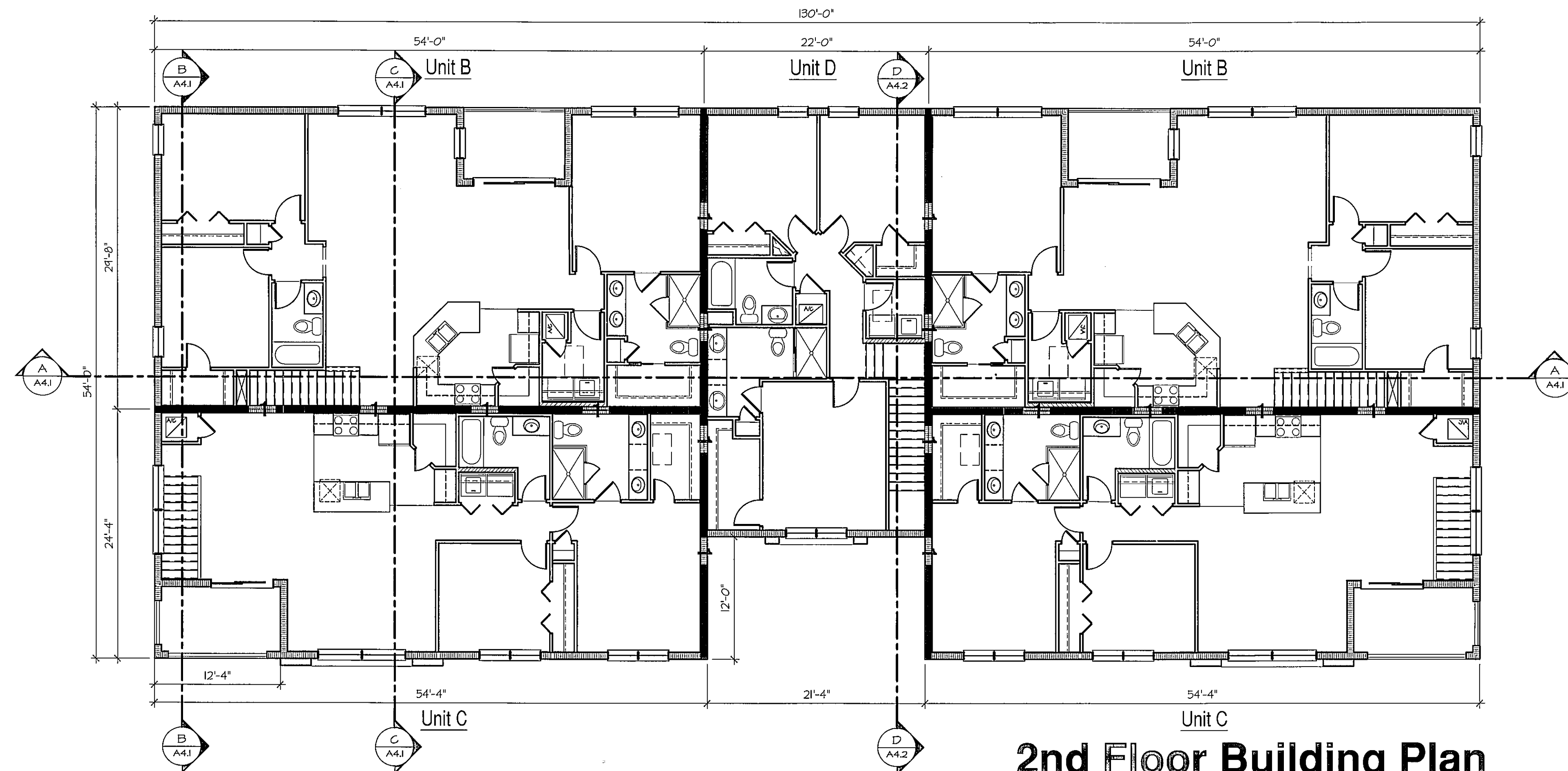


1st Floor Building Plan

SCALE: 1/8"=1'-0"

JOB SITE PLANS

This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasota County Construction and Property Guardians Department



2nd Floor Building Plan

SCALE: 1/8"=1'-0"

02-14-14 Permit Set



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JOB NO: 0212034 PROJ. MGR: JD
DRAWN: JDD/AMM CHECKED:
T-UNIT FIRST FLOOR
BUILDING PLAN

Bay Street Village
7 Unit Condominium Building

160 East Bay Street
Osprey, Florida 34229

D. R. HORTON® P.M.
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13880 Treeline Ave, Suite 3
Fort Myers, Florida 33913

ISSUE DATE:	REVISIONS

THESE PLANS AND SPECIFICATIONS ARE PREPARED BY THE ARCHITECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

FEB 18 2014

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A2.1

FORMULA:
1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF
CEILING
*144 SQ. IN. = 1 SQ. FT.
BLDG. CEILING (SF) x 144 = BLDG (SQ. IN.)
BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQUIRED
SQ. IN. OF VENT REQUIRED / 2 = 50% AT RIDGE & 50%
AT EAVES

ROOF AREA = 2,931 SF

2,931 SQ. FT. X 144 = 422,064 SQ. IN.
422,064 SQ. IN. / 300 = 1,407 SQ. IN. OF VENT REQ'D
1,407 SQ. IN. / 2 = 704 SQ. IN.

704 SQ. IN. OF VENT AT RIDGE & 704 SQ. IN. OF VENT
AT EAVES REQUIRED

ROOF AREA = 1,017 SF

1,017 SQ. FT. X 144 = 146,448 SQ. IN.

146,448 SQ. IN. / 300 = 488 SQ. IN. OF VENT REQ'D

488 SQ. IN. / 2 = 244 SQ. IN.

244 SQ. IN. OF VENT AT RIDGE & 244 SQ. IN. OF VENT
AT EAVES REQUIRED

ROOF AREA = 1,017 SF

1,017 SQ. FT. X 144 = 146,448 SQ. IN.
146,448 SQ. IN. / 300 = 488 SQ. IN. OF VENT REQ'D
488 SQ. IN. / 2 = 244 SQ. IN.

244 SQ. IN. OF VENT AT RIDGE & 244 SQ. IN. OF VENT
AT EAVES REQUIRED

1. ALL INTERIOR PARTITIONS (門) ARE 3 1/2" ROUGH, UNLESS OTHERWISE NOTED.
2. ALL ANGLED PARTITIONS ARE 45 DEGREE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE OF MASONRY, FRAME, OR SHEATHING UNLESS OTHERWISE NOTED.
4. WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE CLEAR GLASS OPENING OF 5.50 FT. WITH MIN. NET CLEAR OPENING OF 24" IN HEIGHT AND NET CLEAR OPENING OF 20" IN WIDTH; SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR.
5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT 4 FEET OR MORE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY.
6. EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT. BUILDER TO SUBMIT AVAILABLE DATA TO BUILDING DEPT.
7. SHOWER GLASS AND SHOWER DOORS TO BE TEMPERED GLAZING.
8. ALL INTERIOR DOORS TO BE FRAMED 4" MINIMUM FOR CORNERS.

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PAGE FIVE AND **SIXTEEN** ARE PROTECTED UNDER
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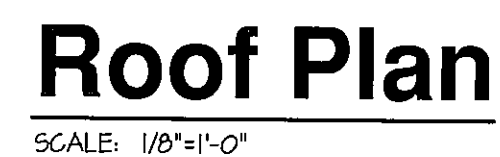
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Jacksonville, Florida 32256
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NO: 02T12034 PROJ MGR: JD
 W: JED,ARM CHECKED:

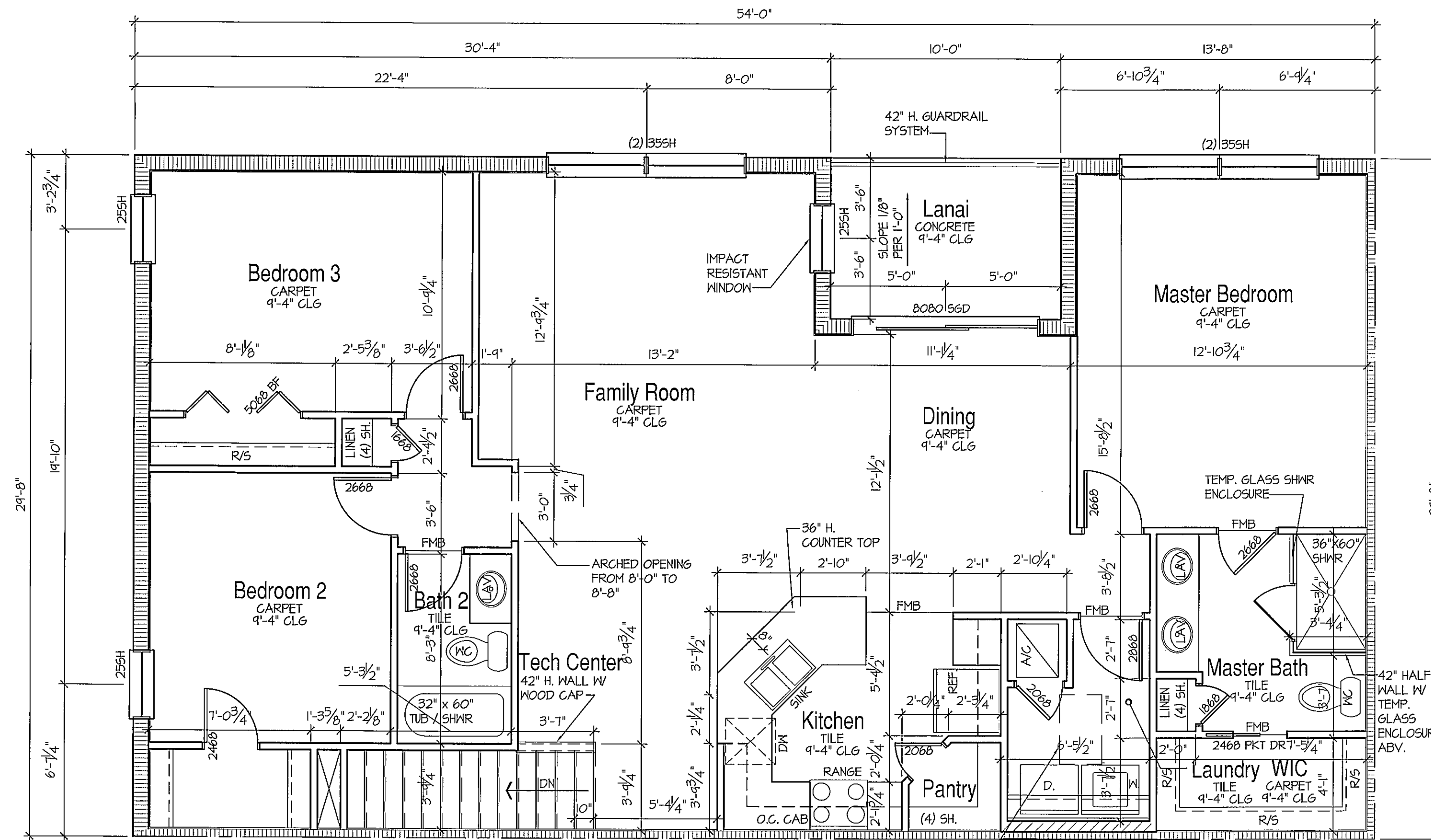
UNIT BUILDING
 OF PLAN, WALL SECTION,
 9 TRIM PROFILES

02-14-14 Permit Set

A2.2



This set of plans must be kept on the job site of work at all times.
per Sarasota County Ordinance
Sarasota County Construction and
Planning Standards Department



Unit B Floor Plan

SCALE: 1/4"=1'-0"

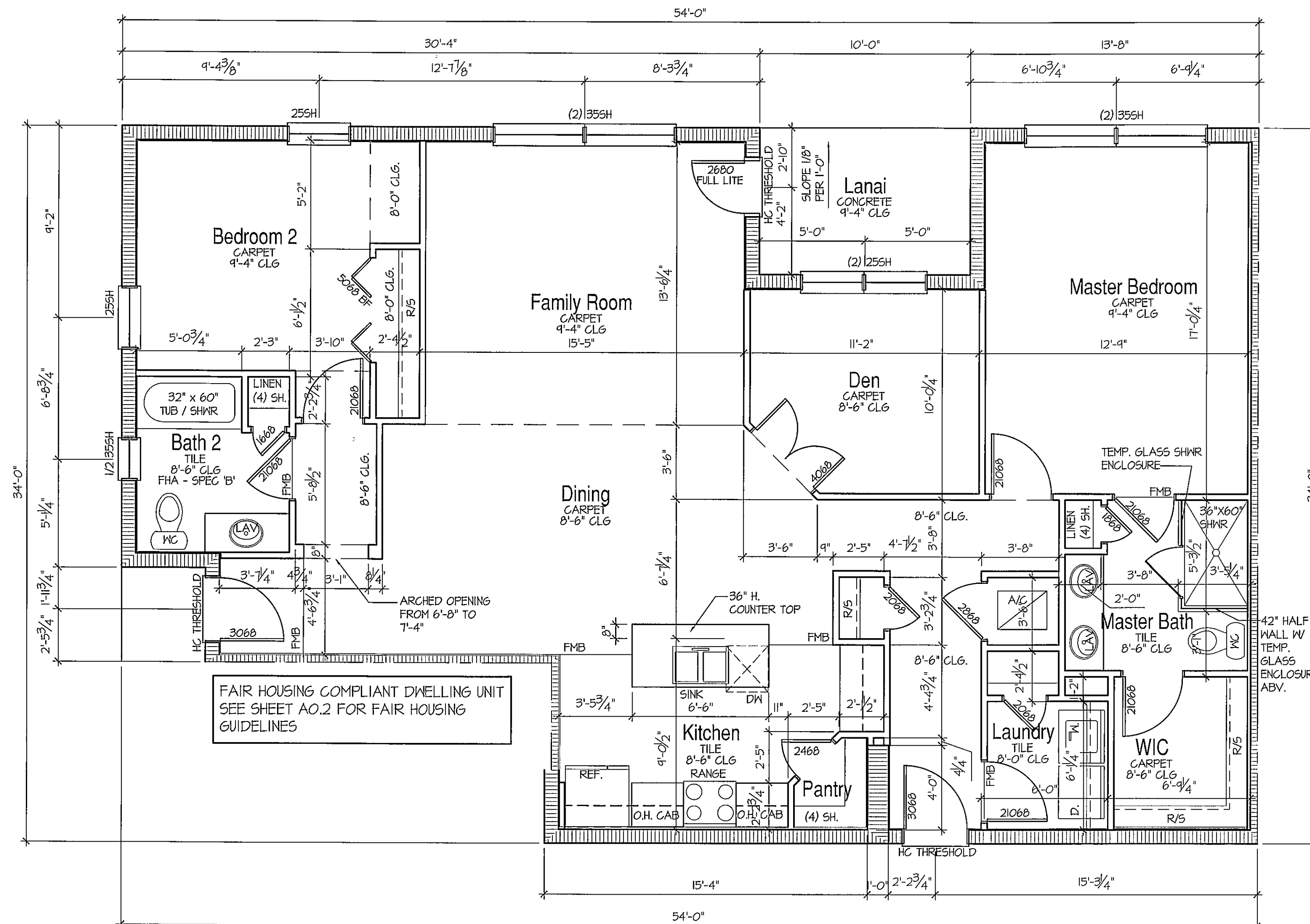
MAIN FLOOR NOTES

(NOTE FLOOR)

1. ALL INTERIOR PARTITIONS (1" F) ARE 3 1/2" ROUGH, UNLESS OTHERWISE NOTED.
2. ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE OF MASONRY, FRAME, OR SHEATHING UNLESS OTHERWISE NOTED.
4. WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. NET CLEAR OPENING OF 24" IN HEIGHT AND NET CLEAR OPENING OF 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR.
5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT 4 FEETERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY.
6. EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT. BUILDER TO SUBMIT APPLICABLE DATA TO BUILDING DEPT.
7. SHOWER GLASS AND SHOWER DOORS TO BE TEMPERED GLAZING.
8. ALL INTERIOR DOORS TO BE FRAMED 4" MINIMUM FROM CORNERS.

UNIT B AREA TABULATION

MAIN FLOOR PLAN	1528 SQ.FT.
TOTAL A/C AREA	1528 SQ.FT.
ENTRY PORCH	32 SQ.FT.
GARAGE	254 SQ.FT.
LANAI	70 SQ.FT.
TOTAL AREA	1884 SQ.FT.



Unit A Floor Plan

SCALE: 1/4"=1'-0"

JOB SITE PLANS

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02-14-14 Permit Set

Bay Street Village
7 Unit Condominium Building

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Osprey, Florida 34229

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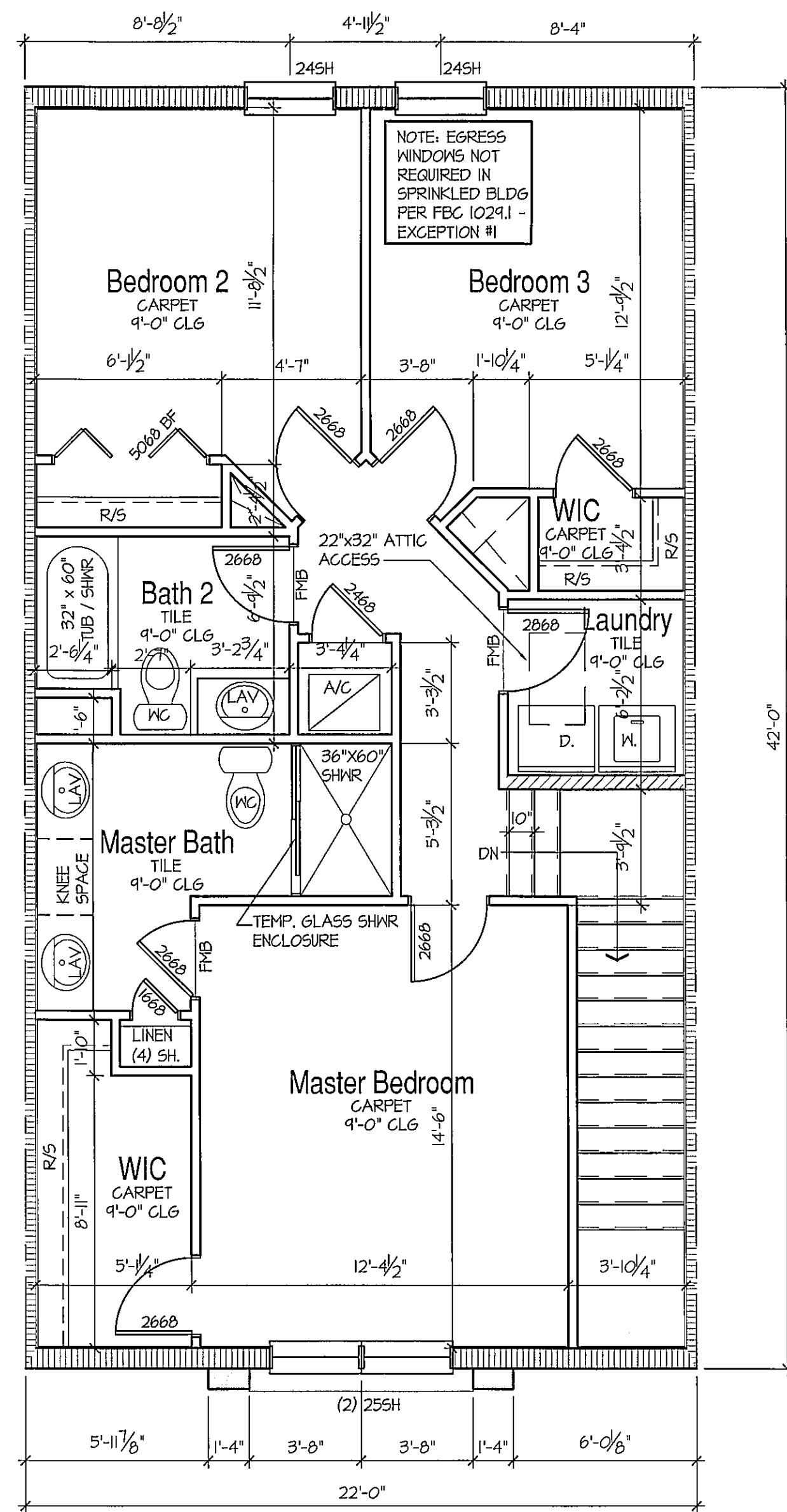
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DRAWN J.D. AMM CHECKED:
UNIT A AND UNIT B
FLOOR PLANS

A2.3

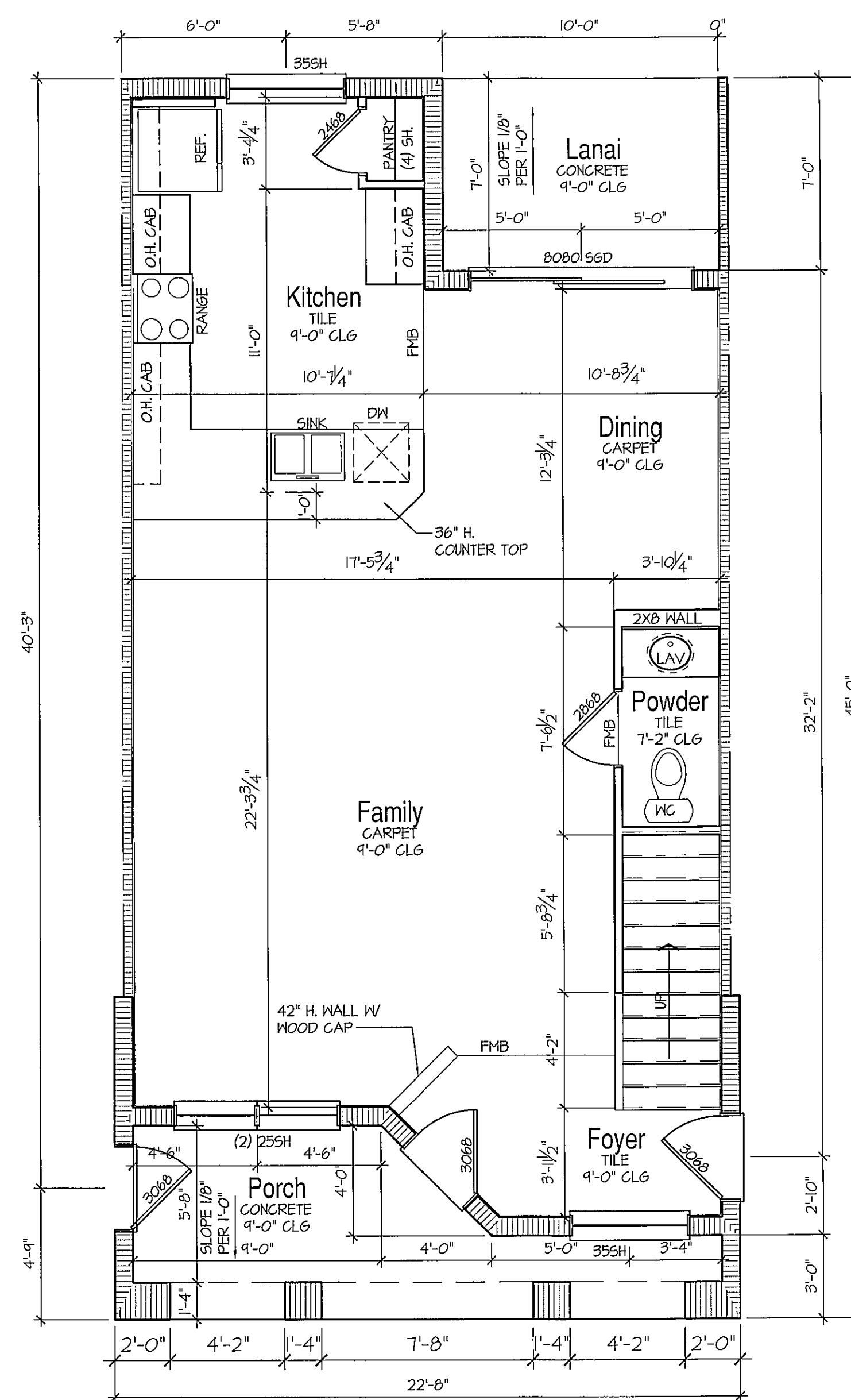
ISSUE DATE:	
REVISIONS	

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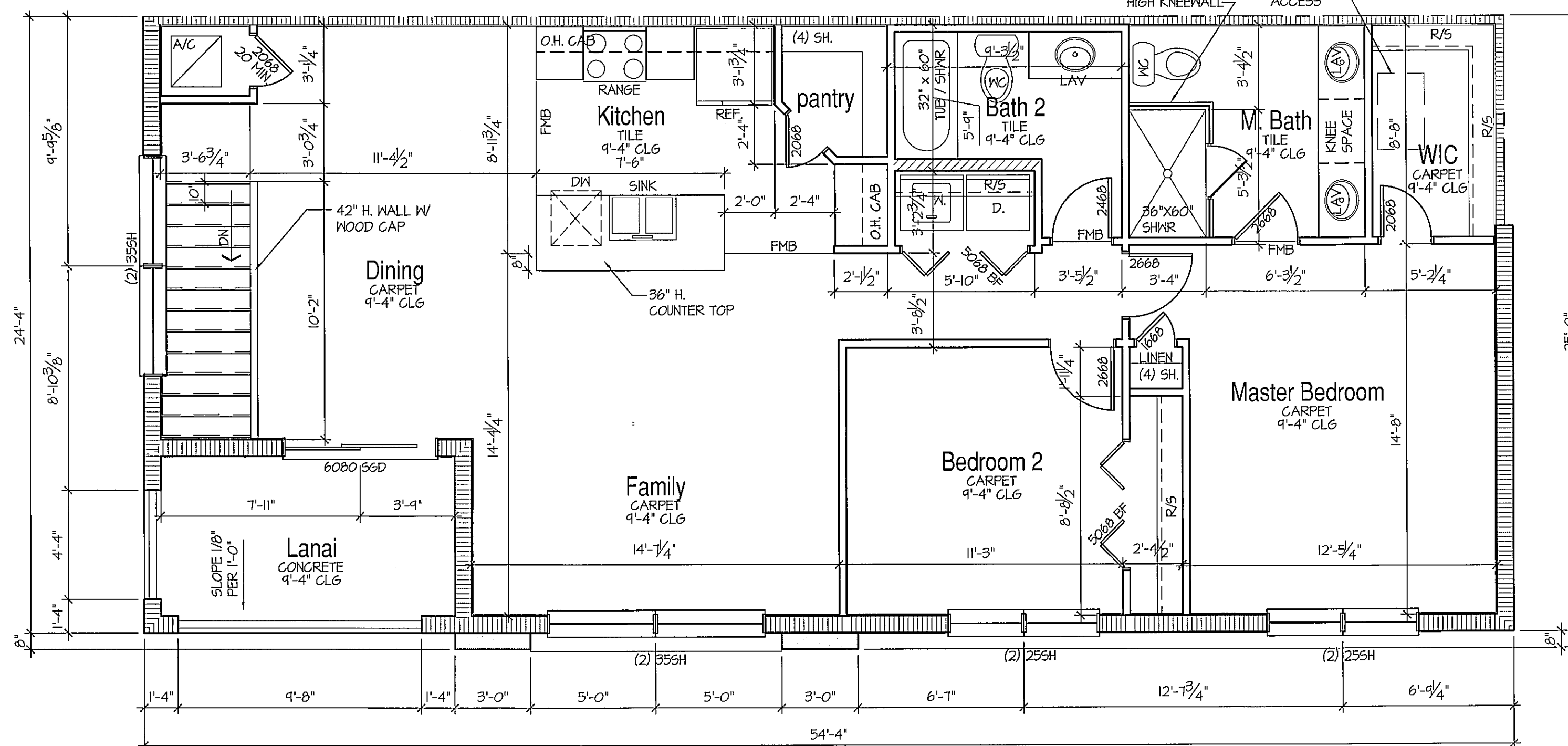
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**Unit D
2nd Floor Plan**



**Unit D
1st Floor Plan**



Unit C Floor Plan

MAIN FLOOR NOTES

- ALL INTERIOR PARTITIONS (1" T) ARE 3/4" RIGID UNLESS OTHERWISE NOTED.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FRAME, OR SHEATHING UNLESS OTHERWISE NOTED.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. NET CLEAR OPENING OF 24" IN HEIGHT AND NET CLEAR OPENING OF 20" IN WIDTH; SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT 4 METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY.
- EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT. BUILDER TO SUBMIT APPLICABLE DATA TO BUILDING DEPT.
- SHOWER GLASS AND SHOWER DOORS TO BE TEMPERED GLAZING.
- ALL INTERIOR DOORS TO BE FRAMED 4" MINIMUM FROM CORNERS.

UNIT D AREA TABULATION	
MAIN FLOOR PLAN	806 SQ.FT.
UPPER FLOOR PLAN	849 SQ.FT.
TOTAL A/C AREA	1655 SQ.FT.
ENTRY PORCH	110 SQ.FT.
GARAGES	480 SQ.FT.
LANAI	72 SQ.FT.
TOTAL AREA	2317 SQ.FT.

UNIT C AREA TABULATION	
MAIN FLOOR PLAN	1244 SQ.FT.
TOTAL A/C AREA	1244 SQ.FT.
GARAGE	230 SQ.FT.
LANAI	86 SQ.FT.
TOTAL AREA	1560 SQ.FT.

JOB SITE PLANS

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UNIT C AND UNIT D
FLOOR PLANS

A2.4

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1. GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PERMANENT SITE CONDITIONS.
2. EXTERIOR DOORS AND WINDOWS ARE TO BE PROTECTED WITH METAL STORM PANELS. CONTRACTOR TO SUBMIT APPLICABLE DATA TO BUILDING DEPARTMENT AS NECESSARY.
3. ALL EXTERIOR COMPONENTS MUST BE FLORIDA APPROVED PRODUCTS. BUILDER TO SUBMIT APPLICABLE DATA TO BUILDING DEPT.
4. FLOOR ROOF AND SOFFIT VENTS AS REQUIRED BY CODE AND MANUFACTURERS SPECIFICATIONS. SEE SHEET A2.2 FOR VENTILATION REQUIREMENTS.

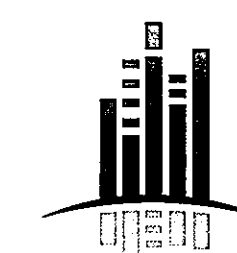
[Signature]

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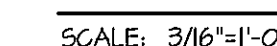
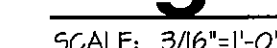
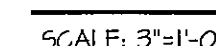


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DRAWN: JED/AM CHECKED:
BUILDING ELEVATION

A3.1



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02-14-14 Permit Set

EXTERIOR
ELEVATION NOTES

- (NOTE: EXTELEV)
1. GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
 2. EXTERIOR DOORS AND WINDOWS ARE TO BE PROTECTED WITH METAL STORM PANELS. CONTRACTOR TO SUBMIT APPLICABLE DATA TO BUILDING DEPARTMENT AS NECESSARY.
 3. ALL EXTERIOR COMPONENTS MUST BE FLORIDA APPROVED PRODUCTS. BUILDER TO SUBMIT APPLICABLE DATA TO BUILDING DEPT.
 4. PROVIDE ROOF AND SOFFIT VENTS AS REQUIRED BY CODE AND MANUFACTURERS SPECIFICATIONS. SEE SHEET A2.2 FOR VENTILATION REQUIREMENTS.

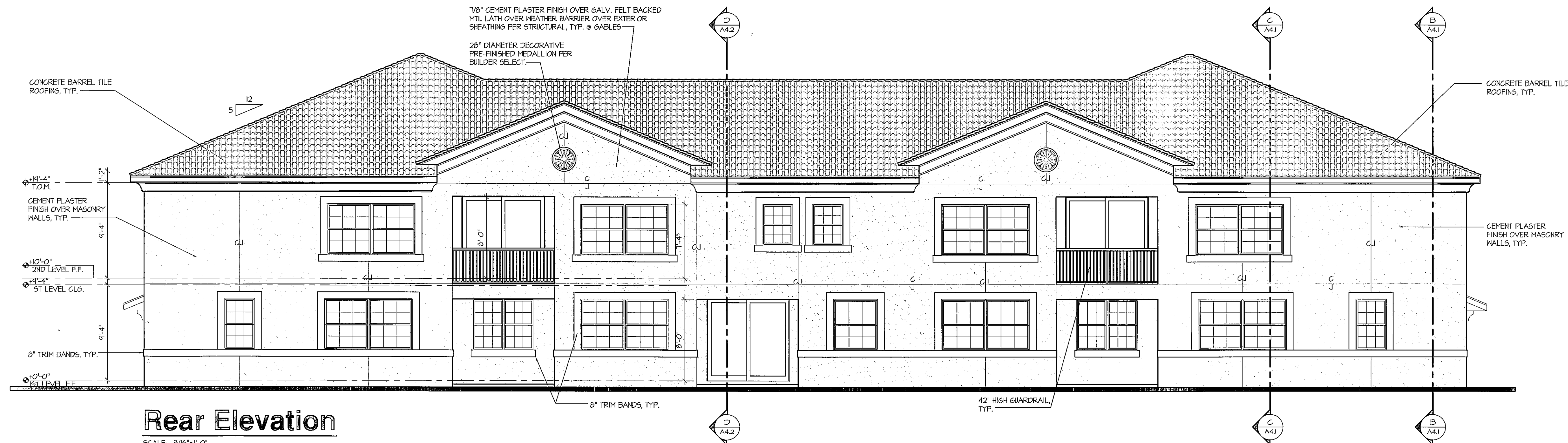


Left Side Elevation

SCALE: 3/16"=1'-0"

JOB SITE PLANS

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Rear Elevation

SCALE: 3/16"=1'-0"

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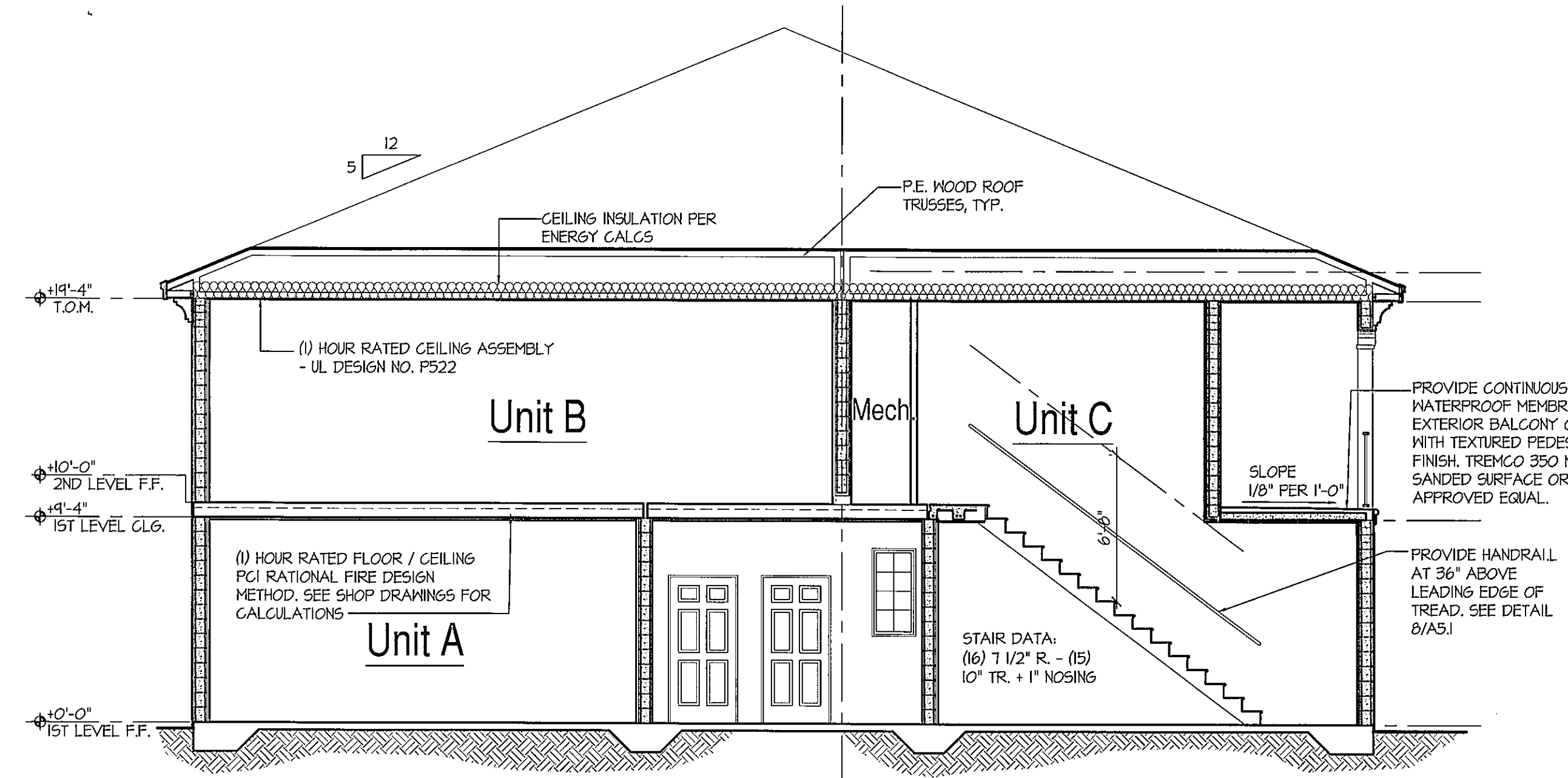
Bay Street Village
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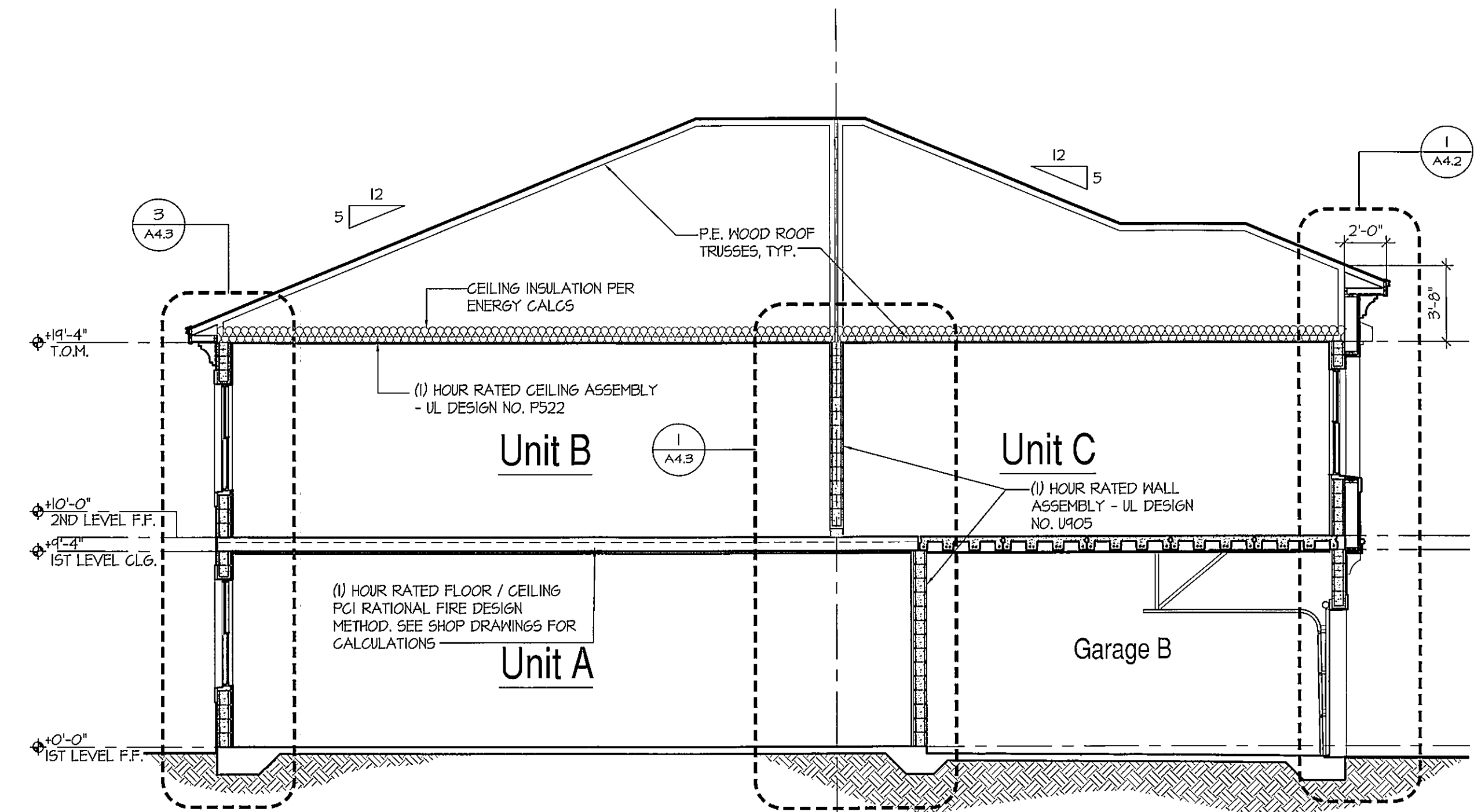
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JOB NO: 0212034 PROJ MGR: JD
DRAWN: JIB/AM CHECKED:
SIDES AND REAR ELEVATIONS

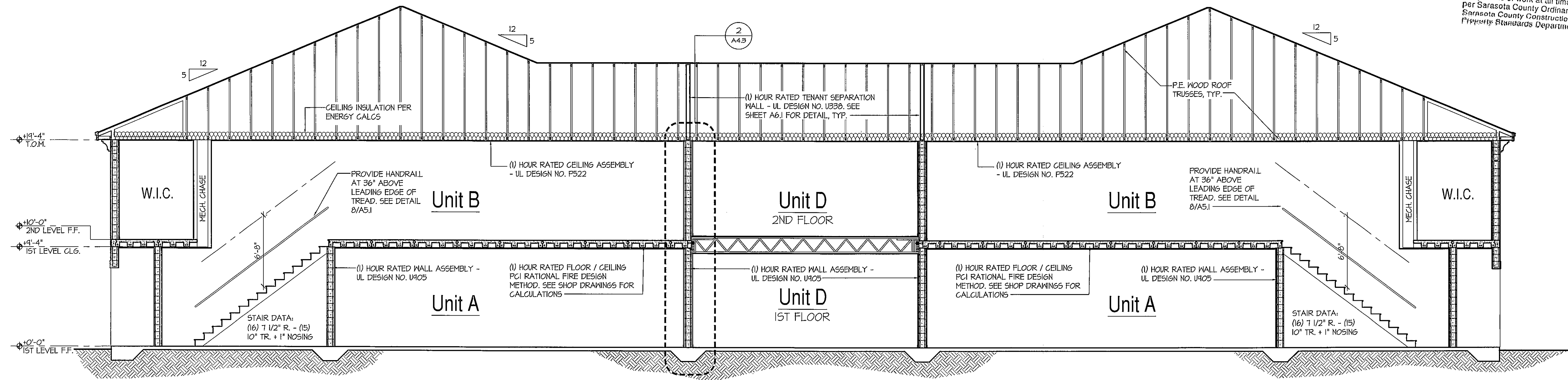
A3.2



Building Section B-B
SCALE: 3/16"=1'-0"



Building Section C-C
SCALE: 3/16"=1'-0"



Building Section A-A
SCALE: 3/16"=1'-0"

JOB SITE PLANS
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02-14-14 Permit Set

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BUILDING SECTIONS

ISSUE DATE:	REVISIONS

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ISSUE DATE: _____

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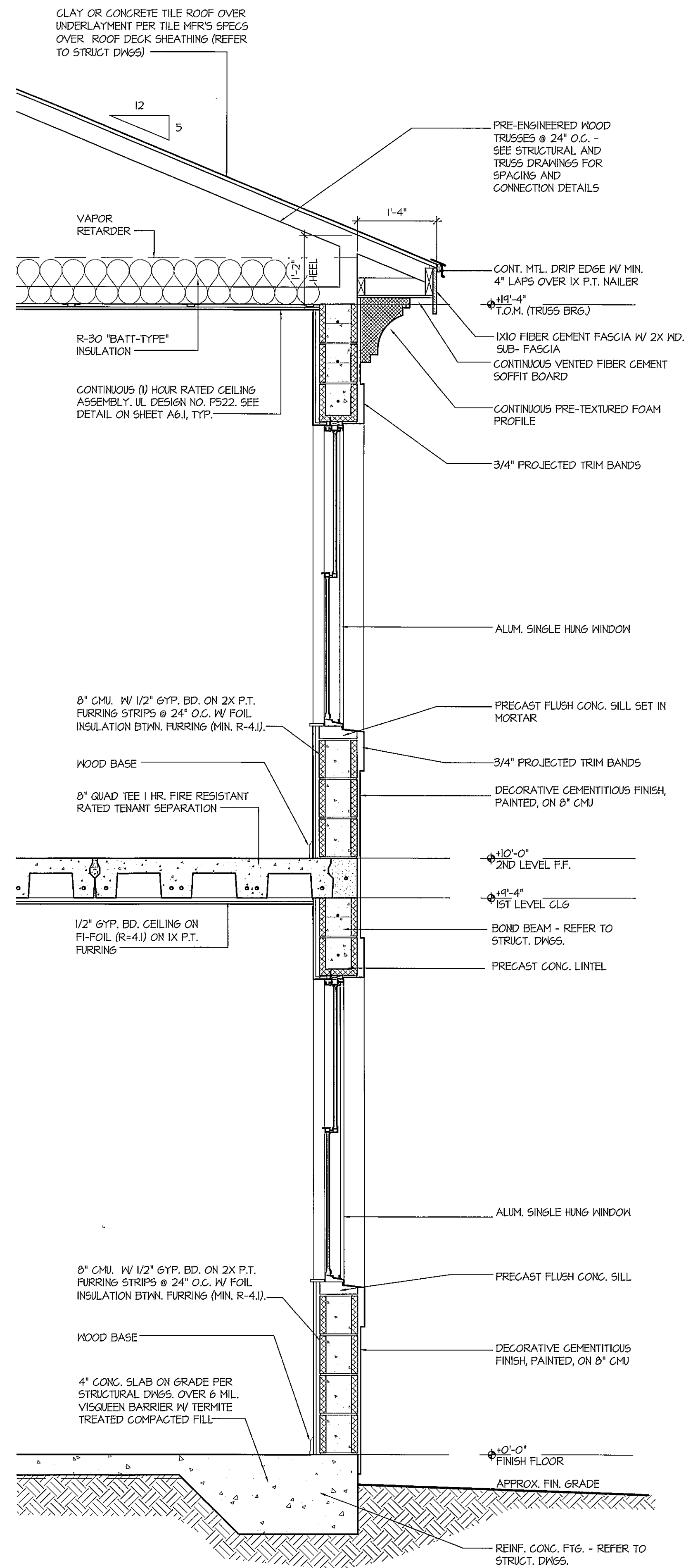


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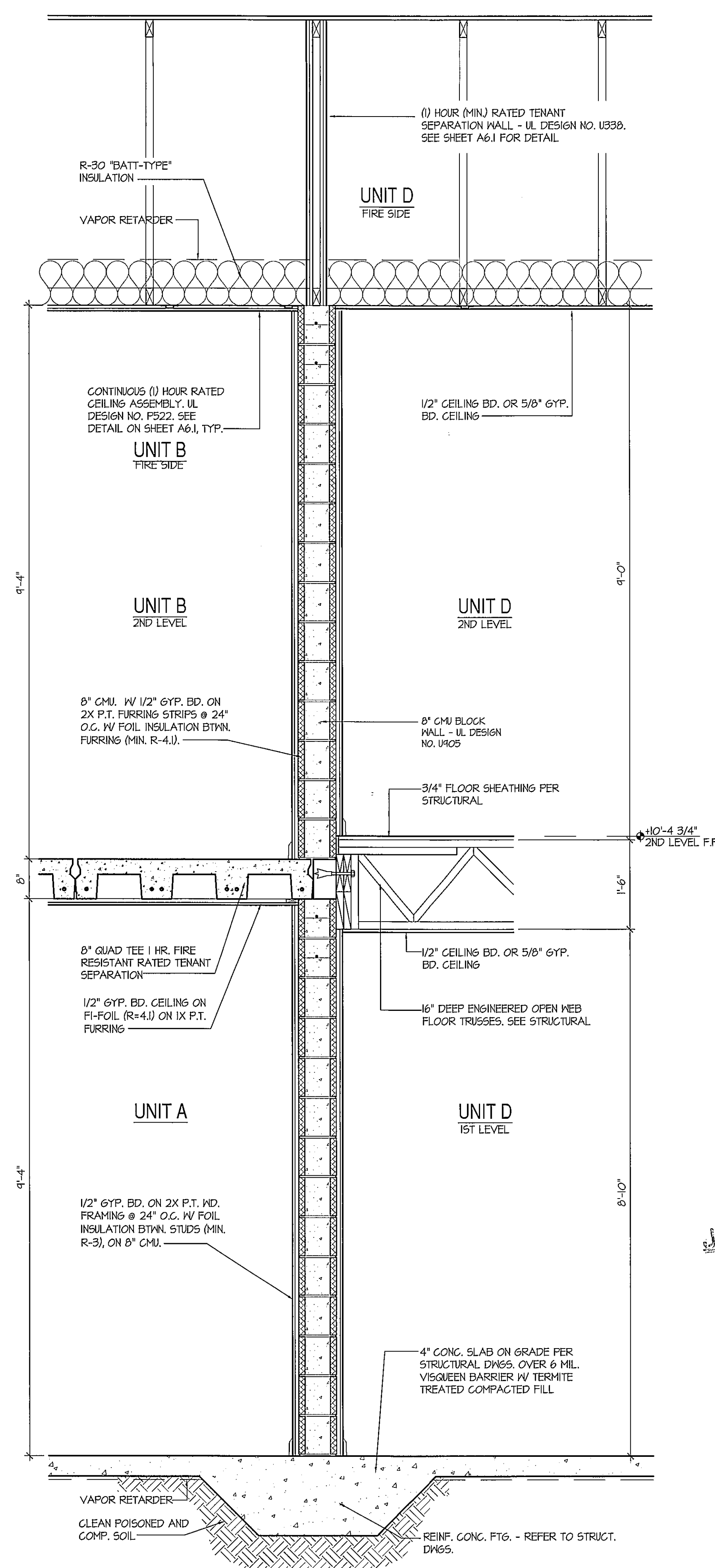
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DRAWN: JID/AMM CHECKED:
BUILDING SECTIONS

02-14-14 Permit Set

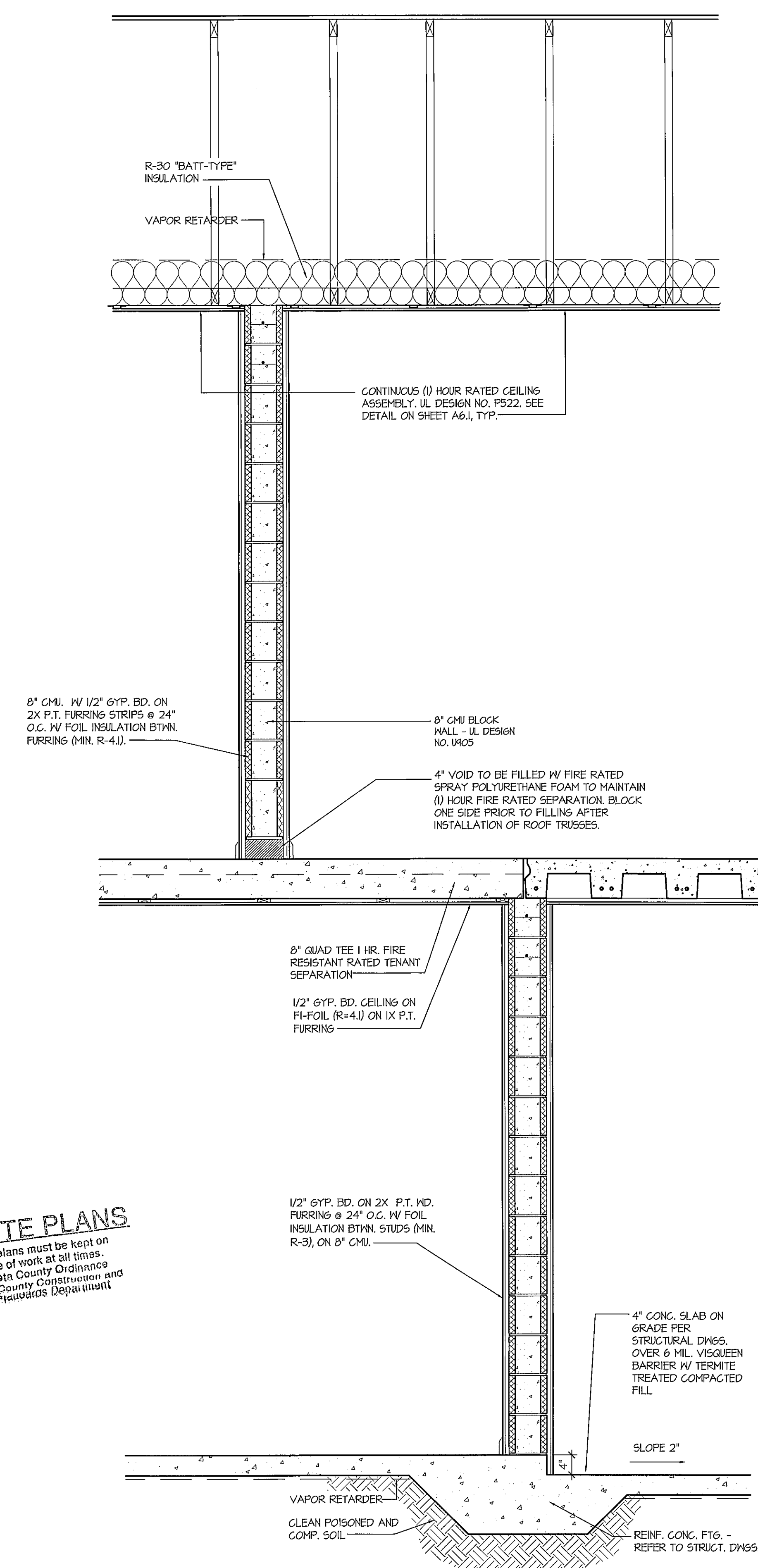
A4.2



3 2-STORY WALL SECTION - EXT. WALL
SCALE: 3/4"=1'-0"



2 TENANT SEPARATION WALL - UNIT D
SCALE: 3/4"=1'-0"



1 TENANT SEPARATION WALL
SCALE: 3/4"=1'-0"

JOB SITE PLANS
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A4.3

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WALL SECTIONS

Bay Street Village
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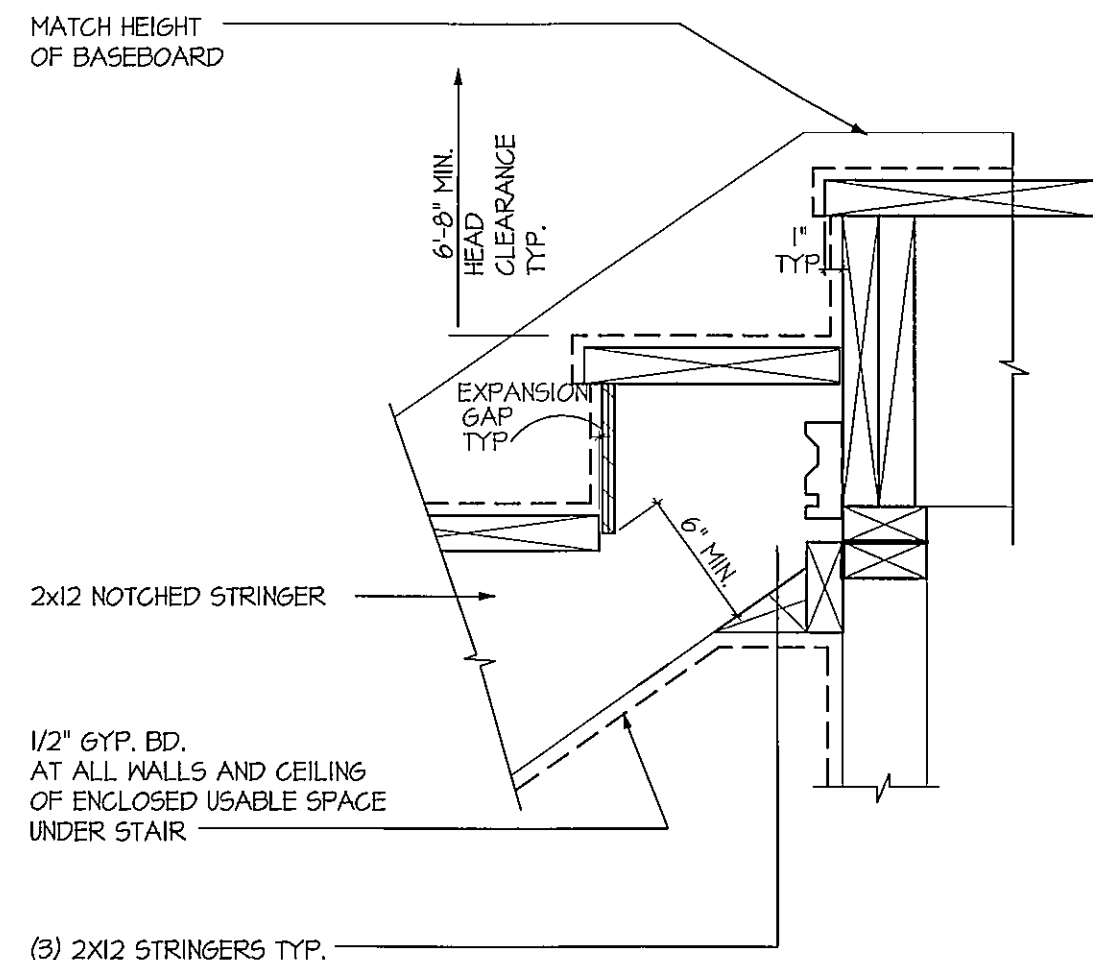
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Fort Myers, Florida 33913

160 East Bay Street
Osprey, Florida 34229

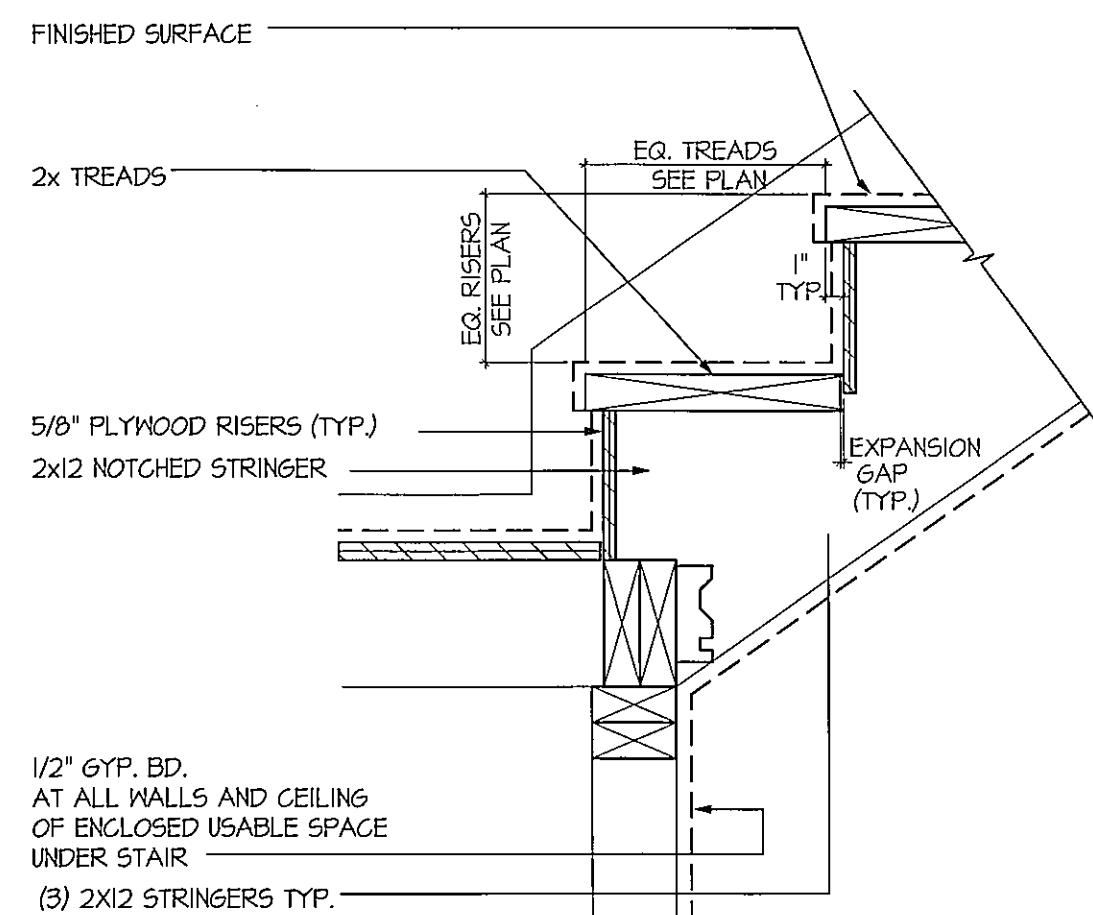
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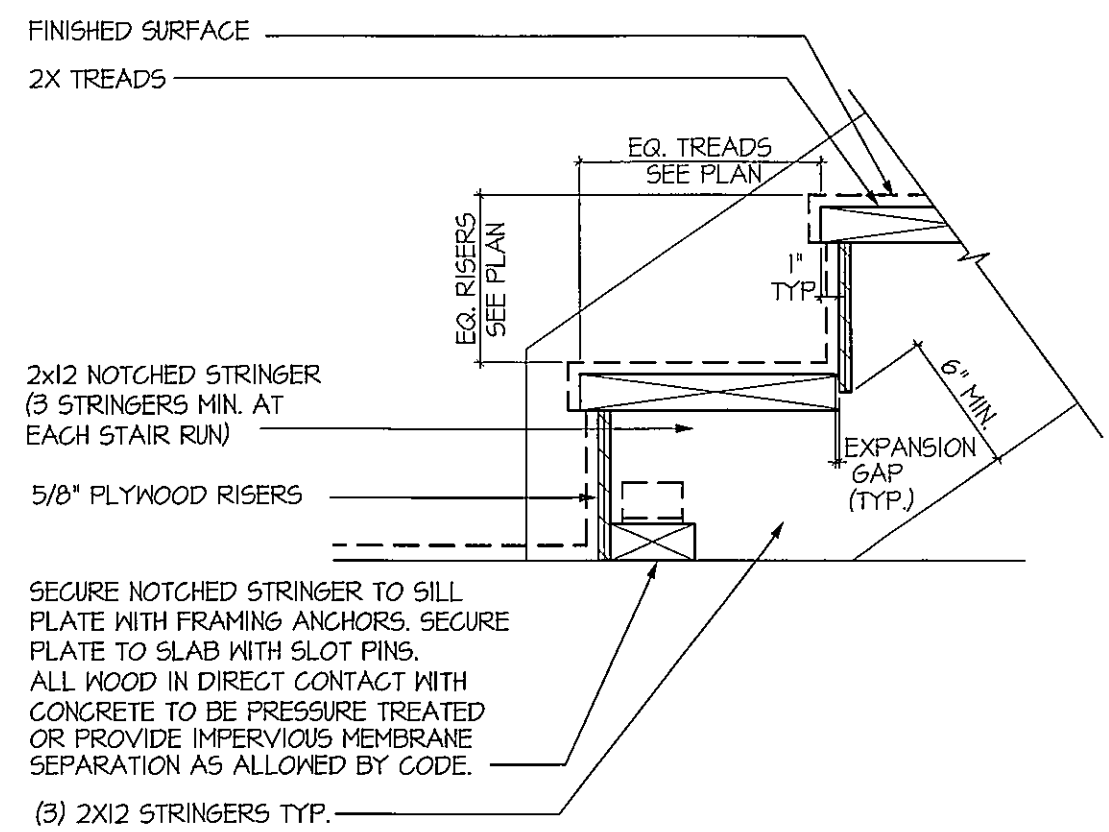
ISSUE DATE: FEB 18 2014



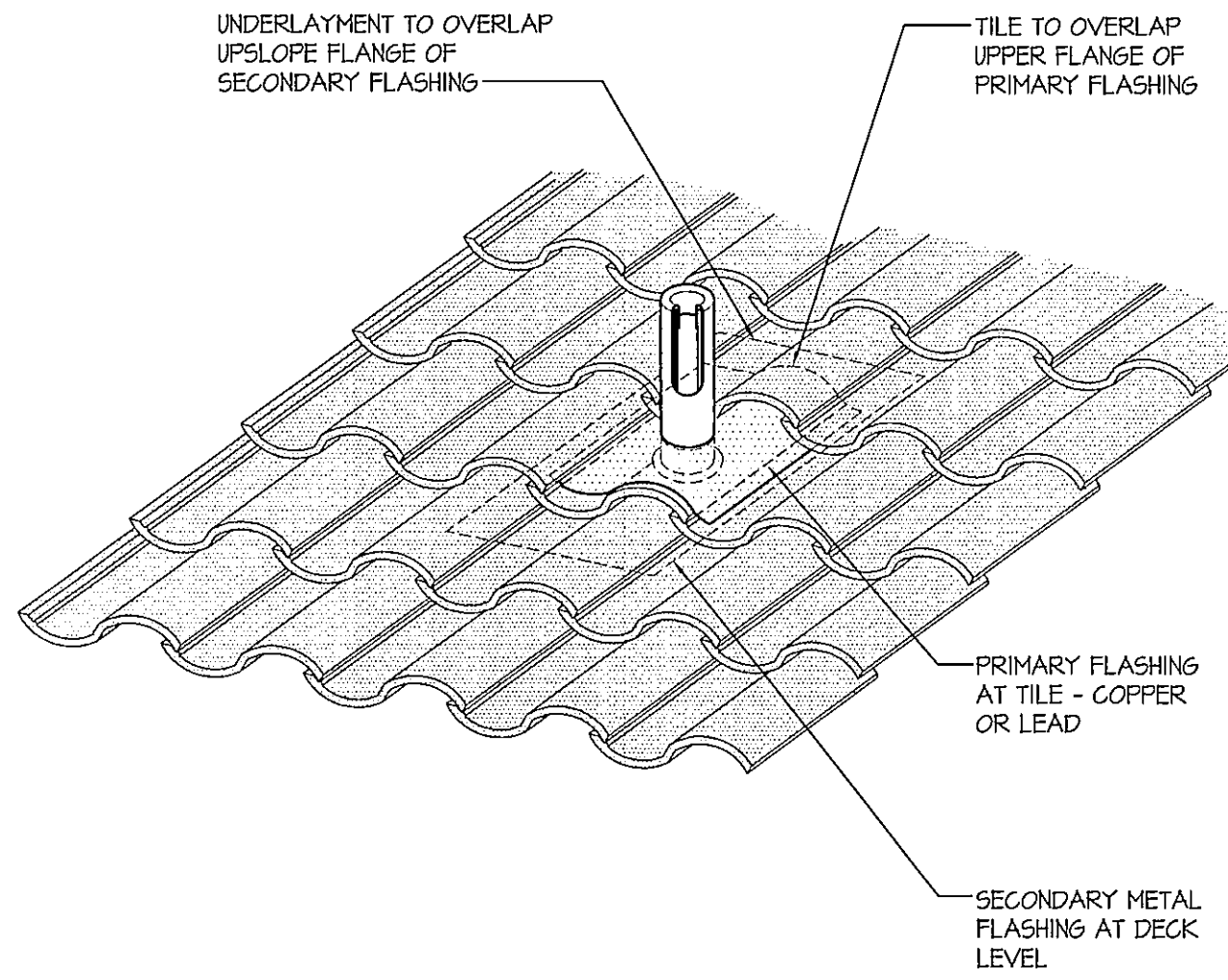
12 STRINGER/LANDING DETAIL
SCALE: 1 1/2" = 1'-0"



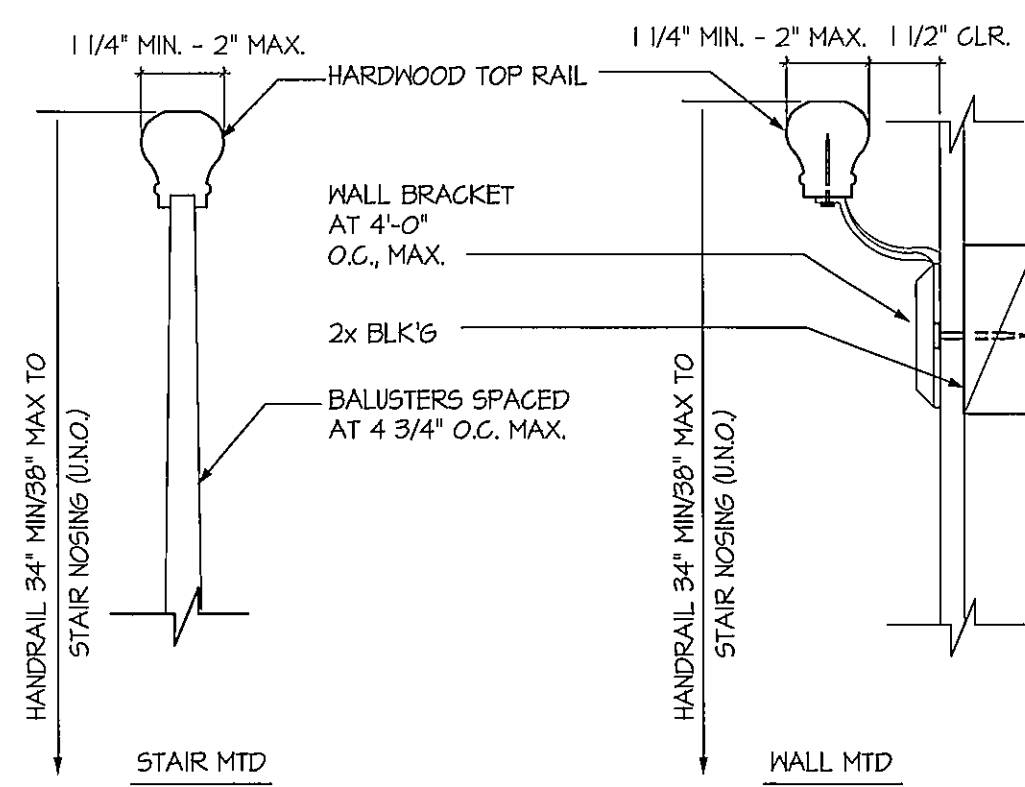
11 LANDING/STRINGER DETAIL
SCALE: 1 1/2" = 1'-0"



10 FLOOR/STRINGER DETAIL
SCALE: 1 1/2" = 1'-0"



9 PIPE PENETRATION - TILE
SCALE: N.T.S.



8 HANDRAIL
SCALE: 1-1/2"=1'-0"

NOTE: HEIGHTS REFERENCED IN THIS DETAIL ARE FOR INTERIOR OF DWELLING UNITS ONLY. EXTERIOR GUARDRAILS ARE 42" HIGH PER EXTERIOR ELEVATIONS.

HANDRAILS SHALL NOT BE LESS THAN 36" OR MORE THAN 38" IN HEIGHT ABOVE THE STAIR NOSING. HANDRAILS SHALL BE CONTINUOUS PER FLIGHT OF STAIRS. HANDRAILS SHALL BE 1 1/2" CLEAR OF ALL ADJACENT FINISH MATERIALS AND ENDS SHALL RETURN TO WALL OR TERMINATE 1 1/4"-2" IN CROSS SECTIONAL DIMENSION OR APPROVED EQUIVALENT, IN NEWEL POSTS OR SAFE TERMINALS. HANDRAILS SHALL BE AND BE SMOOTH WITH NO SHARP EDGES/CORNERS.

STAIR AND RAILING SUPPLIER INSTALLER SHALL SATISFY ALL BUILDING DEPARTMENT APPROVAL REQUIREMENTS FOR THE PRODUCTS THEY PROVIDE OR INSTALL.

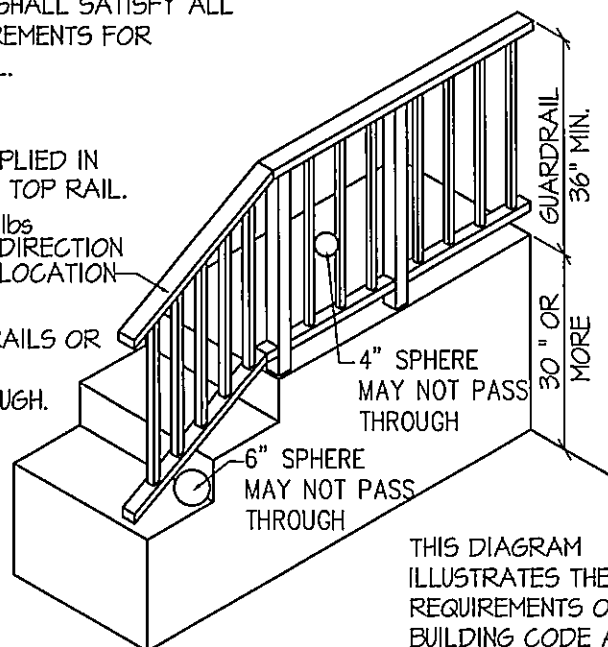
THE HANDRAIL CONSTRUCTION SHALL BE ABLE TO RESIST A LOAD OF 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL.

GUARDRAILS SHALL NOT BE LESS THAN 36" IN HEIGHT.

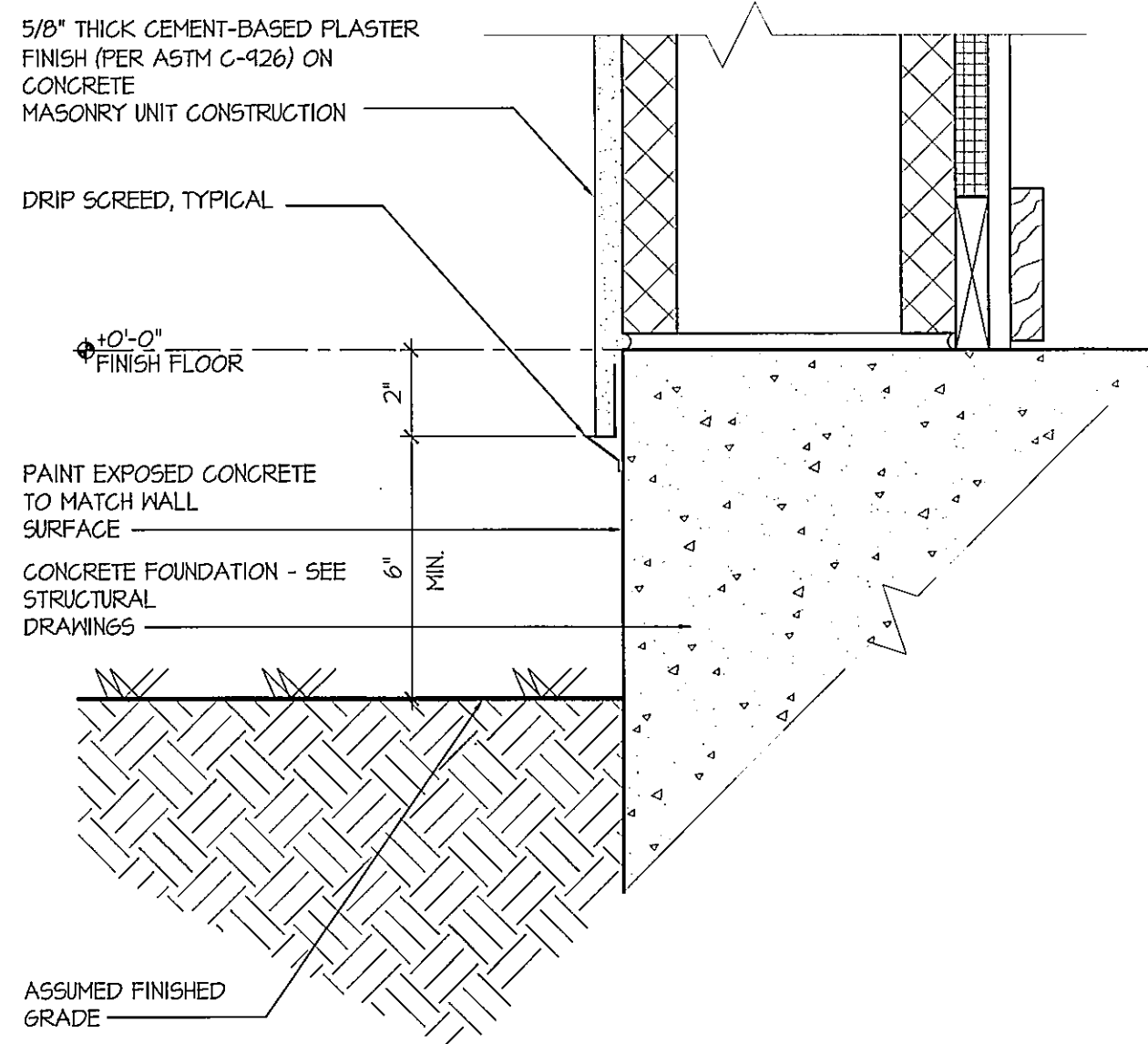
OPEN RAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH.

THE GUARDRAIL CONSTRUCTION SHALL BE ABLE TO RESIST A CONCENTRATED LOAD OF 200 LBS IN ANY DIRECTION

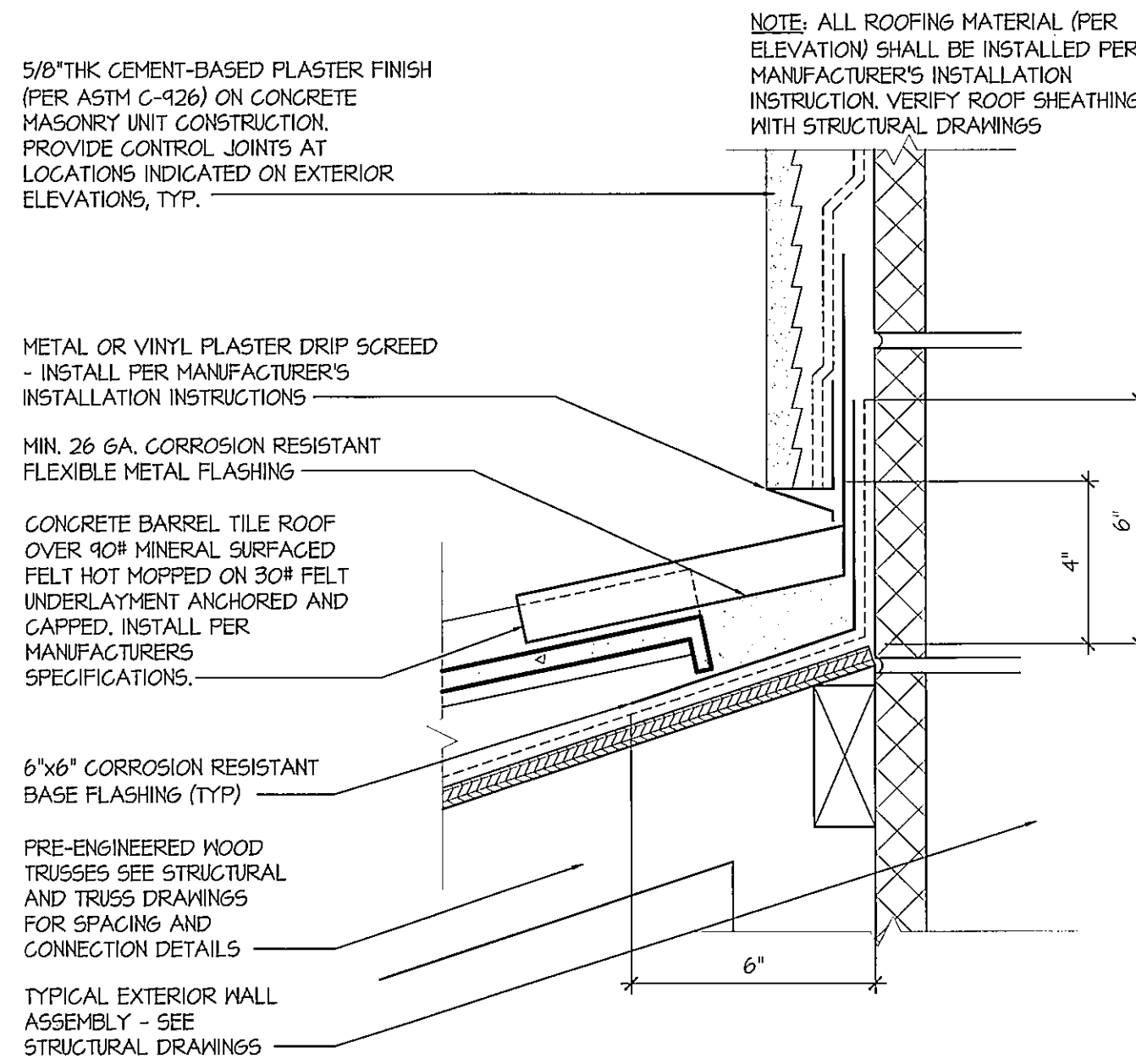
THE TRIANGULAR OPENINGS AT STAIR TREAD, RISER, & BOTTOM SHALL BE SUCH THAT A 6" DIAMETER SPHERE CANNOT PASS THROUGH.



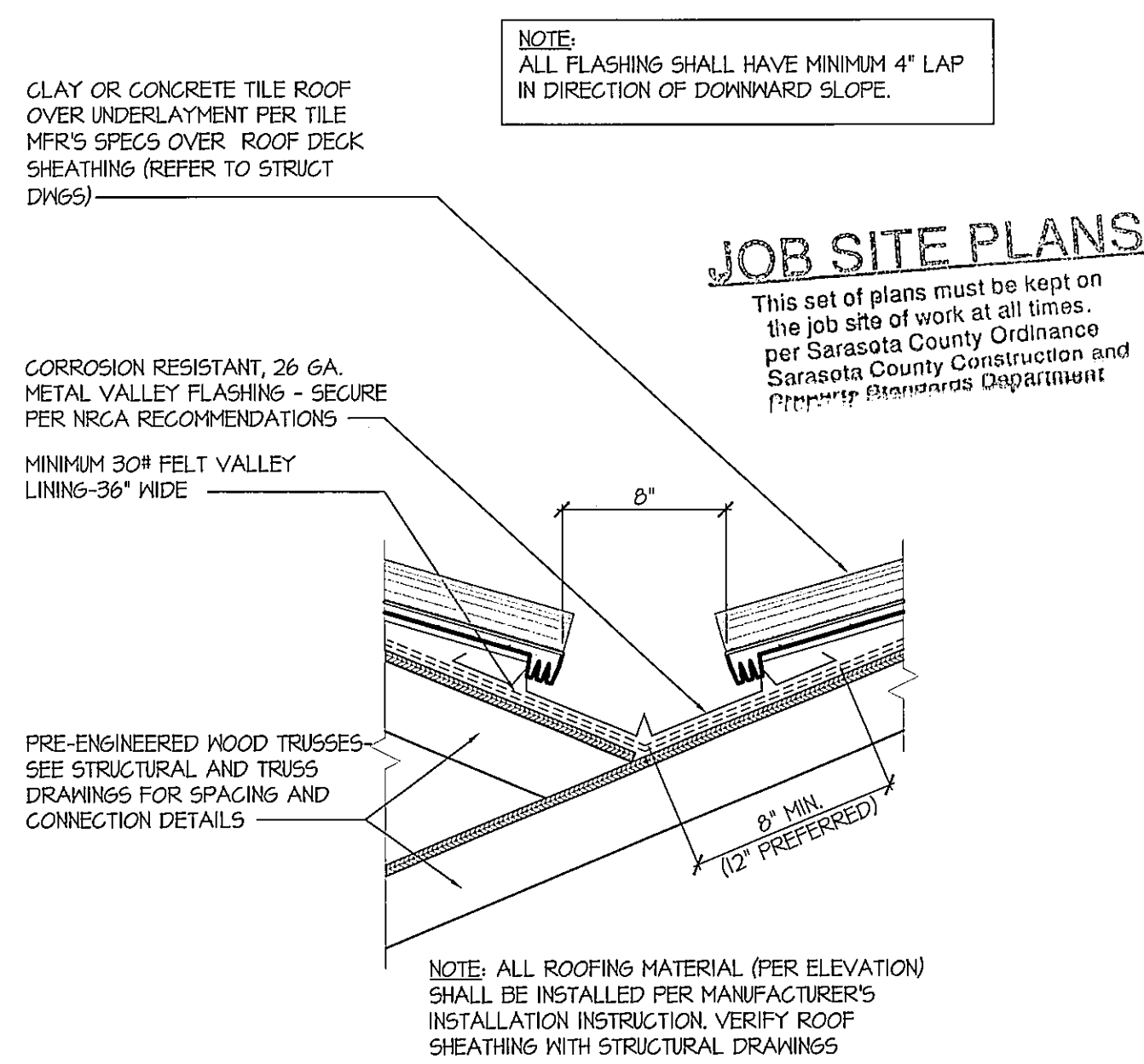
7 HANDRAIL/GUARDRAIL CODE DATA
SCALE: 1 1/2" = 1'-0"



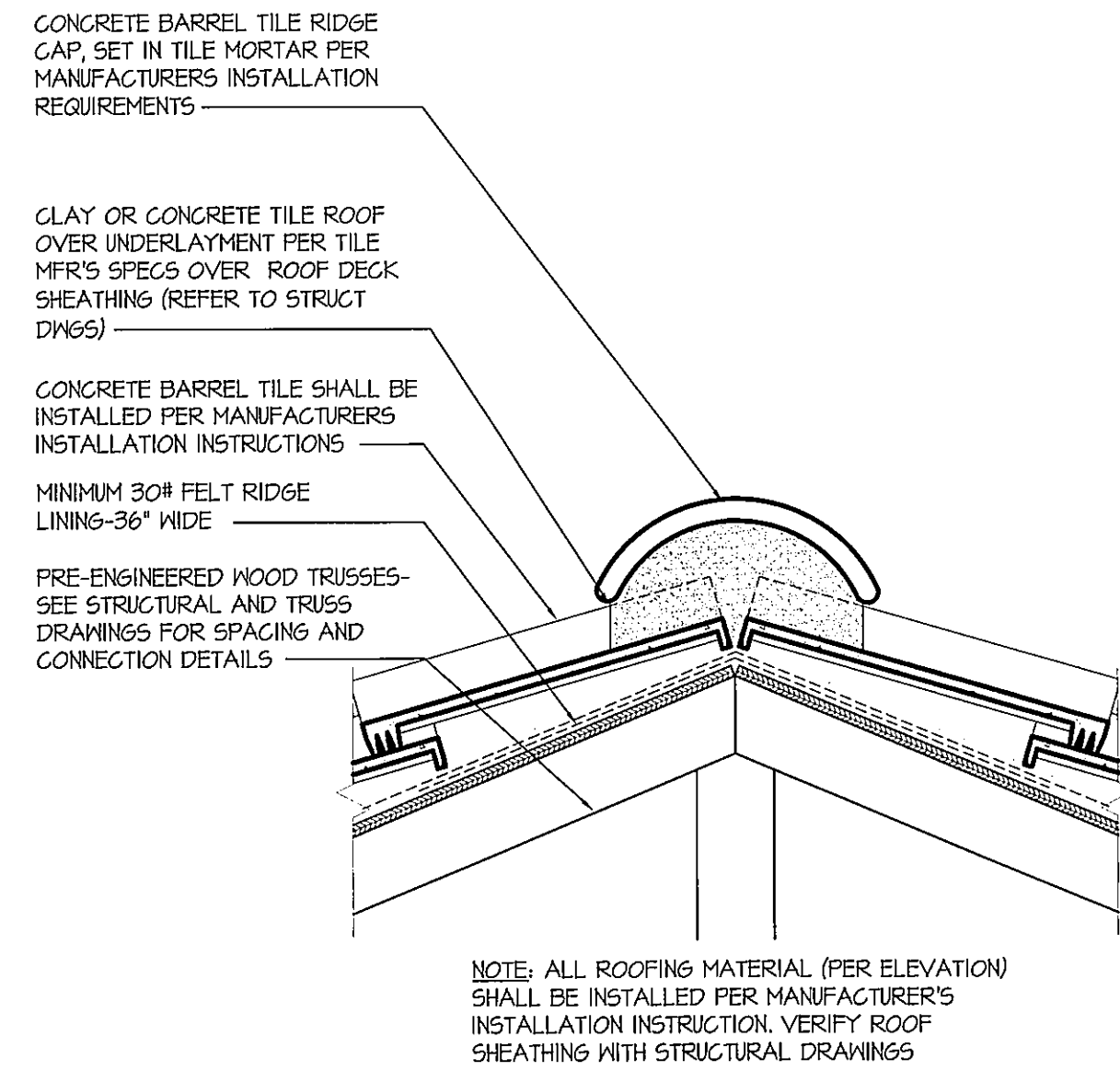
6 DRIP SCREED - PLASTER
SCALE: 3"=1'-0"



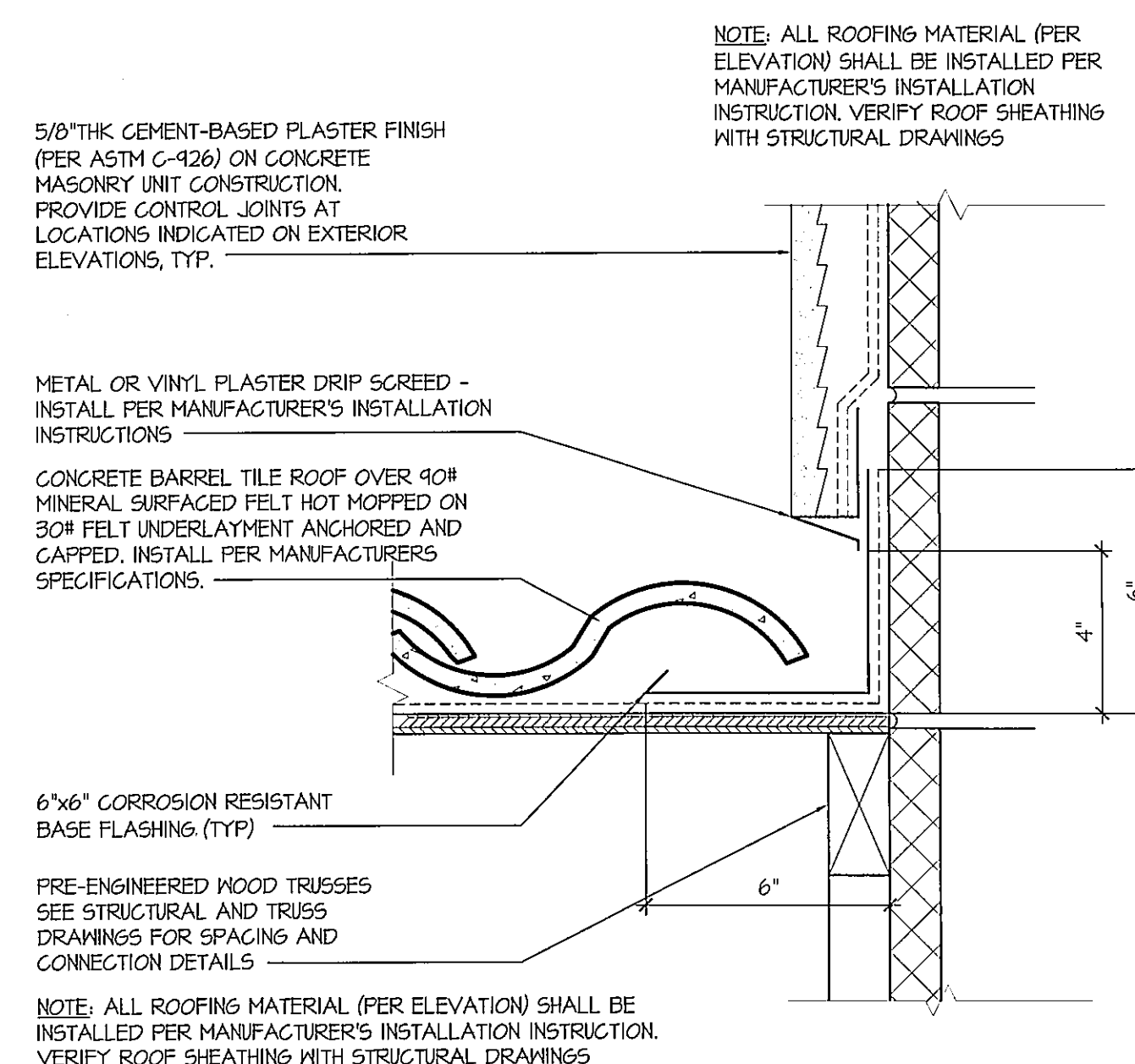
5 ROOF TO WALL-TILE
SCALE: 3"=1'-0"



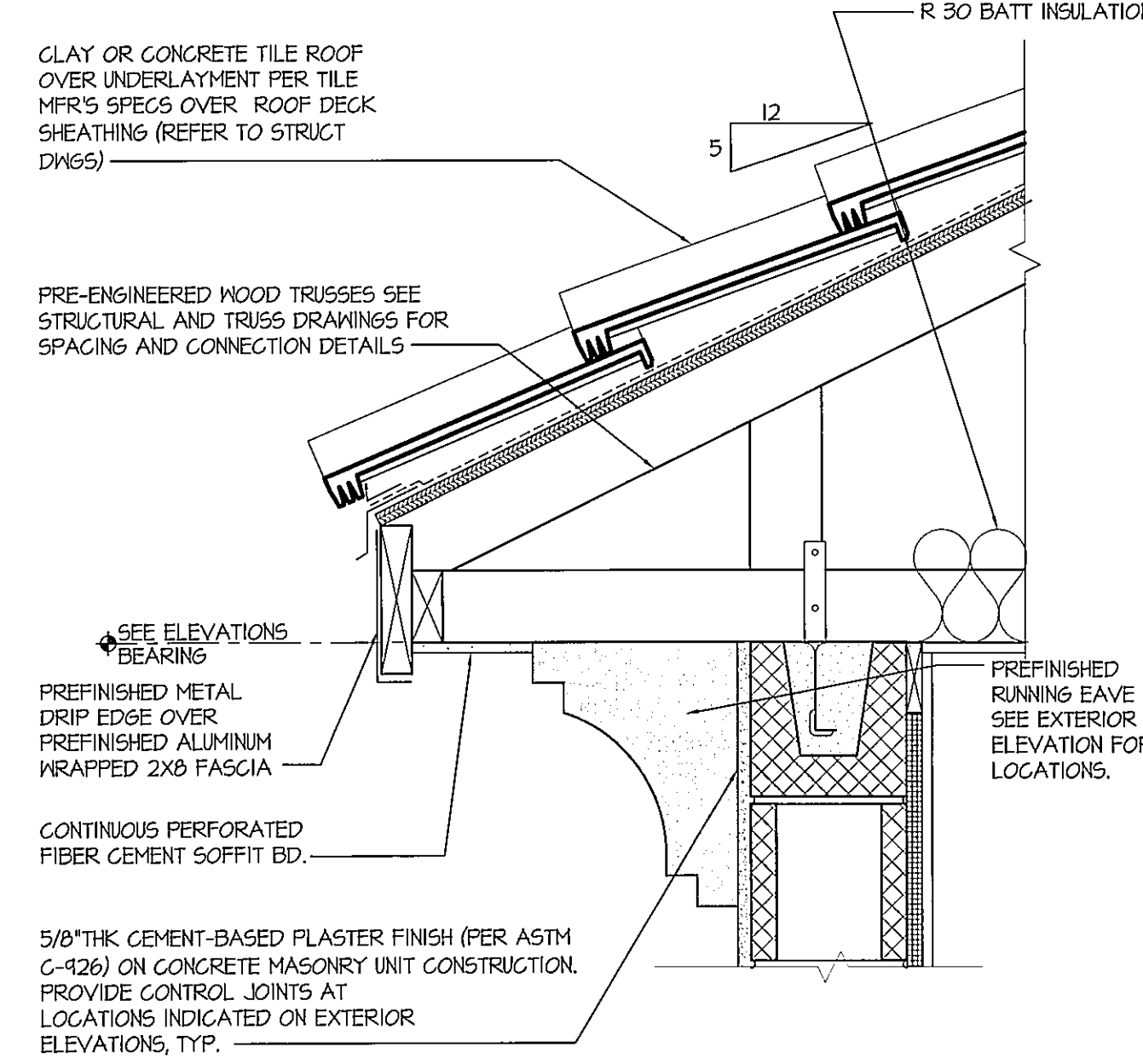
4 VALLEY FLASHING- TILE
SCALE: 1 1/2"=1'-0"



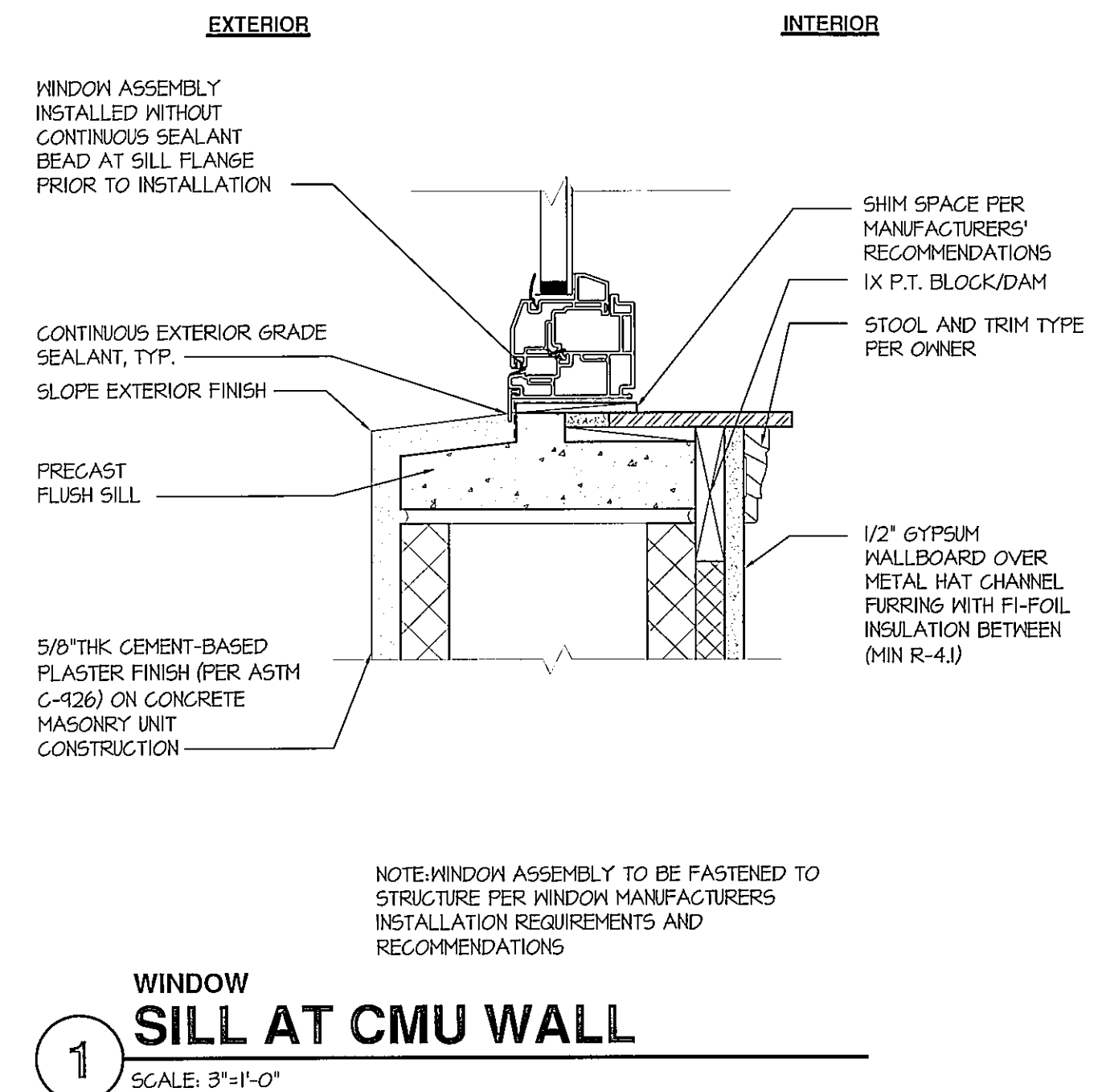
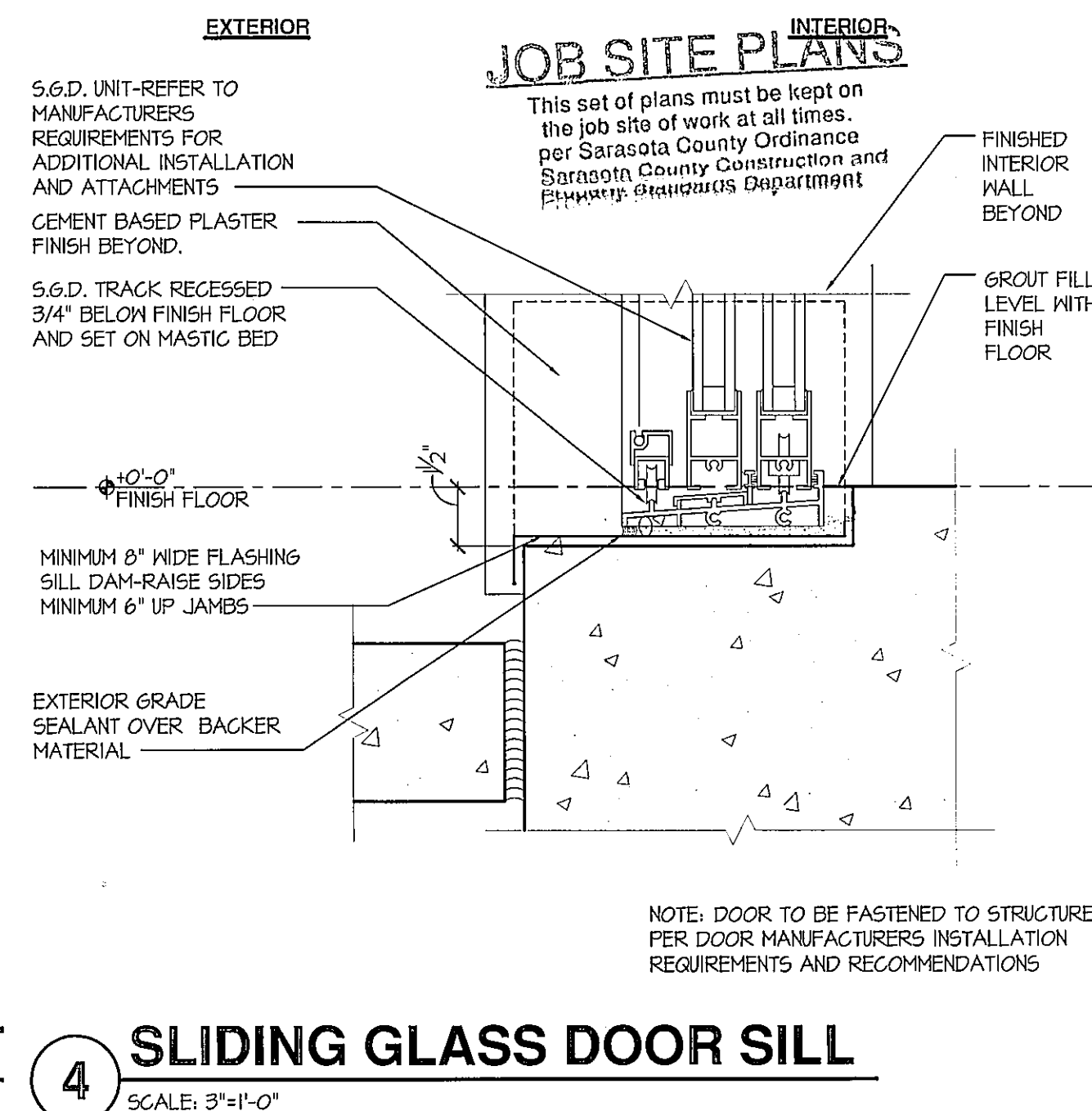
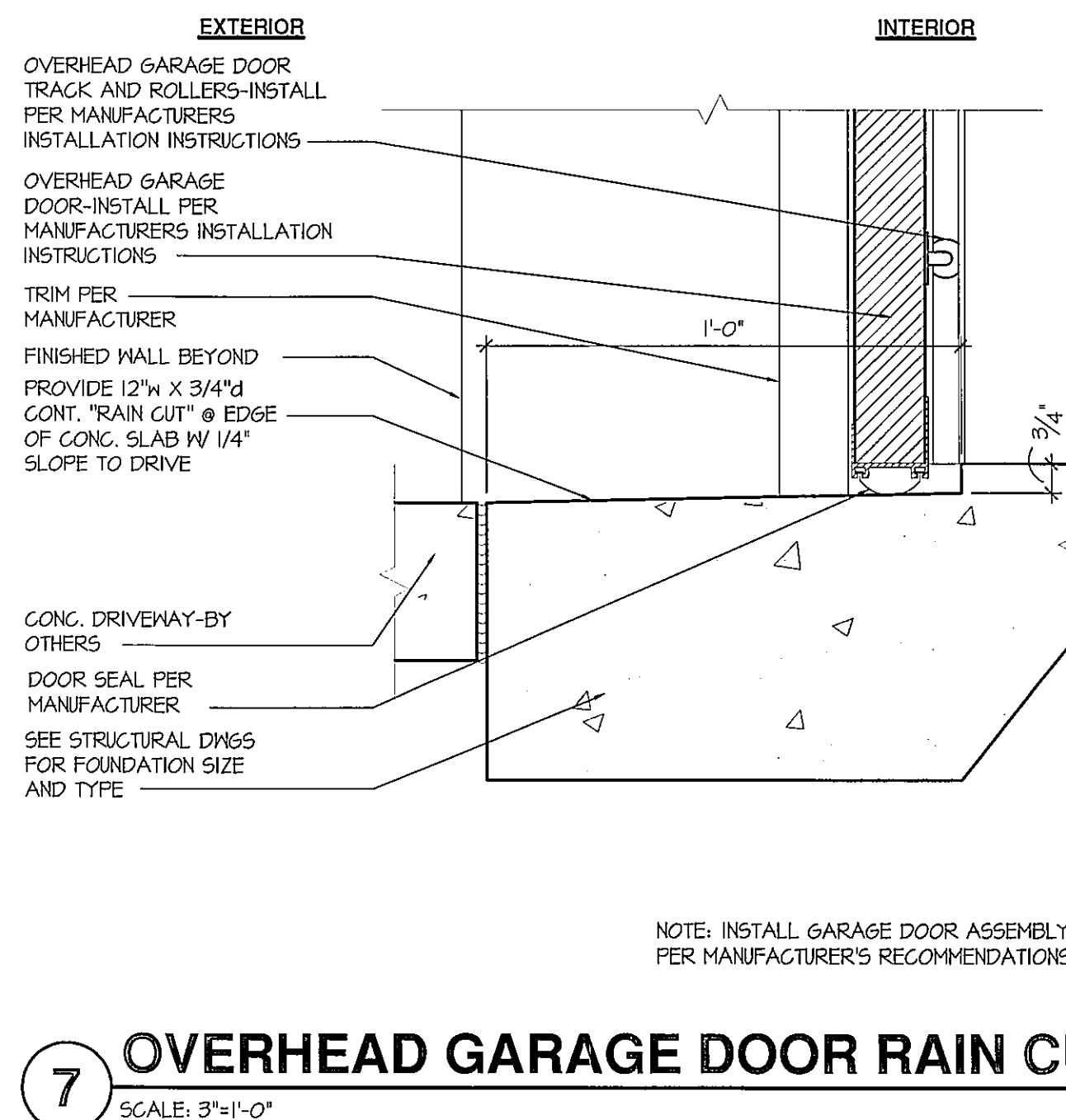
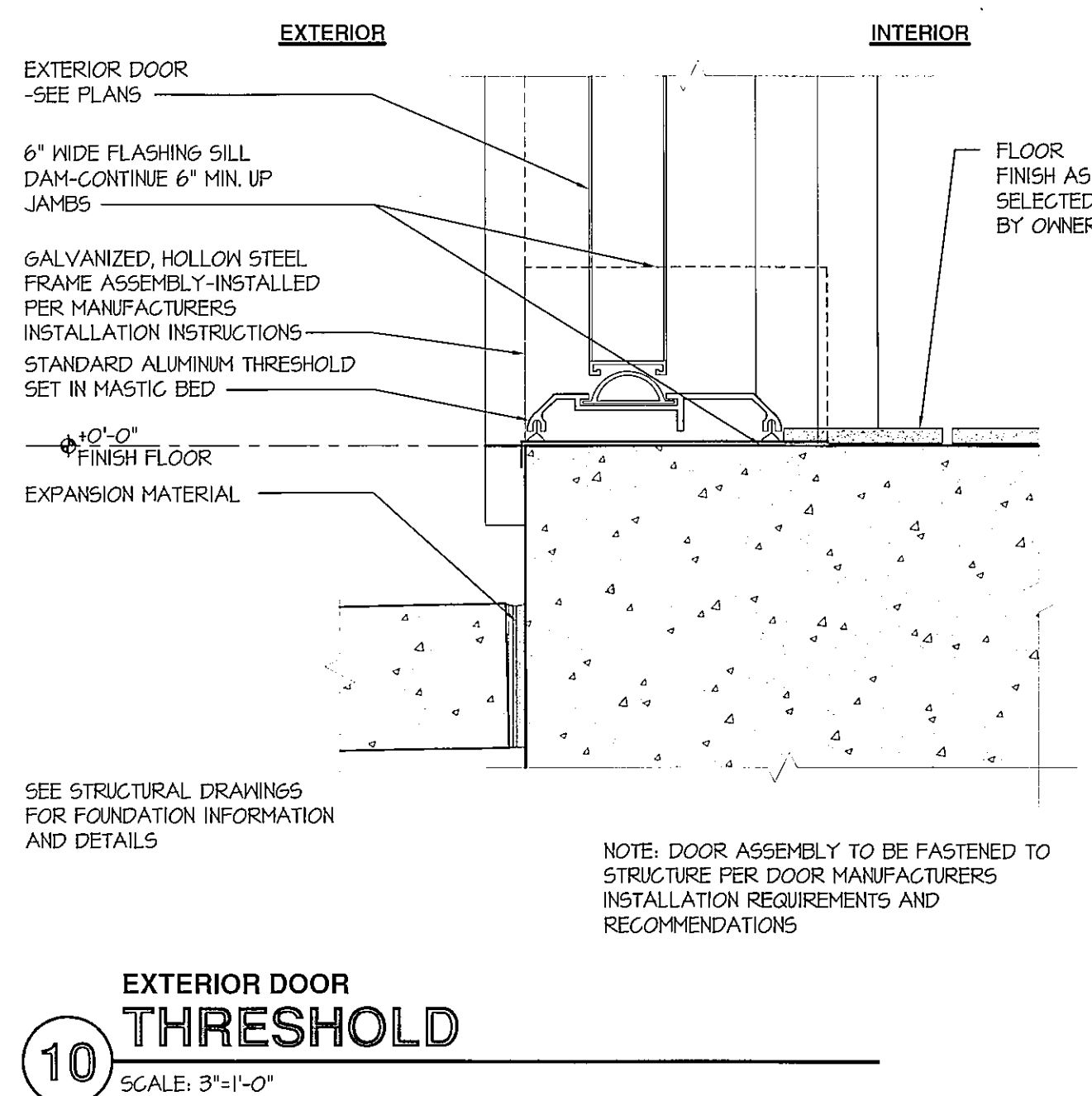
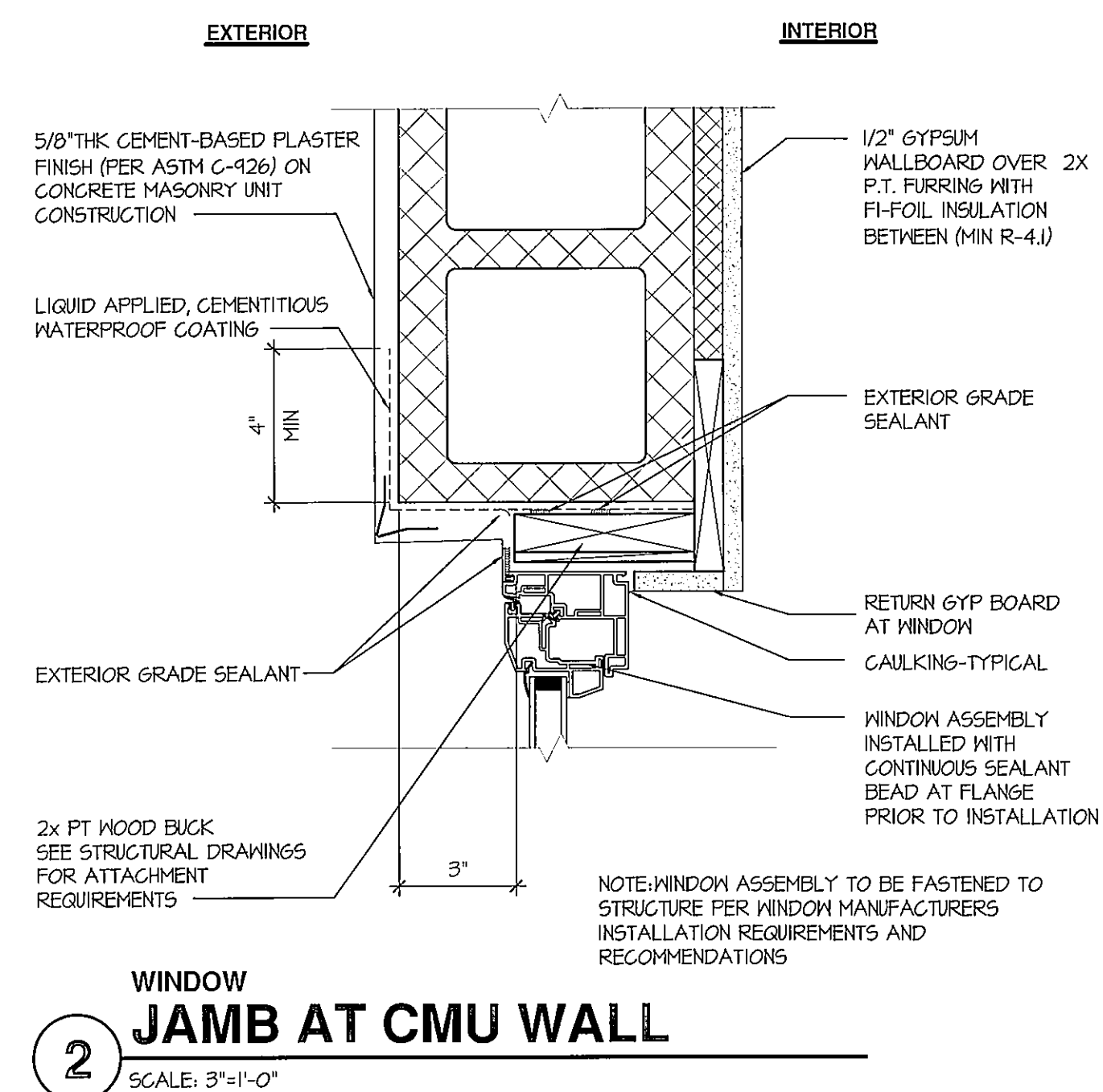
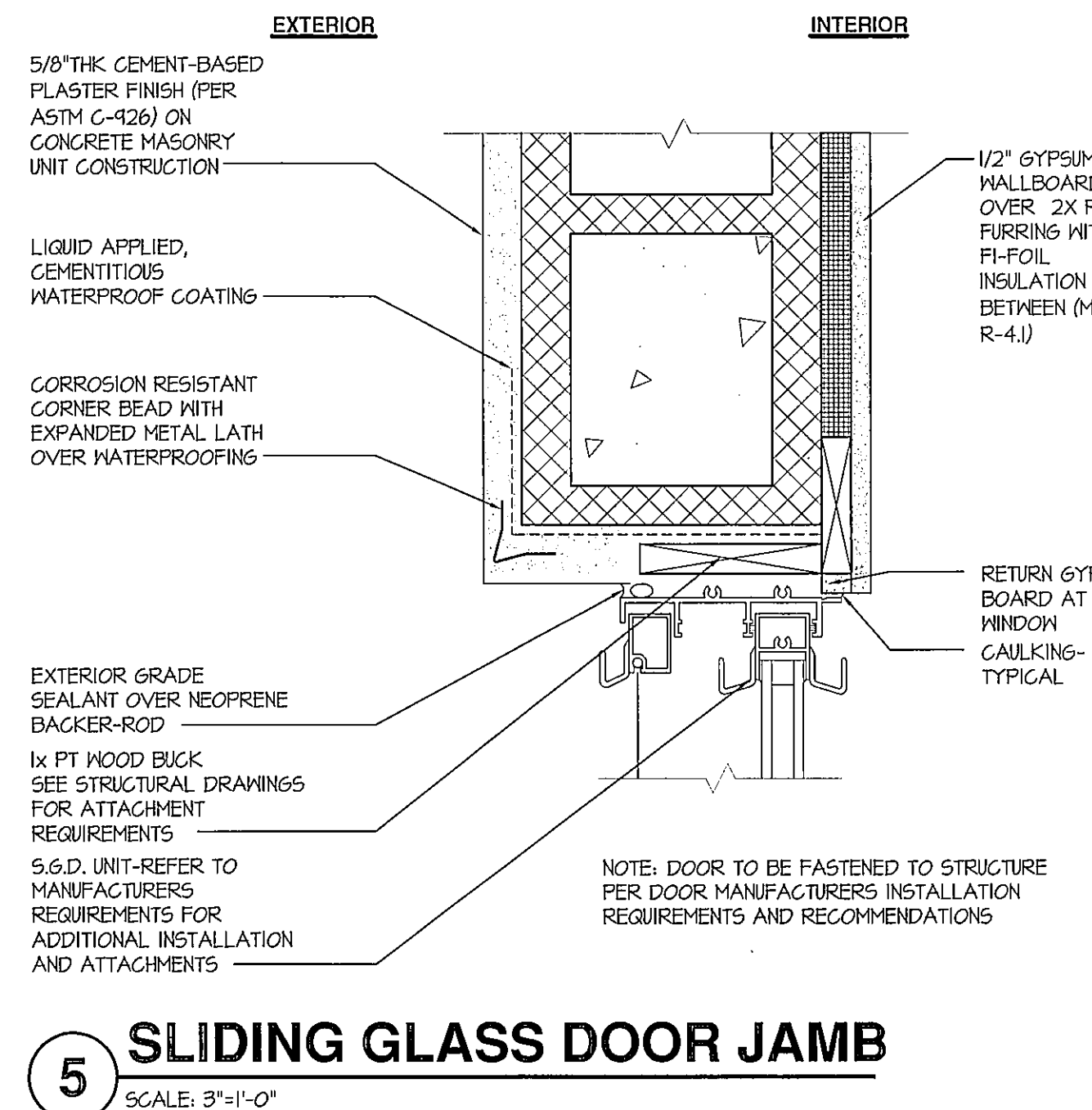
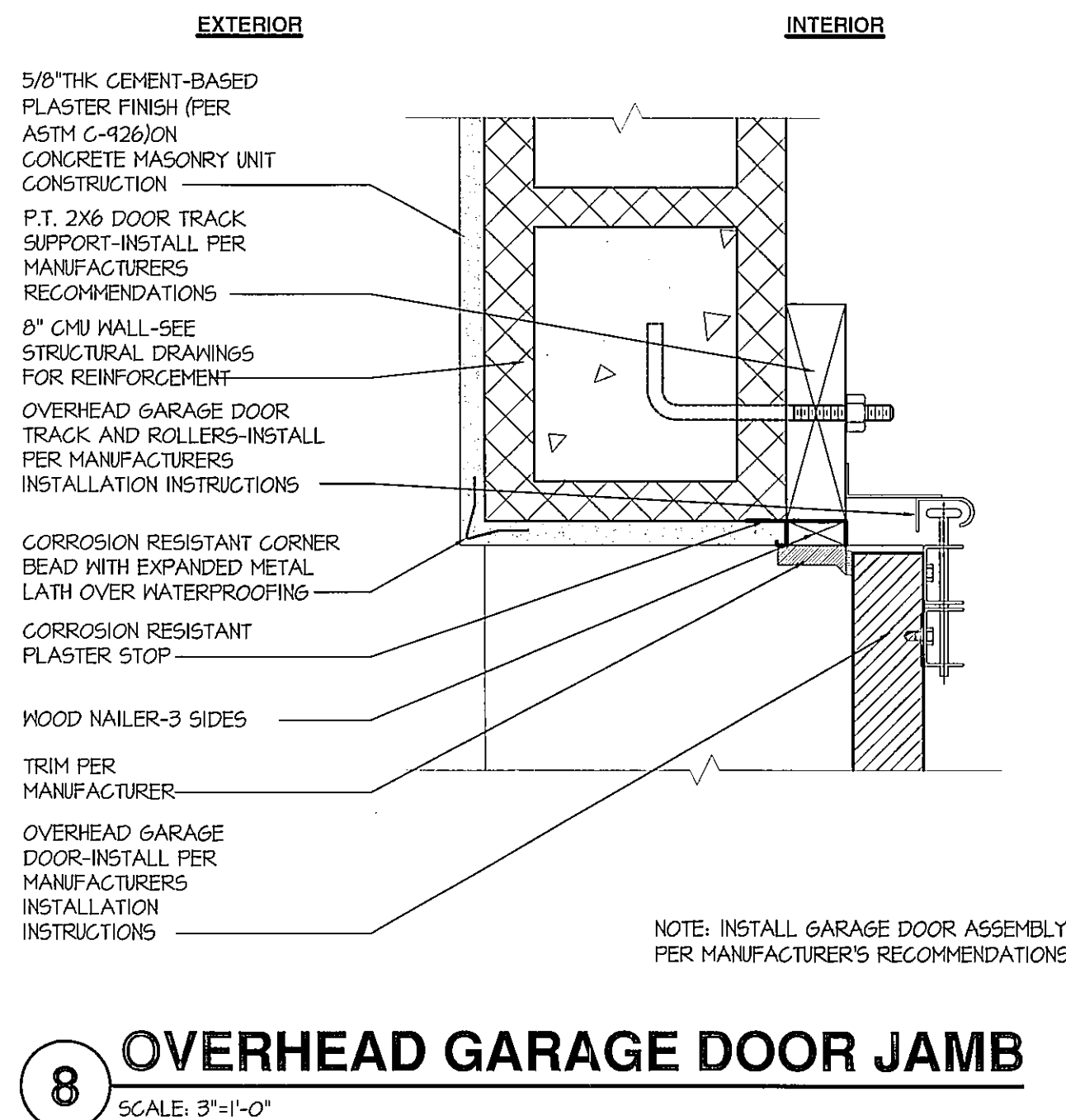
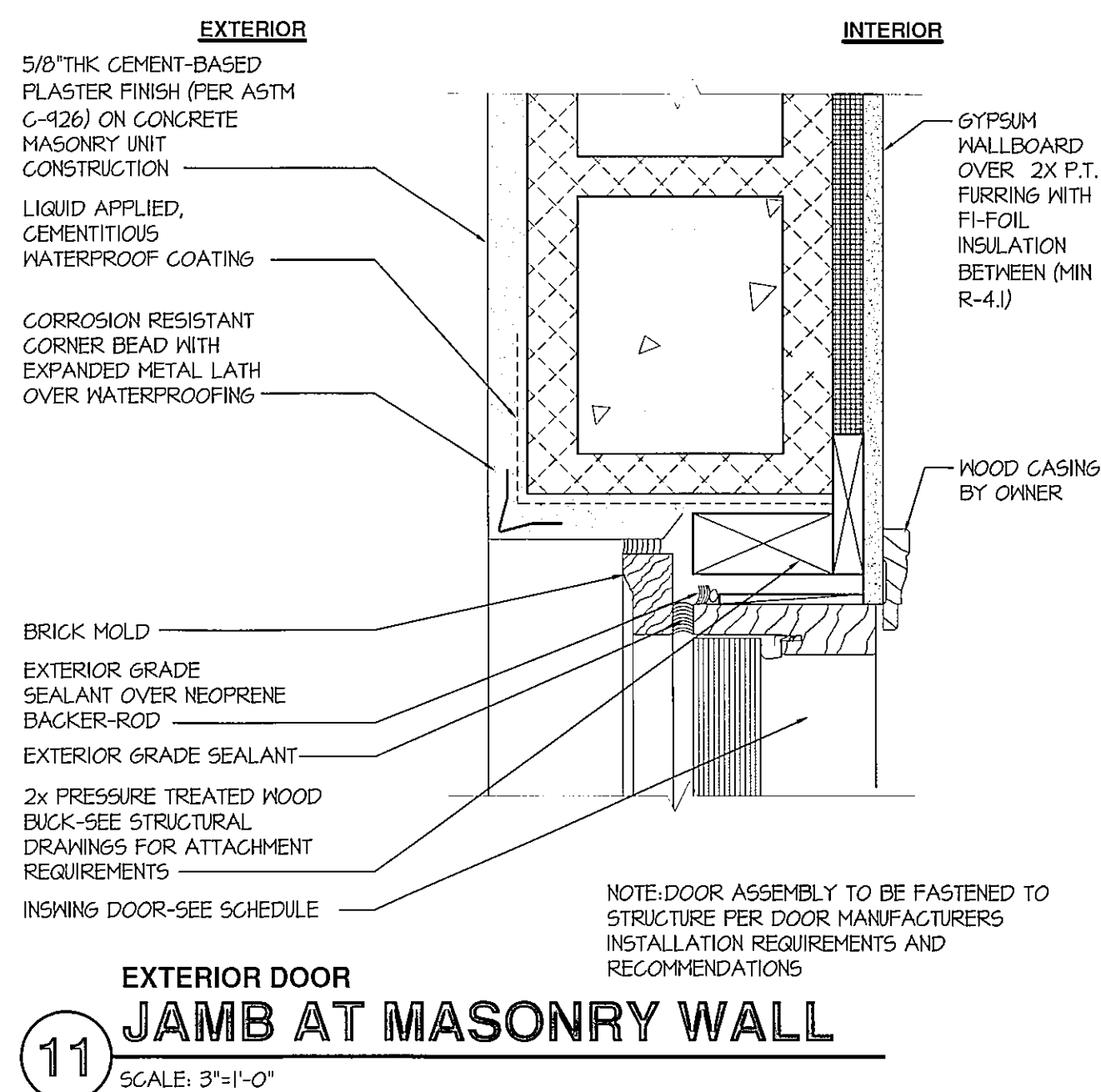
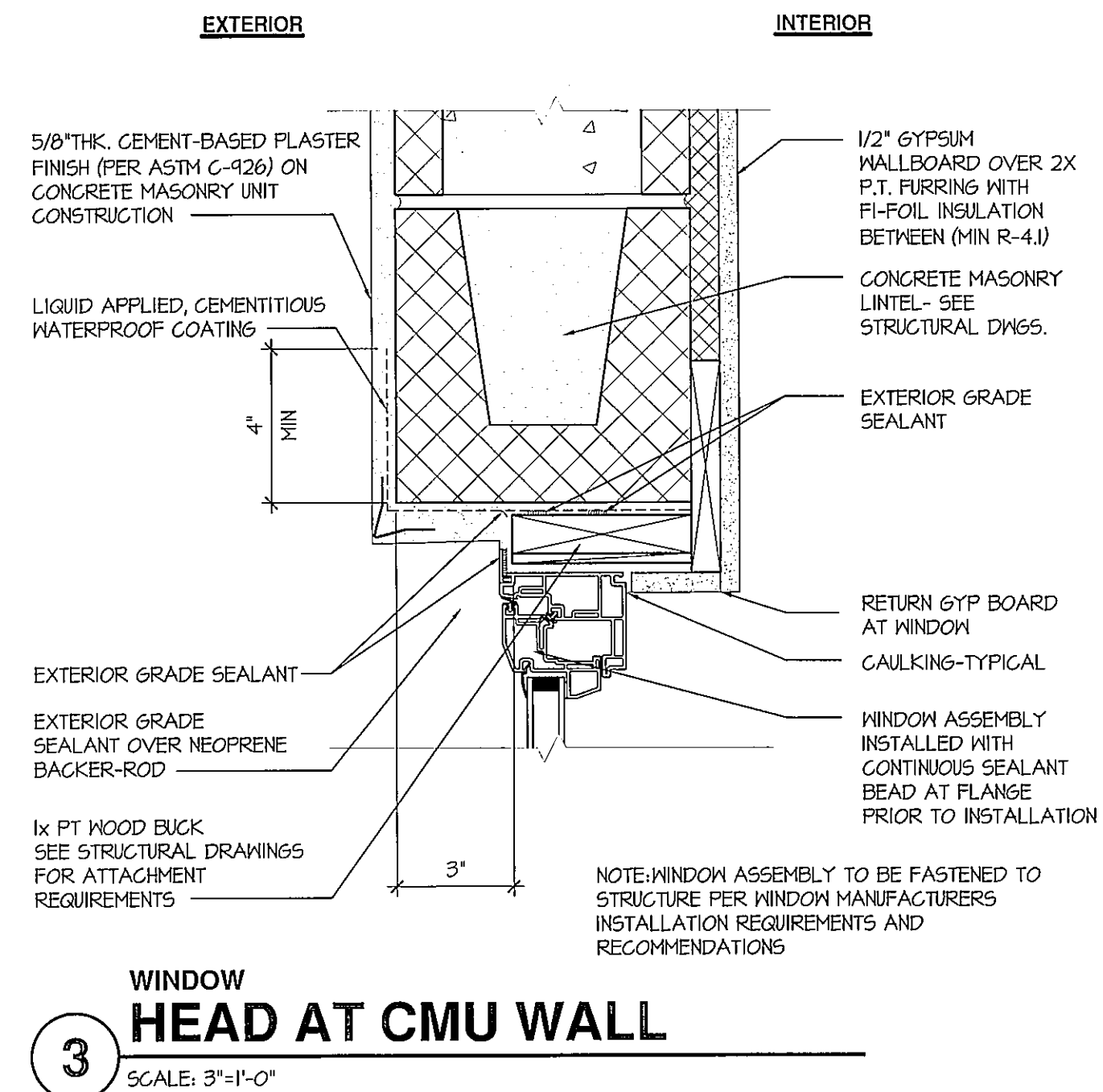
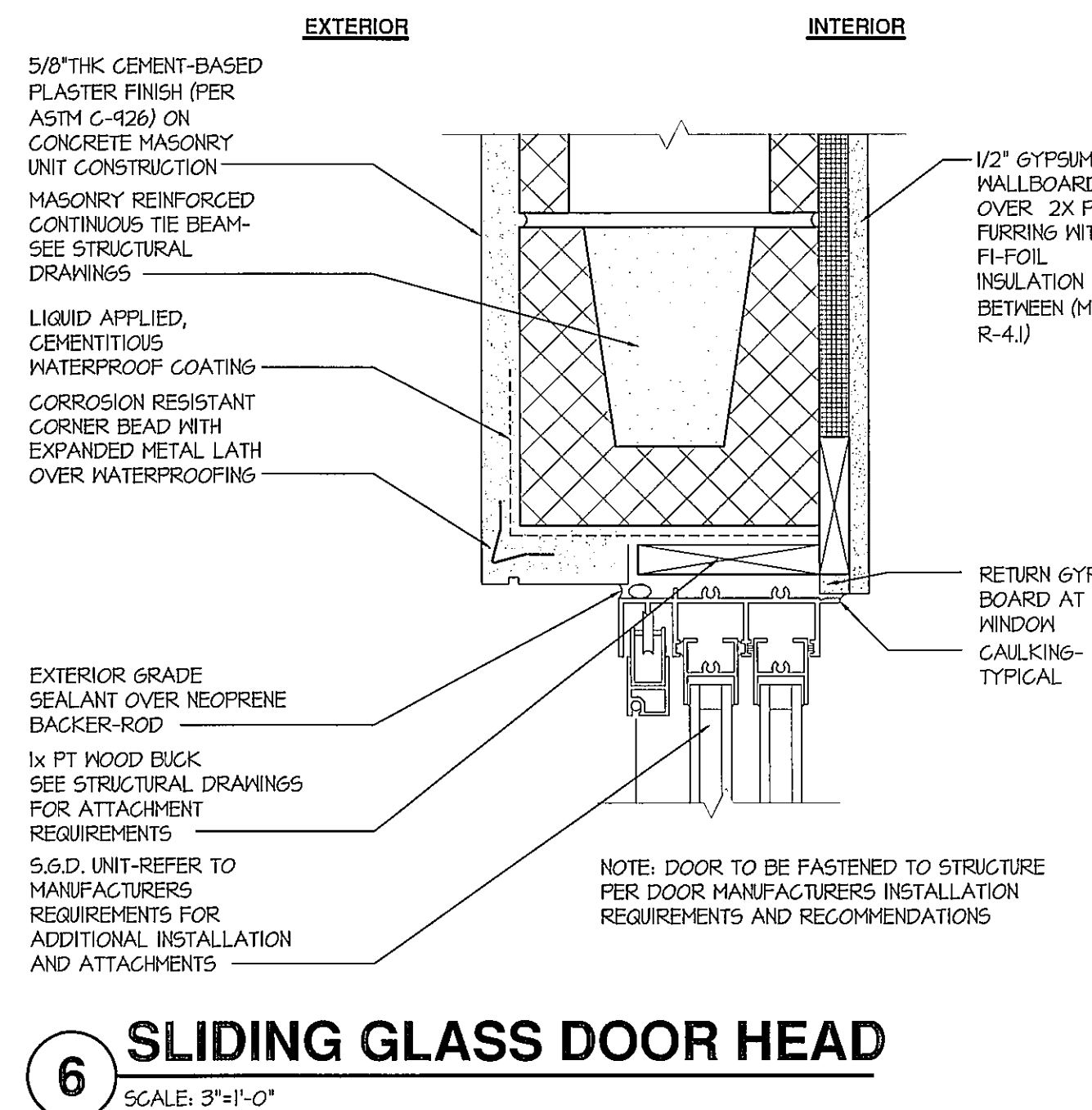
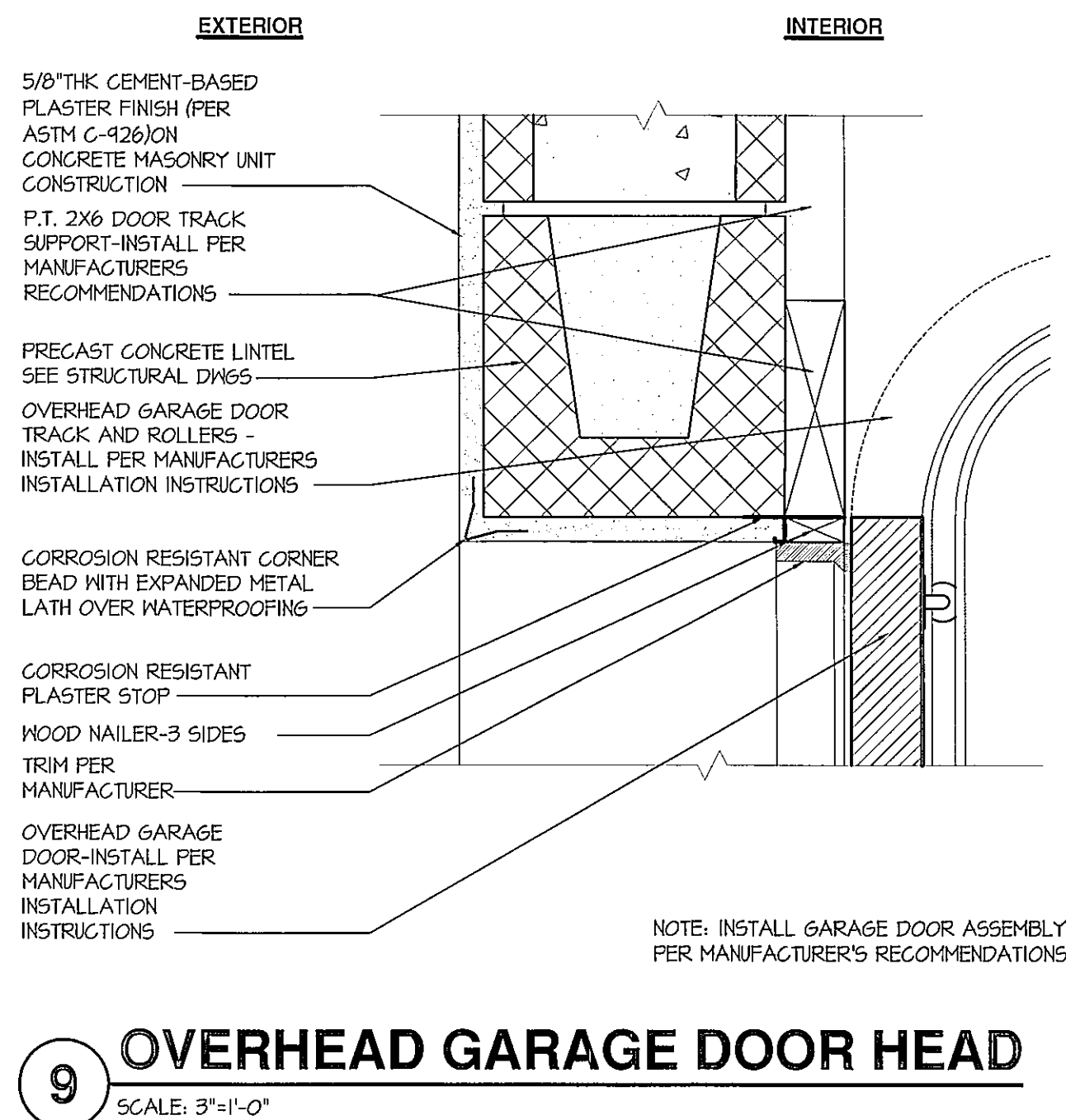
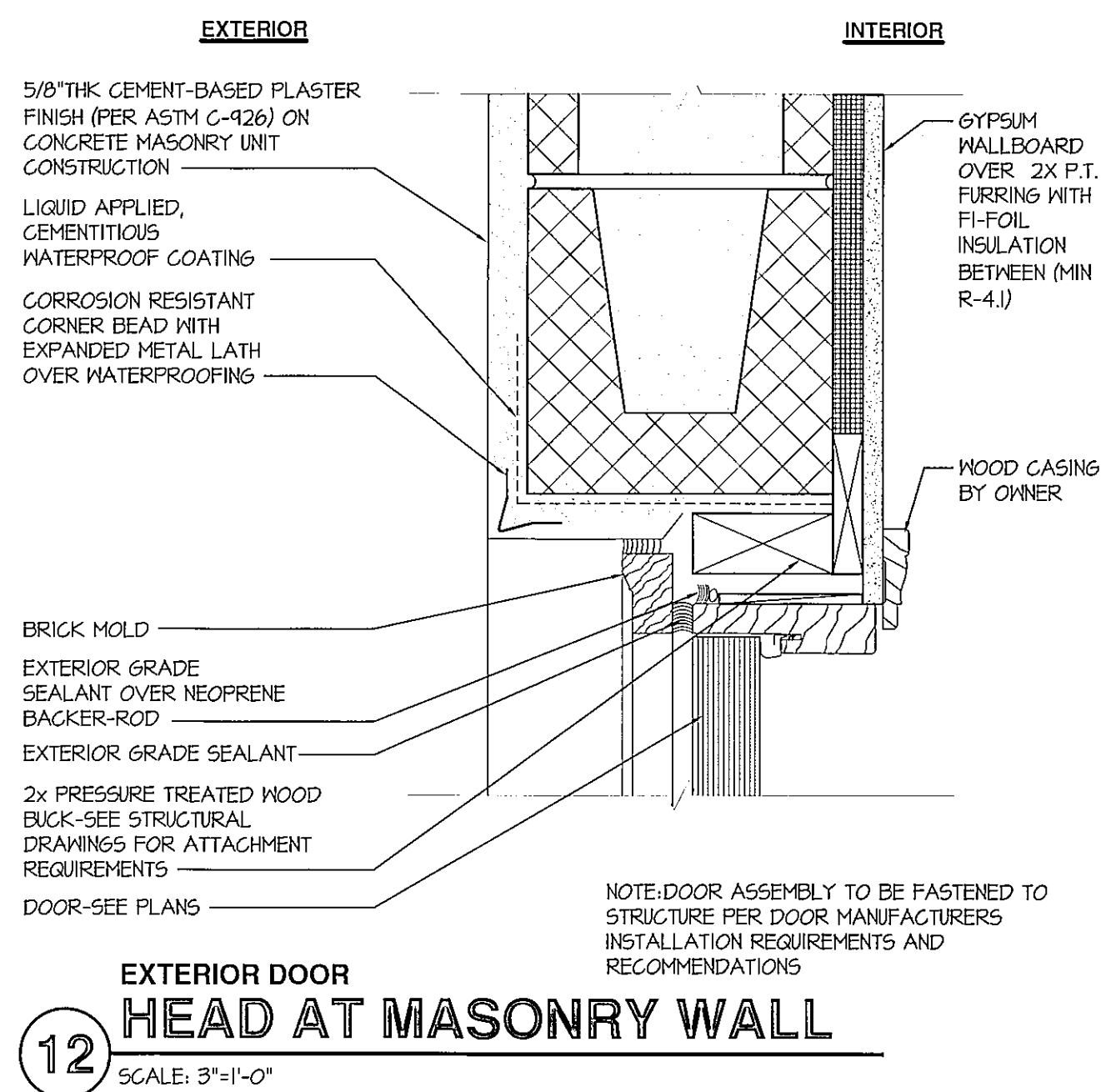
3 RIDGE AND HIP RIDGE
SCALE: 1 1/2"=1'-0"



2 ROOF TO WALL- TILE
SCALE: 3"=1'-0"



1 TYPICAL EAVE - PLASTER
SCALE: 1 1/2"=1'-0"



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Bay Street Village
7 Unit Condominium Building

160 East Bay Street
Osprey, Florida 34229

A5.2

DR. HORIZON
America's Builder

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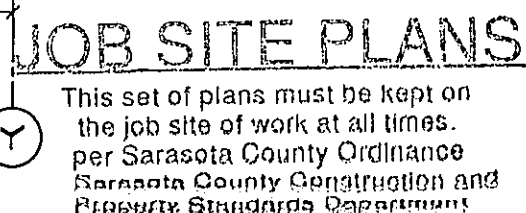
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NO.	DATE	DESCRIPTION

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The diagrams illustrate the cross-sections of foundation walls with the following details:

- SECTION AT EXTERIOR WALLS:** Shows a wall cross-section with reinforcement bars (rebar) extending into the wall. Labels include: "CHU COLUMN OR WALL ABOVE AS PER FLOOR PLAN", "5 DOUVEL 1/4" STANDARD HOOK - MIN 25" LAP SPLICE AT EACH REINFORCED CELL OF COLUMN", "5 VERTICAL REINFORCEMENT IN ALL FILLED GROUT CELLS SEE FLOOR PLAN FOR LOCATION", "TOP OF GRADE", "12" MIN" (depth of footing), "FINISH FLOOR ELEVATION", "CONCRETE SLAB - SEE NOTES", "WIDTH", "COMPACTED AND TREATED SOIL AS PER STRUCTURAL NOTES", and "SEE TABLE FOR REQUIRED REINFORCEMENT".
- SECTION AT STEP DOWN:** Shows a wall cross-section with a step down. Labels include: "CHU COLUMN OR WALL ABOVE AS PER FLOOR PLAN", "5 DOUVEL 1/4" STANDARD HOOK - MIN 25" LAP SPLICE AT EACH REINFORCED CELL OF COLUMN", "5 VERTICAL REINFORCEMENT IN ALL FILLED GROUT CELLS SEE FLOOR PLAN FOR LOCATION", "4" DROP TO GARAGE OR LAVAL", "FINISH FLOOR ELEVATION", "CONCRETE SLAB - SEE NOTES", "WIDTH", "COMPACTED AND TREATED SOIL AS PER STRUCTURAL NOTES", and "SEE TABLE FOR REQUIRED REINFORCEMENT".
- SECTION AT THICKENED EDGE:** Shows a wall cross-section with a thickened edge. Labels include: "CHU COLUMN OR WALL ABOVE AS PER FLOOR PLAN", "5 DOUVEL 1/4" STANDARD HOOK - MIN 25" LAP SPLICE AT EACH REINFORCED CELL OF COLUMN", "5 VERTICAL REINFORCEMENT IN ALL FILLED GROUT CELLS SEE FLOOR PLAN FOR LOCATION", "TOP OF GRADE", "CONCRETE SLAB - SEE NOTES", "THICKENED EDGE AS PER TABLE", and "SEE TABLE FOR REQUIRED REINFORCEMENT".

SECTION AT EXTERIOR WALLS
NOT TO SCALE

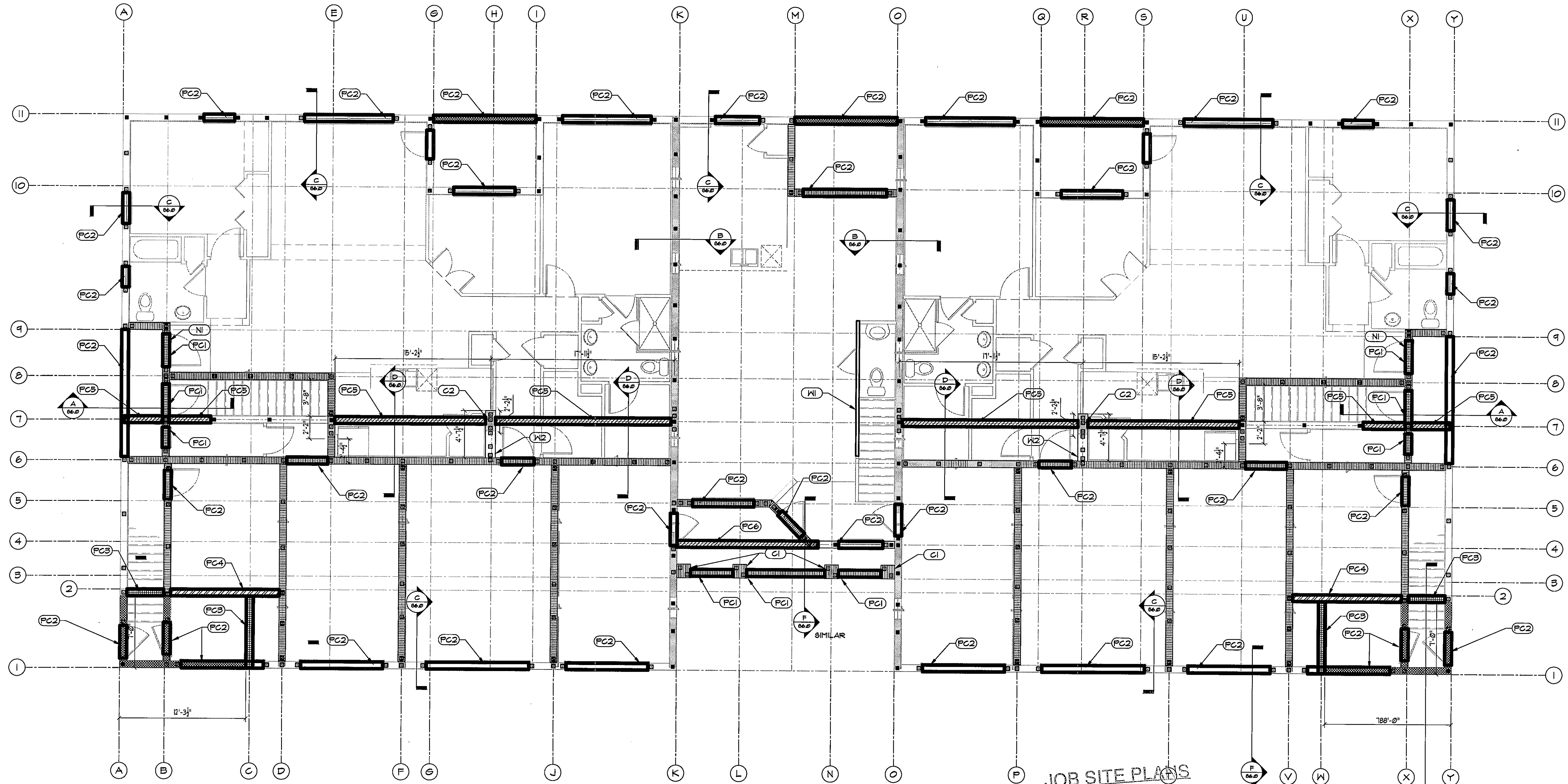
SECTION AT STEP DOWN
NOT TO SCALE

SECTION AT THICKENED EDGE
NOT TO SCALE

INDICATED'S DOWELS FOR FIRST FLOOR
CONTINUOUS TO SECOND FLOOR WALLS

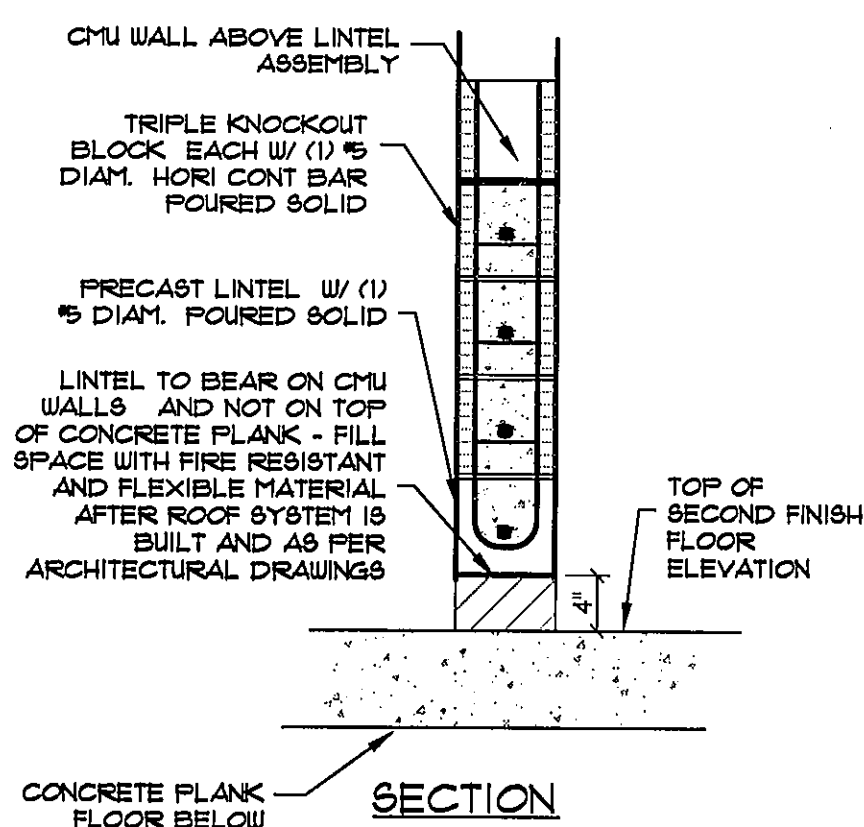
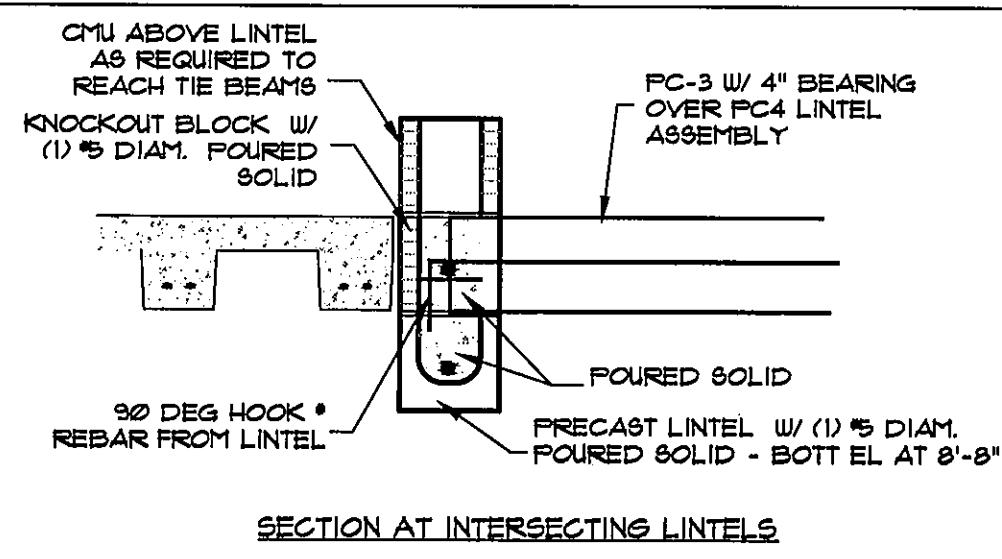
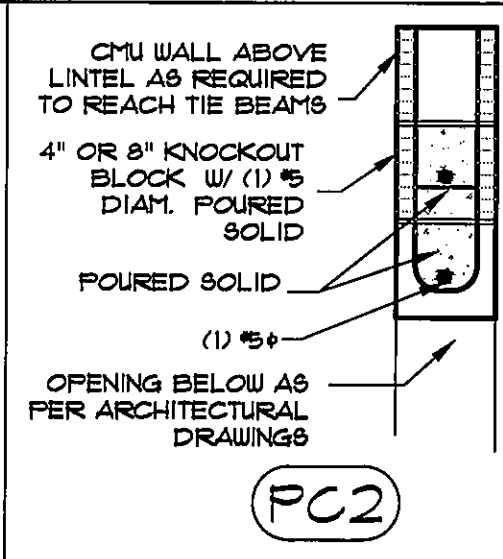
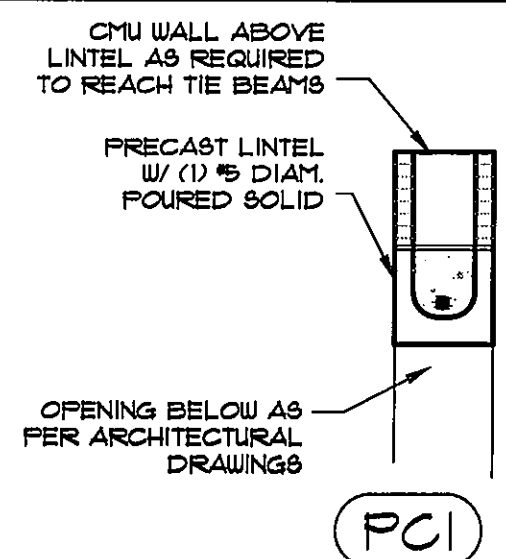
S1.0

02-13-14 Permit Set

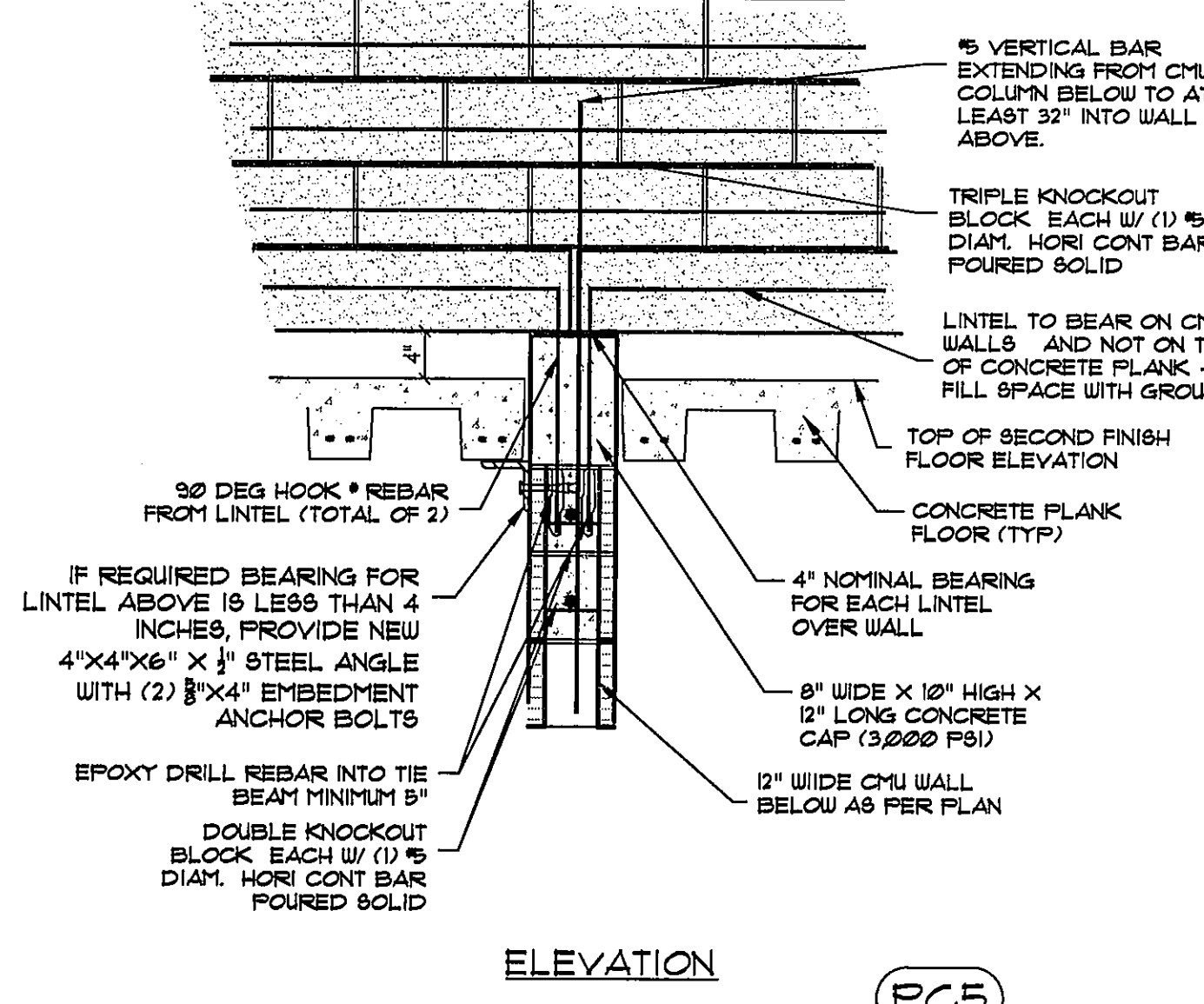


FIRST FLOOR PLAN - STRUCTURAL
SCALE: 3/16" = 1'-0"

PRECAST CONCRETE LINTEL SCHEDULE



NOTE: PRECAST LINTELS SHALL BE "CAST CRETE" OR EQUAL. USE PRE-STRESSED PRECAST LINTEL FOR SPANS GREATER THAN 14'-4". THE K.O. BLOCK ABOVE THE LINTEL IS THE MINIMUM REQUIRED. ADDITIONAL GROUT FILLED CMU BLOCKS CAN BE INSTALLED BETWEEN THE K.O. BLOCK AND THE LINTEL FOR HIGH REQUIREMENTS. THE K.O. BLOCK ABOVE CAN BE THE SAME AS THE WALL TIE BEAM.



FLOOR PLAN NOTES

TOP OF MASONRY WALLS ARE BASED ON ARCHITECTURAL DRAWINGS. VERIFY SUCH ELEVATIONS WITH ARCHITECTURAL ELEVATIONS AND SECTIONS.
ALL EXTERIOR WALLS ARE DESIGNED AS SHEARWALLS.

KEY NOTES

- (PCX) PRE-CAST CONCRETE LINTEL - SEE DETAILS THIS SHEET
- (C1) 16"x16" CMU COLUMN W/ (2) 5 VERT CONT BAR IN ALL GROUT FILLED CELL
- (C2) 12"x24" CMU BEARING COLUMN FOR PC5 WITH TOP OF MASONRY OF 10'-4"
- (W1) 2X4 WOOD FRAME BEARING WALL - SEE FOUNDATION PLAN FOR DIMENSIONS AND STRUCTURAL DETAILS
- (W2) 12" WIDE MASONRY BEARING WALL AND COLUMN - USE 12"x8"x16" CMU
- (N1) (2) 8X2 P.T. MULLION BETWEEN DOOR AND TRANSOM ATTACHED W/ SIMPSON HUG48 AT EACH END TO WALL

WALL REINFORCEMENT

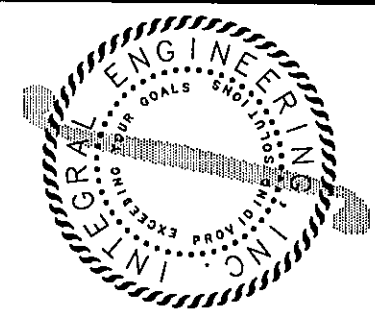
(1) 5 @ 48" O.C. MAXIMUM U.O.N. EXTERIOR AND SEPARATION WALLS

INDICATES REINFORCED FILLED CELLS AT FIRST FLOOR WALLS ONLY

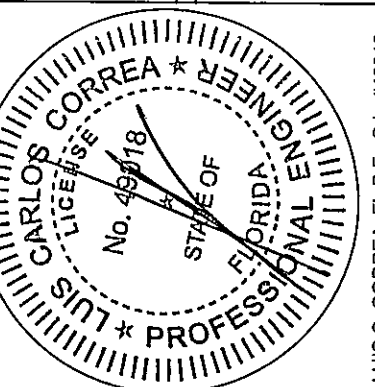
INDICATED CONTINUOUS REINFORCEMENT FROM FIRST FLOOR TO SECOND FLOOR WALLS

CMU WALL LEGEND

- 8"x8"x16" CMU BEARING WALL, INTERIOR AND EXTERIOR, EXTENDING TO TOP OF SECOND FLOOR
- 8"x8"x16" CMU BEARING WALL, INTERIOR AND EXTERIOR, FIRST FLOOR ONLY TO TOP OF MASONRY OF 9'-4"
- 8"x8"x16" CMU BEARING BELOW BALCONIES, FIRST FLOOR ONLY TO TOP OF MASONRY OF 9'-0"



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I HEREBY CERTIFY THAT I HAVE REVIEWED THIS DESIGN AND SPECIFICATION WITH THE 2010 FLORIDA BUILDING CODE.
SIGNED AND SEALED FOR THE STRUCTURAL PORTION OF THIS DRAWING ONLY.
THIS DRAWING IS VALID FOR 12 MONTHS AFTER THE DATE IT IS SIGNED AND SEALED.

ISSUE DATE:	REVISIONS

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Fort Myers, Florida 33913

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7 Unit Condominium Building
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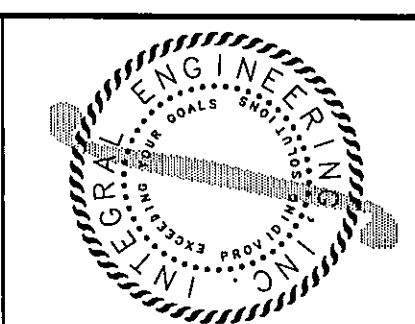


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DRAWN: LCC CHECKED:

FIRST FLOOR PLAN
STRUCTURAL

S2.0

02-13-14 Permit Set



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LUTZ, FL 33558
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www.integraleng.com

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Luis C. Correa, P.E., S.E. #48018
Professional Engineer Seal

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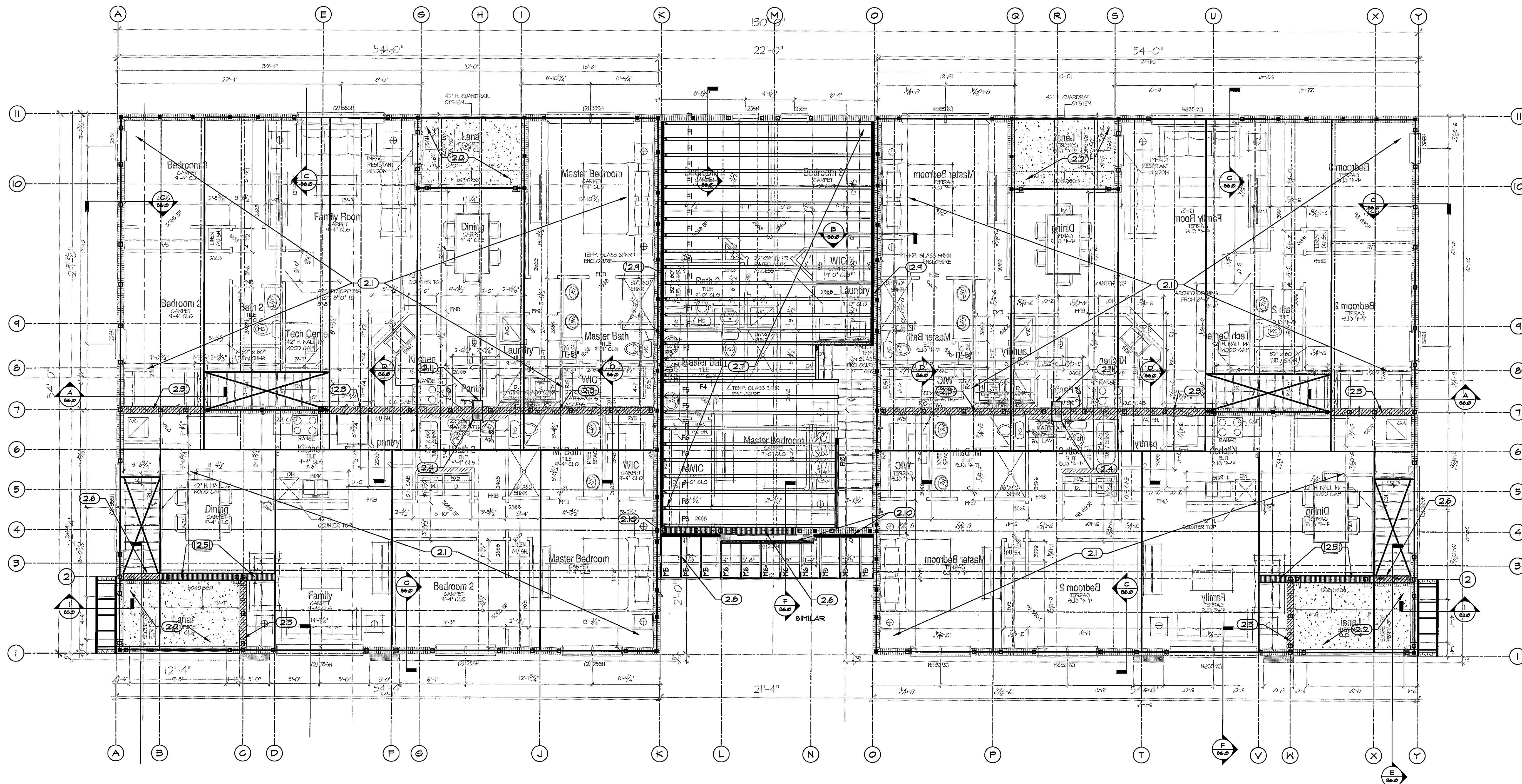
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LOWER ROOF AND
SECOND FLOOR
FRAMING PLAN

S3.0

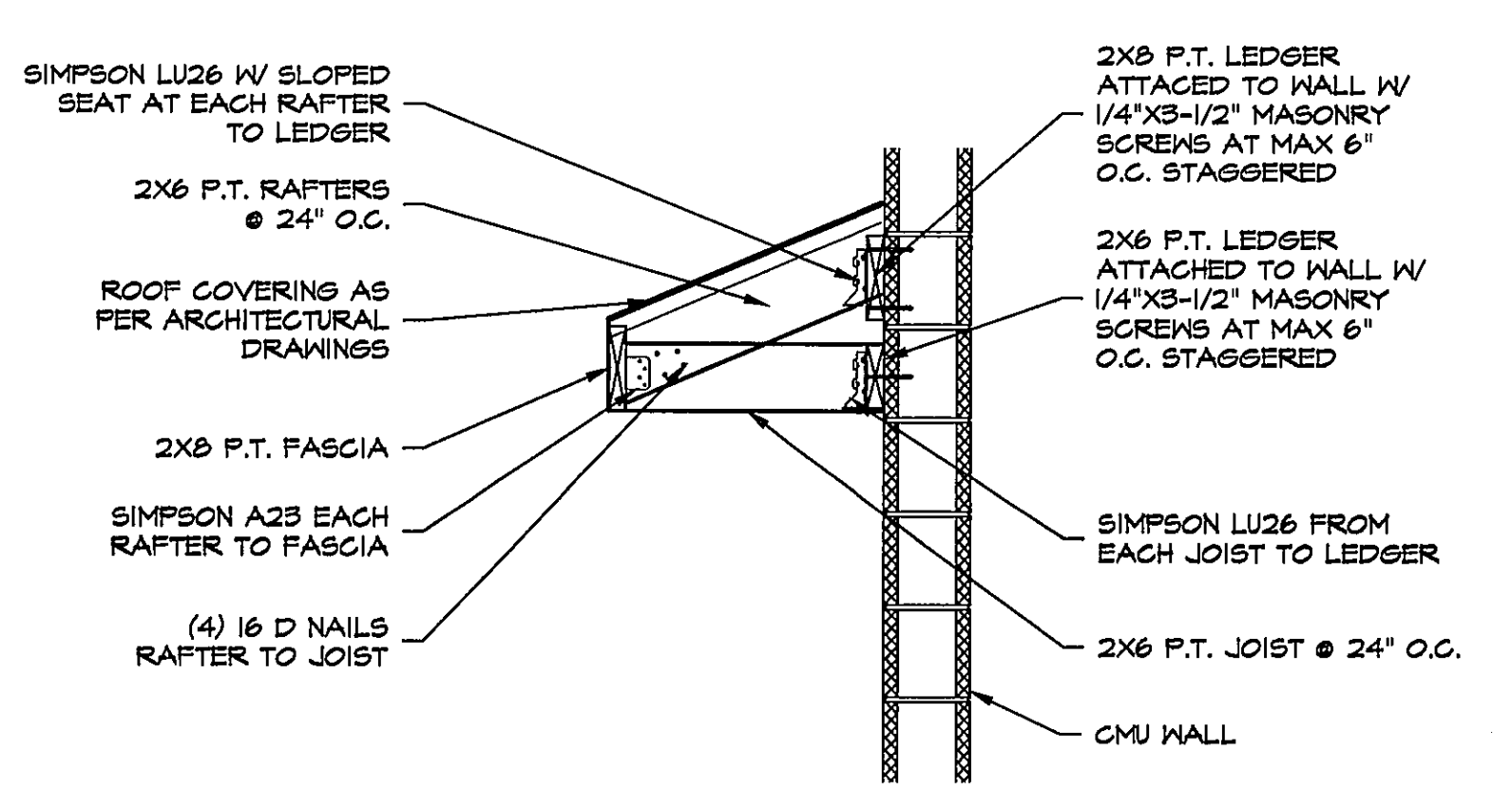
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LOWER ROOF AND SECOND FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"

KEY NOTES

- (2.1) 8" DEEP PRE-CAST PRE-ENGINEERED CONCRETE QUAD TEE FLOOR SYSTEM - SEE SHOP DRAWINGS - TOP AT 10'-0" AFF.
- (2.2) 4" DEEP PRE-CAST PRE-ENGINEERED CONCRETE QUAD TEE FLOOR SYSTEM - SEE DETAILS - TOP AT 9'-8" AFF.
- (2.3) CMU WALL ABOVE SUPPORTED BY LINTEL NOT BEARING ON QUAD TEE SLAB - BOTTOM AT 9'-4" AFF, SEE SHEET S2.0
- (2.4) 12"x24" PENETRATION IN CONCRETE QUAD TEE FLOOR SLAB FOR CMU WALL SUPPORTING UPSET LINELS - TOP AT 10'-4"
- (2.5) CMU WALL ABOVE SUPPORTED BY LINTEL WITH BOTTOM ELEV AT 8'-8" - SEE SHEET S2.0
- (2.6) CMU WALL ABOVE SUPPORTED BY LINTEL WITH BOTTOM ELEV AT 9'-4" - SEE SHEET S2.0
- (2.7) PRE-MANUFACTURED WOOD FLOOR TRUSSES. SEE SHOP DRAWINGS.
- (2.8) PRE-MANUFACTURED ROOF ROOF TRUSSES. SEE SHOP DRAWINGS.
- (2.9) (2) 2X12 P.T. LEDGER ATTACHED TO CMU TIE BEAM AS PER WALL SECTION.
- (2.10) (1) 2X8 P.T. LEDGER ATTACHED TO CMU WALL W/ 1/4"x3" TAPCONS @ 6" O.C. STAGGERED.
- (2.11) SEE FC-5 ON SHEET S2.0 FOR BEARING OF PRECAST SLAB OVER COLUMN



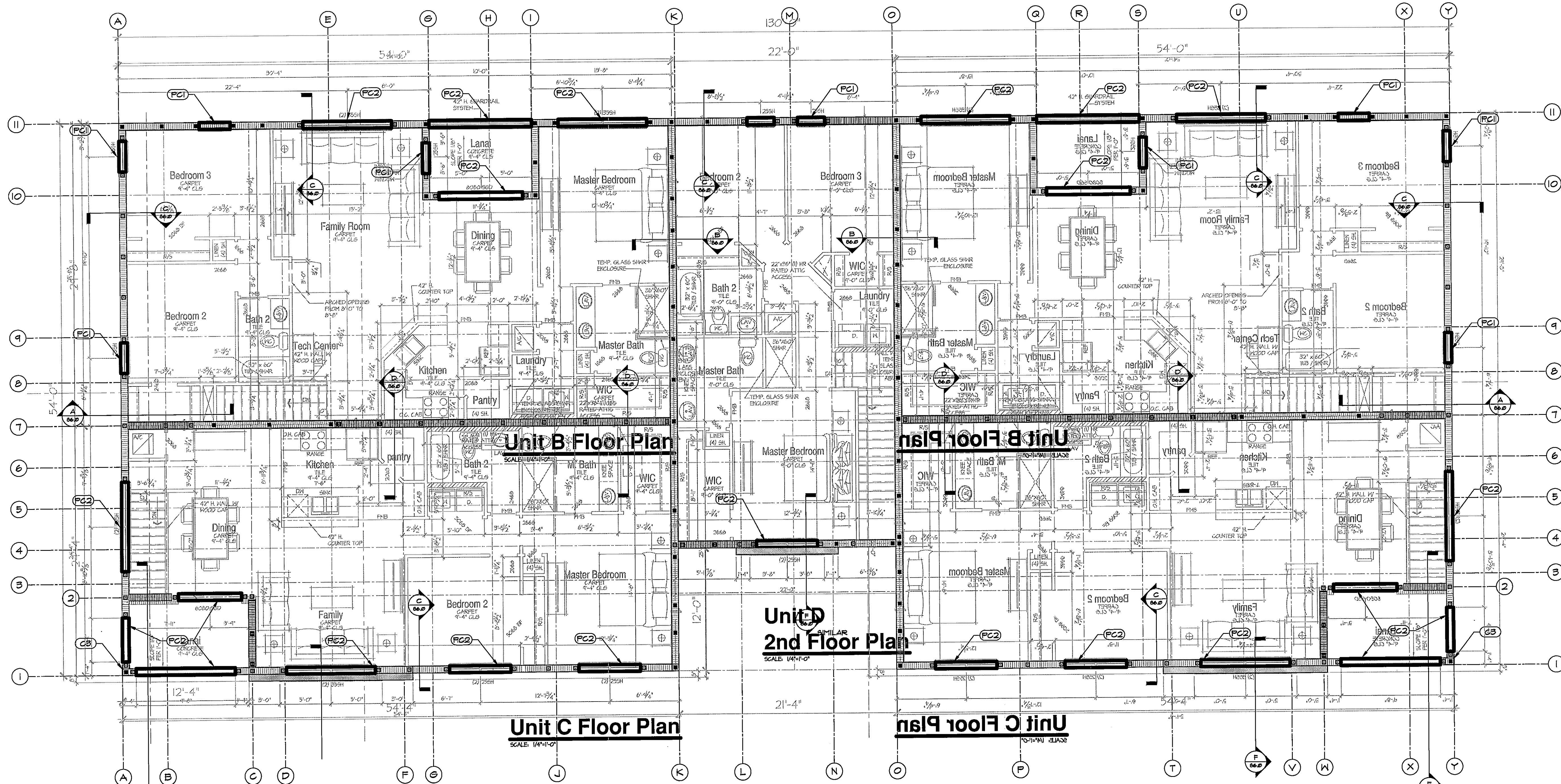
SECTION AT DOOR SIDE ROOF
SCALE: 3/4" = 1'-0"

WALL REINFORCEMENT DOWELS

(1) 5 @ 48" O.C. MAXIMUM U.O.N., 25" MIN LAP SPLICE	
INDICATES 5 DOWELS FOR SECOND FLOOR WALLS ONLY	□
INDICATED CONTINUOUS 5 REINFORCEMENT FROM FIRST FLOOR TO SECOND FLOOR WALLS	■

JOB SITE PLANS

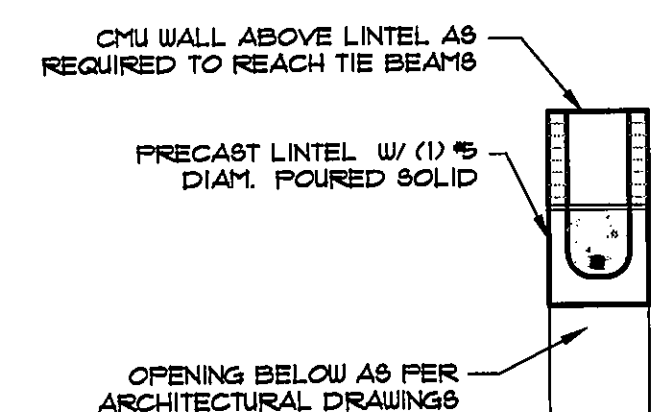
This set of plans must be kept on the job site of work at all times, per Sarasota County Ordinance Sarasota County Construction and Property Standards Department



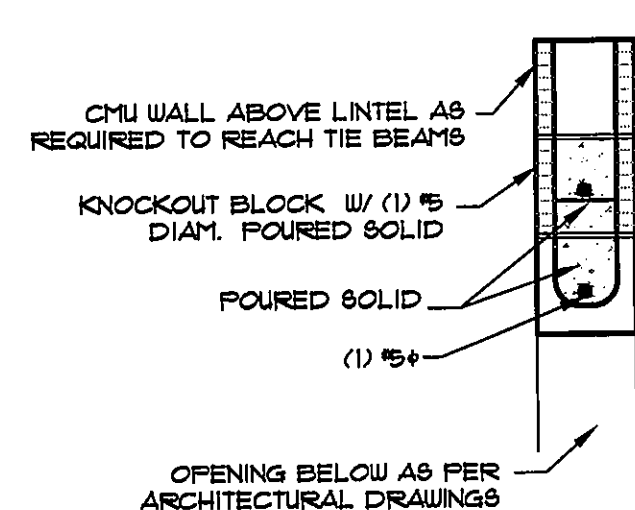
SECOND FLOOR PLAN - STRUCTURAL
SCALE: 3/16" = 1'-0"

JOB SITE PLANS
This set of plans must be kept on the job site of work at all times, per Sarasota County Ordinance 2004-10, and must be maintained in accordance with the standards of the Department of Public Works.

PRECAST CONCRETE LINTEL SCHEDULE



PCI



PC2

FLOOR PLAN NOTES

TOP OF MASONRY WALLS ARE BASED ON ARCHITECTURAL DRAWINGS. VERIFY SUCH ELEVATIONS WITH ARCHITECTURAL ELEVATIONS AND SECTIONS.
ALL EXTERIOR WALLS ARE DESIGNED AS SHEARWALLS.

KEY NOTES

- PCX PRE-CAST CONCRETE LINTEL - SEE DETAILS THIS SHEET
- CS 16"x16"x8" 1" SHAPE CMU COLUMN W/ (3) #5 VERT CONT BAR IN ALL GROUT FILLED CELL

WALL REINFORCEMENT

(1) #5 @ 48" O.C. MAXIMUM U.O.N., EXTERIOR AND SEPARATION WALLS

INDICATES REINFORCED FILLED CELLS AT SECOND FLOOR WALLS ONLY	□
INDICATED CONTINUOUS REINFORCEMENT FROM FIRST FLOOR TO SECOND FLOOR WALLS	■

WALL LEGEND

- 8"x8"x16" CMU BEARING WALL, INTERIOR AND EXTERIOR, EXTENDING FROM FIRST FLOOR TO TOP OF SECOND FLOOR - TOP OF MASONRY OF 19'-4"
- 8"x8"x16" CMU BEARING WALL, INTERIOR AND EXTERIOR, SECOND FLOOR ONLY TO TOP OF MASONRY OF 19'-4"
- DECORATIVE FRAME WALL. SEE STRUCTURAL SHEET 86.0

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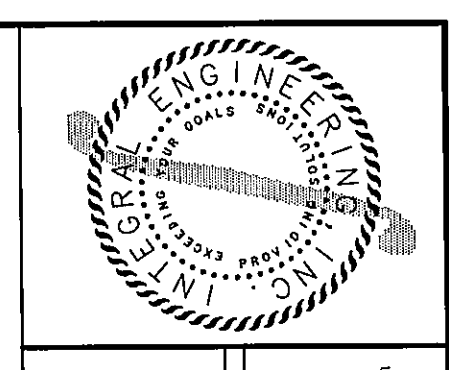
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904.732.7335

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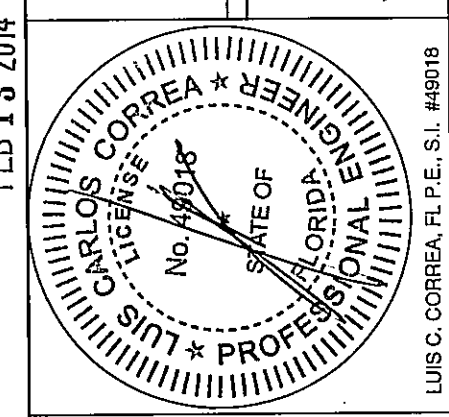
SECOND FLOOR PLAN
STRUCTURAL

S4.0

FEB 13 2014



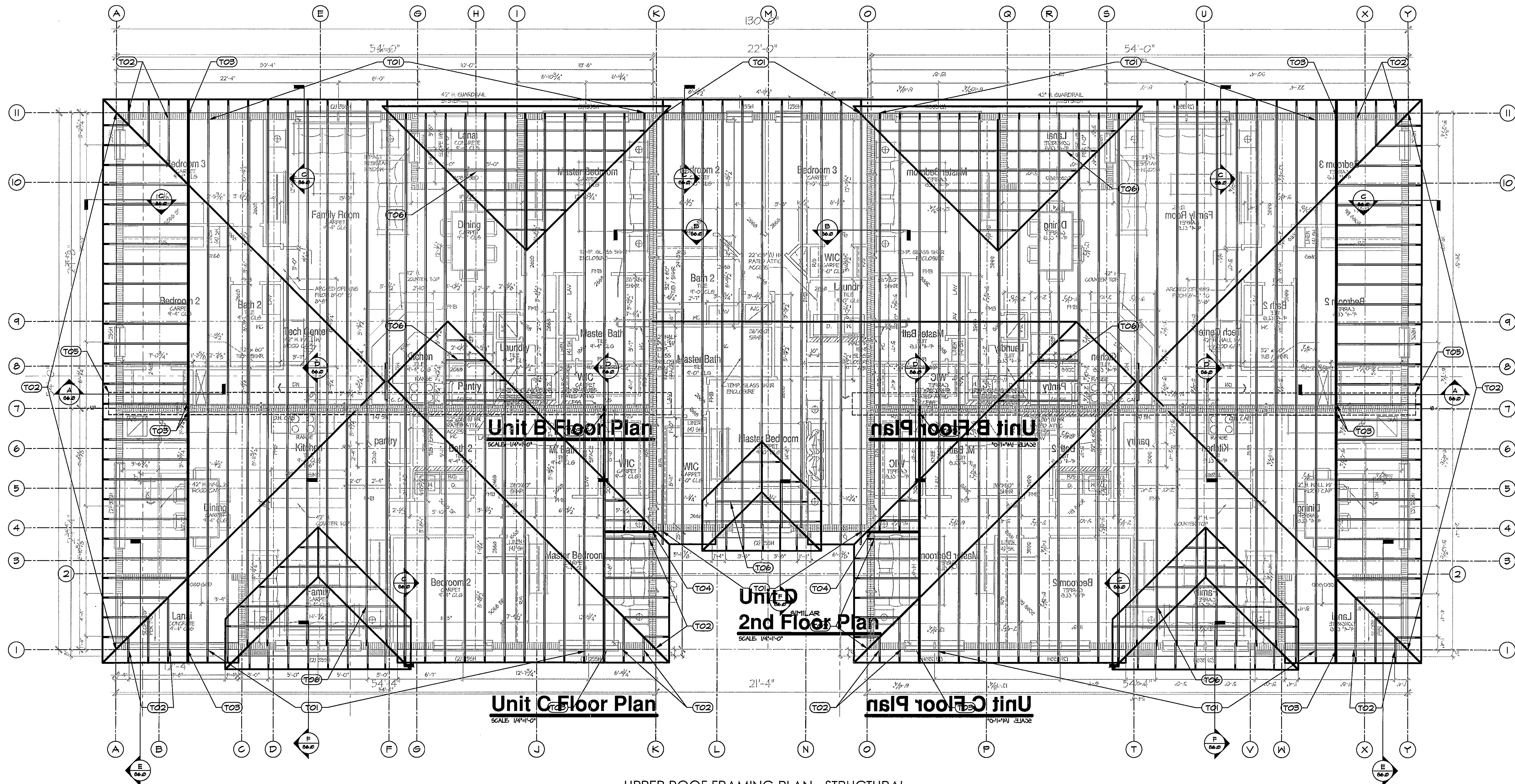
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TAMPA, FL 33613
Phone: 813.888.8882
Fax: 813.888.8883
www.integralengineering.com



EVERY CERTIFY PART HAVE
REVIEWED THIS DESIGN AND
FOUND IT TO BE IN COMPLIANCE
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ISSUE DATE:	REVISIONS

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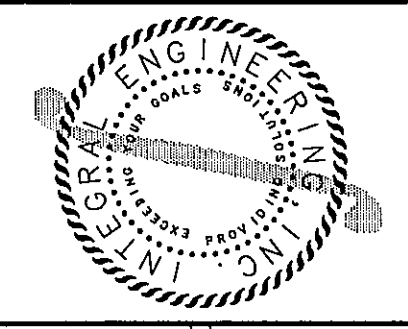
UPPER ROOF FRAMING PLAN - STRUCTURAL
SCALE: 3/16" = 1'-0"

JOB SITE PLANS

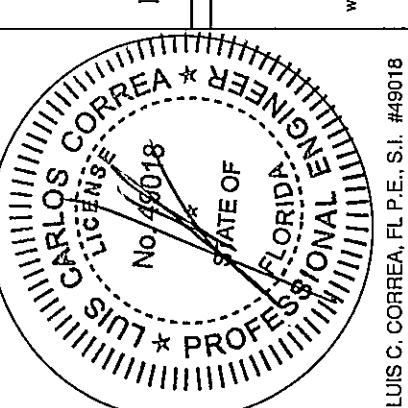
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KEY NOTES

- (T01) SIMPSON HHETA20 OR LTA2 FROM TRUSS TO MASONRY WALL
- (T02) SIMPSON META20 FROM TRUSS TO MASONRY WALL
- (T03) SIMPSON DOUBLE HHETA20 OR LTA2 FROM GIRDER TO MASONRY - VERIFY DIMENSIONS WITH SIZE OF GIRDER
- (T04) SIMPSON MGT FROM GIRDER TO TOP OF WALL
- (T05) REFER TO SEPARATION WALL SECTION FOR REQUIRED CONNECTORS FOR TRUSSES.
- (T06) VALLEY FRAMING PROVIDED BY TRUSS MANUFACTURER
- (T07) SIMPSON HHETA20 @ 48" O.C. FOR TRUSS IF PROVIDED OVER CMU FIRE WALL.



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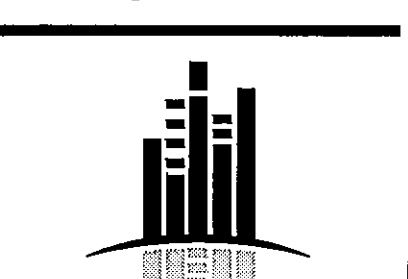


- I, LUIS C. CORREA, CERTIFY THAT I HAVE REVIEWED THE DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH THE 2010 FLORIDA BUILDING CODE.
- I, CARLOS CORREA, CERTIFY THAT I HAVE REVIEWED THE DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH THE 2010 FLORIDA BUILDING CODE.
- THIS DRAWING IS VALID FOR 12 MONTHS FROM THE DATE OF ISSUANCE.
- THIS DRAWING IS VALID FOR 12 MONTHS FROM THE DATE OF ISSUANCE.

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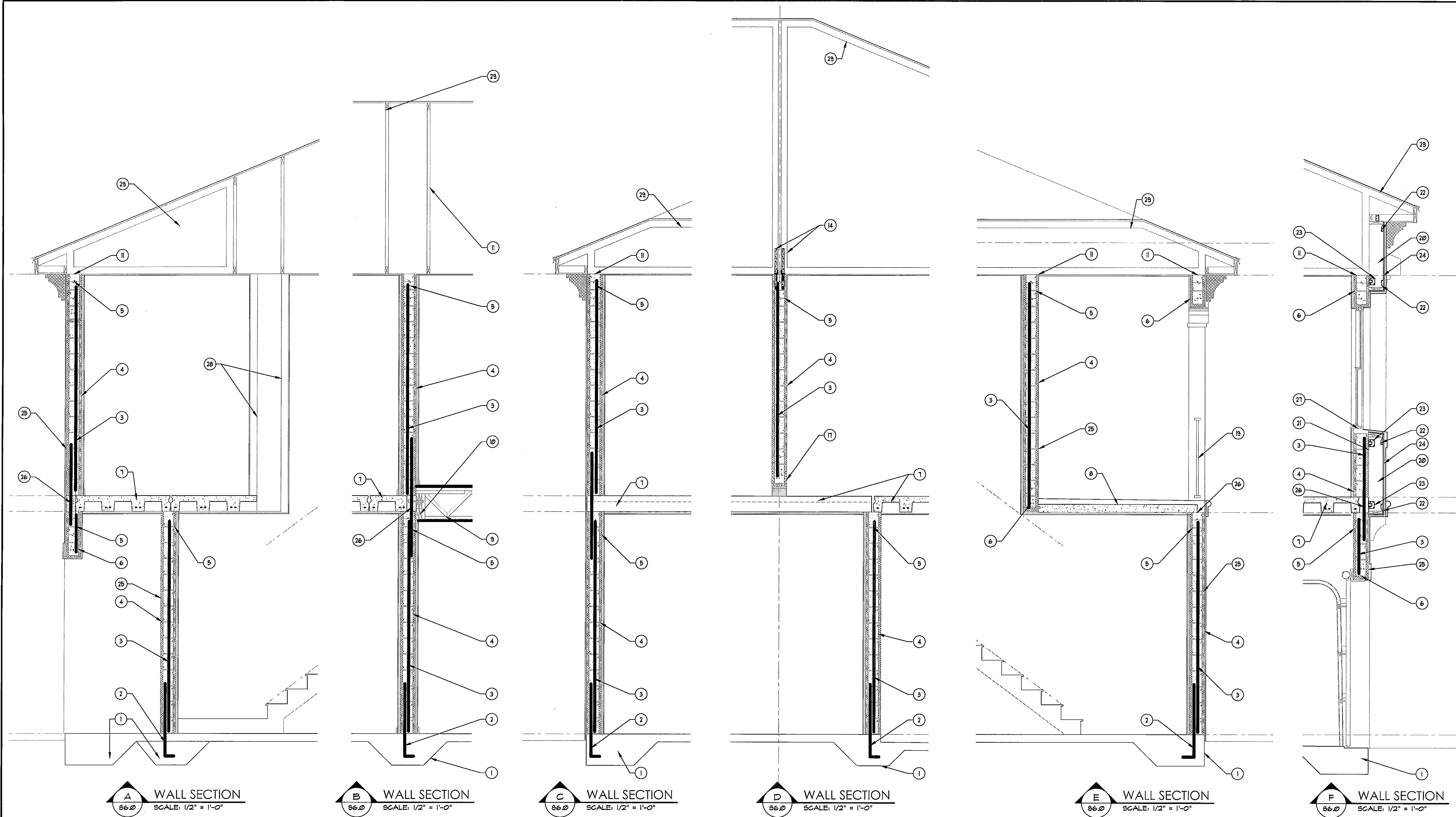
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UPPER ROOF FRAMING
PLAN - STRUCTURAL

S5.0

02-13-14 Permit Set



KEY NOTES

- SEE FOUNDATION PLAN FOR FOOTING DETAILS AND ARCHITECTURAL PLANS FOR ELEVATIONS
- 5" DOWEL W/ STANDARD HOOK AND MIN 25" LAP SPLICE AT LOCATIONS OF REINFORCED FILLED CELLS ABOVE
- 5" CONT VERT BAR IN GROUT FILLED CELL - SEE FLOOR PLANS S2.0 AND S4.0 FOR LOCATIONS
- 8"x8"x16" CMU WALL - SEE ARCHITECTURAL DRAWINGS FOR REQUIRED FINISHES
- DOUBLE 8" K.O. BLOCK TIE BEAM W/ (2) 5" HOR CONTINUOUS BAR ALL GROUT FILLED
- PRECAST CONCRETE LINTEL ASSEMBLY AS PER FLOOR PLANS IN SHEETS S2.0 AND S4.0

- 8" QUAD TEE PRECAST CONCRETE FLOOR SYSTEM AS PER FRAMING PLANS IN SHEET S3.0
- 4" PRECAST CONCRETE FLOOR SYSTEM AS PER FRAMING PLANS IN SHEET S3.0
- PRE-MANUFACTURED WOOD FLOOR TRUSSES AS PER FRAMING PLANS
- (2) 2x12 P.T. LEDGER W/ 3/4" X 9" ANCHOR BOLTS OR WEDGE ANCHORS @ 16" O.C. STAGGERED - PLACE AT DIFFERENT SPACING LOCATION OF ANCHOR BOLTS ON OPPOSITE SIDE OF WALL
- SEE TRUSS ROOF FRAMING PLAN IN SHEET S5.0 FOR REQUIRED CONNECTOR
- NOT USED
- NOT USED

- PRE-ENGINEERED WOOD ROOF TRUSSES TO BEAR ON TOP OF WALL - USE SIMPSON H-HETA20 FROM TIE BEAM TO VERTICAL BEARING CHORD
- NOT USED
- NOT USED
- SEE PCB LINTEL ASSEMBLY DETAIL IN SHEET S2.0 AND ARCHITECTURAL DRAWINGS FOR REQUIRED FIRE WALL FILL IN IN NON-BEARING GAP
- NOT USED
- SEE ARCHITECTURAL DRAWINGS AND STRUCTURAL SPECIFICATIONS FOR REQUIRED HANDRAILS AND GUARDRAILS
- 2x8 P.T. STUDS @ 16" O.C. W/ 2x8 P.T. TOP AND BOTTOM PLATES, PLATES TO BE LOCATED TOP AND BOTTOM

- OF WALL, TOP OF OPENING AND SILL.
- PROVIDE #20 FELT PAPER BETWEEN STUDS AND CMU WALL. FLASHING AS PER ARCHITECTURAL DRAWINGS.
- USE SIMPSON SPS TO CONNECT EACH STUD TO TOP, HEADER, SILL AND BOTTOM PLATES.
- USE SIMPSON HG4M10 AT BOT AND TOP OF STUD, AT STUD BELOW SILL PLATE, AT STUD ABOVE HEADER PLATE AND AT MAXIMUM 48" O.C. VERTICAL ALONG LONG STUDS TO MASONRY USING (4) 1/4"x2-3/4" SIMPSON TITENS OR TAPCONS AND TO STUDS W/ (4) 1/4"x1-1/2" SPS SCREWS.
- 3/4" SHEATHING ATTACHED W/ 8D SHANK NAILS AT MAXIMUM 4" O.C. EDGES AND INTERMEDIATE.

- WALL FINISH AS PER ARCHITECTURAL DRAWINGS.
- 5" HORIZONTAL BAR WITH MIN 2-1/2" COVER - FILL EDGES W/ CONCRETE
- PRECAST CONCRETE SILL UNDER WINDOWS - PROVIDE 5" CONT HOR BAR IN 8" K.O. BLOCK ALL GROUT FILLED CELL BELOW SILL
- PROVIDE NON-BEARING PARTITION FRAMING FOR CHASE OPENING
- PRE-MANUFACTURED WOOD ROOF TRUSSES AS PER SHEET S5.0. SEE STRUCTURAL NOTES IN S01 FOR ROOF SHEATHING REQUIREMENTS.

JOB SITE PLANS

This set of plans must be kept on the job site of work at all times per Sarasota County Ordinance Sarasota County Construction and Property Standards Department

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LUIS C. CORREA, P.E., S.E., #48018

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SIGNED AND SEALED FOR THE STRUCTURAL PORTION OF THIS DRAWING ONLY.

THIS DRAWING IS VALID FOR 12 MONTHS FROM THE DATE IT IS SIGNED AND SEALED.

ISSUE DATE: _____

REVISIONS: _____

THESE PLANS AND SPECIFICATIONS ARE HEREBY MADE A PART OF THE CONTRACT. ANY CHANGES MUST BE MADE BY A SIGNED AND SEALED ORDER OF THE ARCHITECT AND APPROVED BY THE ENGINEER.

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SECTIONS
STRUCTURAL

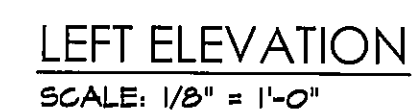
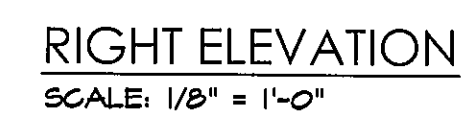
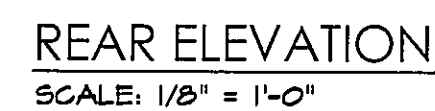
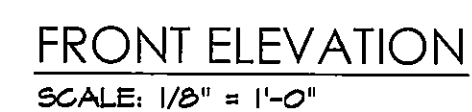
S6.0

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WIND LOADS

AS PER FLORIDA BUILDING CODE 2010, RESIDENTIAL
TABLE R301.2.1.3 AND ASCE 7-10 METHODS

ULTIMATE WIND SPEED (MPH)	170
EXPOSURE CATEGORY	B
BUILDING RISK CATEGORY	II
ROOF SLOPE	Roof > 7 to 27 degrees
INTERNAL PRESSURE COEFFICIENT	ENCLOSED 0.18
TOPOGRAPHICAL FACTOR	FLAT 1.0
MAXIMUM BUILDING HEIGHT	30 FT

Walls

Roof

WIDTH OF EDGE
STRIPS (a)

10

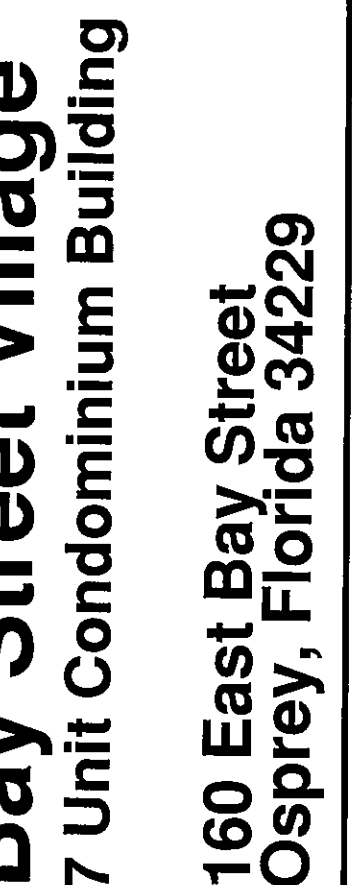
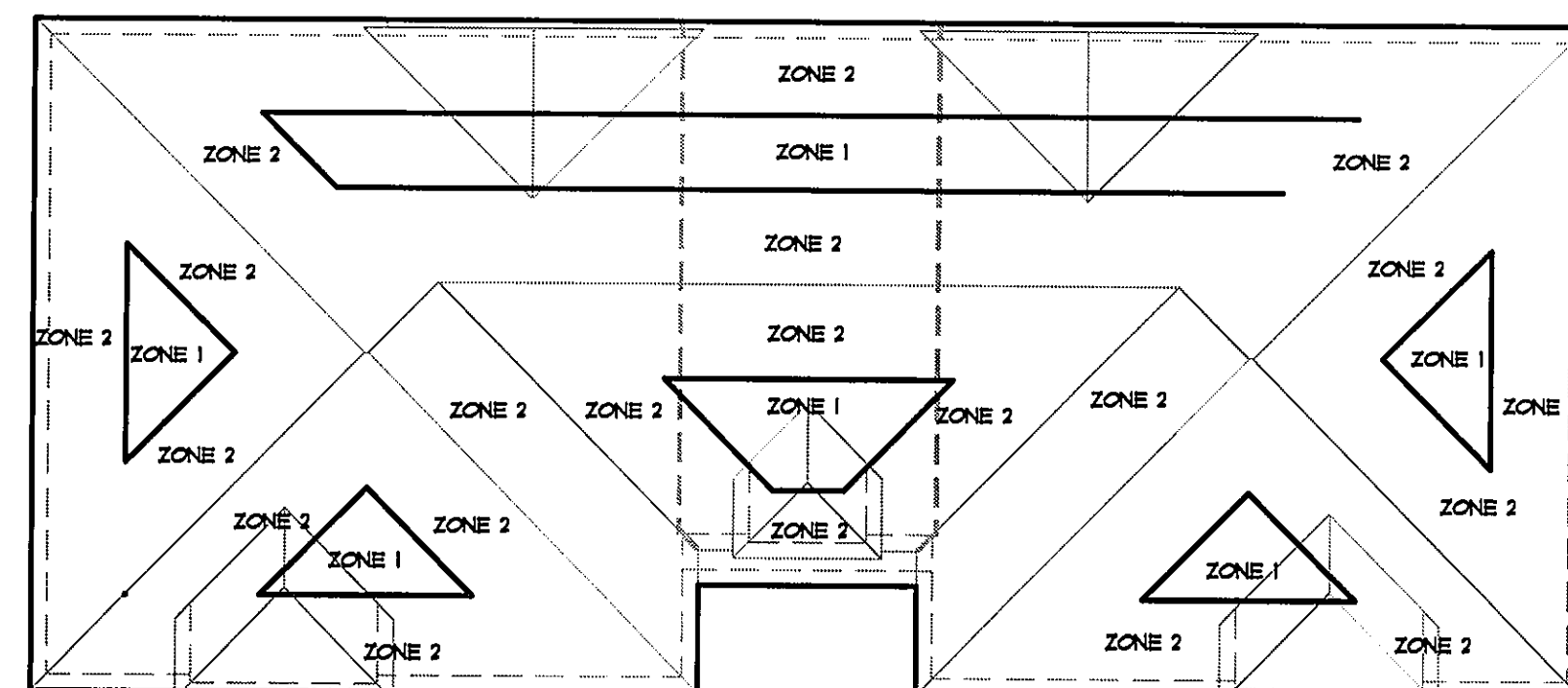
FT

OPENING PROTECTION REQUIRED

COMPONENT & CLADDING DESIGN PRESSURE (PSF)

Area of C&C (SF)	ZONE 1		ZONE 2		ZONE 3		ZONE 4		ZONE 5	
	Positive	Negative	Positive	Negative	Positive	Negative	Positive	Negative	Positive	Negative
10	31.1	-47.7	30.1	-83.2	30.1	-122.9	52.2	-56.6	52.2	-69.9
20	27.4	-46.5	27.4	-76.5	27.4	-114.9	49.9	-54.3	49.9	-65.2
50	23.9	-44.7	23.9	-67.7	23.9	-104.4	46.7	-51.1	46.7	-58.9
100	21.2	-43.3	21.2	-61.1	21.2	-96.4	44.4	-48.8	44.4	-54.3

WINDOWS AND DOORS DESIGN PRESSURES (P _{DP})						
MARK	SIZE (FT)		AREA (SF)	Design Pressure (P _{DP})		Remarks
	WIDTH	HEIGHT		Positive	Negative	
W01	8'-6"	5'-0"	42.5	28.0	-30.4	
W02	9'-10"	4'-10"	28.2	28.0	-30.4	
W03	1'-10"	1'-10"	3.4	23.3	-31.1	
W04	8'-8"	5'-0"	35.3	28.0	-30.4	
W05	3'-0"	5'-0"	15.0	23.3	-30.0	
W06	3'-0"	5'-0"	15.0	23.3	-31.1	
W07	2'-0"	5'-0"	10.0	23.3	-30.4	
W08	4'-4"	5'-0"	21.1	28.0	-30.4	
W09	6'-0"	5'-0"	30.0	28.0	-30.4	
D01	6'-0"	8'-0"	48.0	28.0	-36.1	
D02				24.1	-28.0	GARAGE DOOR
D03	3'-0"	8'-0"	24.0	28.0	-30.4	
D04	3'-0"	8'-0"	24.0	28.0	-36.1	
D05	8'-0"	8'-0"	64.0	26.3	-28.1	



02-13-14 Permit Set

A TYPICAL MASONRY SHEAR WALL
SD2 NOT TO SCALE

B STEPPED MASONRY TIE BEAM
SP2 NOT TO SCALE


NOTES:

- REMOVE ALL PROTRUSIONS EXTENDING 1/2" OR MORE INTO CELLS OR CAVITIES TO BE GROUTED.
- SPACES TO BE GROUTED SHALL BE FREE OF MORTAR DROPPINGS, DEBRIS, LOOSE AGGREGATES, & ANY MATERIAL DELETERIOUS TO MASONRY GROUT.

- NOTE:
1. EACH JAMB OPENING TO BE REINFORCED W/
(1) #5 BAR VERT. IN CONC. FILLED CELL.
 2. PRECAST LINTEL FOR OPENING GREATER THAN OR EQUAL
TO 6'-0" TO HAVE #5 BENT BARS INTO JAMBS AS SHOWN
 3. PRECAST LINTELS SHALL BE
"CAST CRETE" OR EQUAL.

C TYPICAL PRECAST LINTEL
SD2 NOT TO SCALE

CONTINUITY OF TIE BEAM REINF.
AT CORNERS DETAILS


 CONTINUITY OF REINF. IN FOOTINGS
 NOT TO SCALE

G GARAGE DOOR DETAIL
SD2 NOT TO SCALE

BAR SIZE	180° HOOK			90° HOOK	
	A or G	J	D	A or G	D
#3	5"	3"	2 1/4"	6"	2 1/4"
#4	6"	4"	3"	8"	3"
#5	7"	5"	3 3/4"	10"	3 3/4"
#6	8"	6"	4 1/2"	12"	4 1/2"
#7	10"	7"	5 1/4"	14"	5 1/4"
#8	11"	8"	6"	16"	6"
#9	15"	11 3/4"	9 1/2"	19"	9 1/2"
#10	17"	13 1/4"	10 3/4"	22"	10 3/4"



STANDARD HOOK
NOT TO SCALE

 SILL & HEADER DETAIL MASONRY OPENINGS
NOT TO SCALE

2"x 4" COLUMNS W (1) ROW OF STAGGERED 16d
COMMON WIRE NAILS (D = 0.162", L = 3 1/2")

2"x 6" OR 2"x 8" COLUMNS W/ (2) ROWS
OF STAGGERED 16d COMMON WIRE
NAILS (P = 0.162", L = 3 1/2")


- NOTES:
1. ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN
 2. ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION
 3. FOR 3-PLY, COLUMN SHALL BE NAILED AS SHOWN FROM EACH SIDE (ONE INTO EACH OUTSIDE FACE OF BULK, SAME NUMBER OF BOLTS SAME SPACING)
 4. FOR 4-PLY, PROVIDE 1/4" DIA. x 1/2" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
 5. FOR 5-PLY, PROVIDE 1/4" DIA. x 1" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)
 6. REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFORMATION

L BRG. FRAME WALL SECT (NO UPLIFT)

K TYPICAL STUD COLUMN AND JACK NAILING
SD2 NOT TO SCALE

M DOOR JAMB DETAIL - MASONRY
SD2 NOT TO SCALE

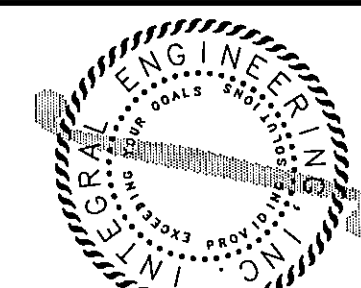
DOUBLE END STUD
NOT TO SCALE


 END STUD INT
 NOT TO SCALE

Q TOP PLATE FASTENERS
SD2 NOT TO SCALE

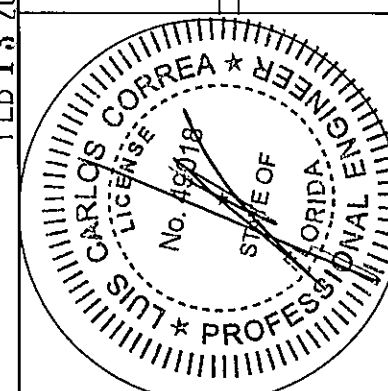
JOB SITE PLANS

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ENGINEERING,

15704 TOBACCO ROAD
LUTZ, FL 33558
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www.integralengineeringinc.com



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- SIGNED AND SEALED FOR THE STRUCTURAL PORTION OF THIS DRAWING ONLY.
- THIS DRAWING IS VALID FOR 12 MONTHS AFTER THE DATE IT IS

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Bay Street Village
6 Unit Condominium Building

160 East Bay Street
Osprey Florida 34229



BSE
DESIGN

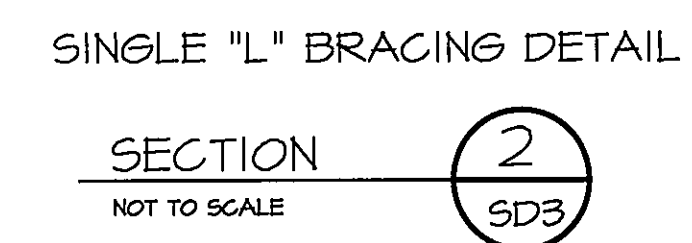
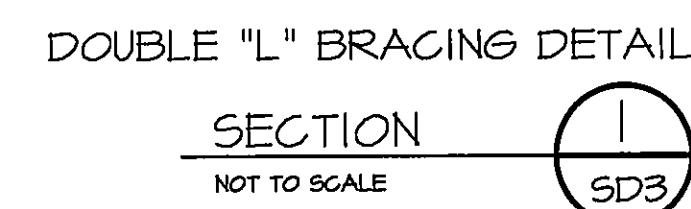
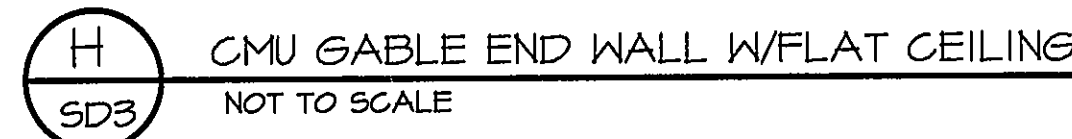
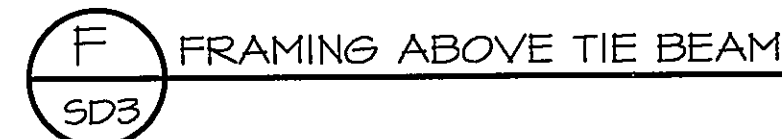
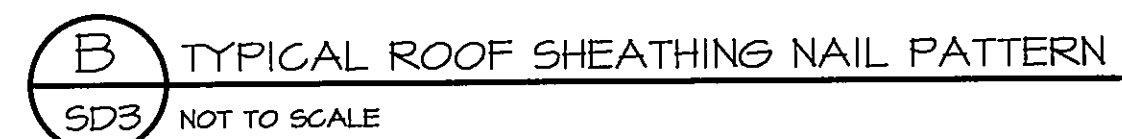
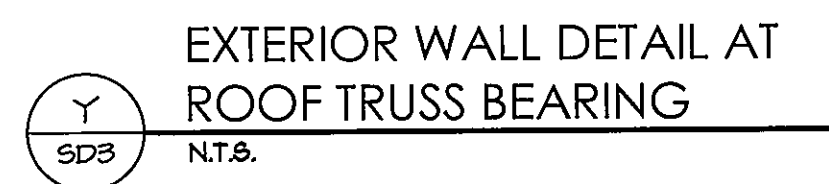
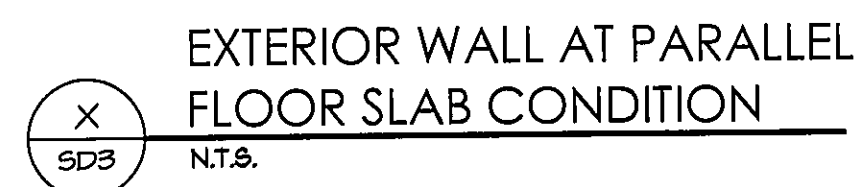
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11512 Lake Mead Ave., #
Jacksonville, Florida 322
904 732 7335

JOB NO: 02T12034 PROJ MGR: LCC
DRAWN: LCC CHECKED:

STRUCTURAL NOTES
AND DETAILS

SD2

02-13-14 Permit Set

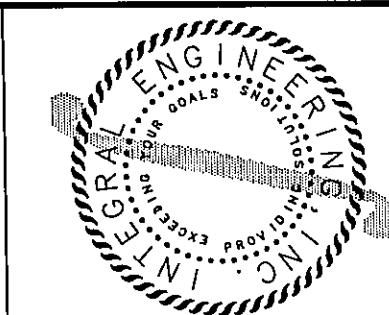


G GABLE END "L" BRACING NOTES
SD3

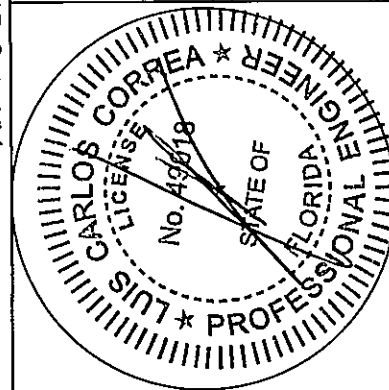
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Sarasota County Construction and Property Ordinances Department

02-13-14 Permit Set



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Bay Street Village
6 Unit Condominium Building

160 East Bay Street



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JOB NO: 02T12034 PROJ MGR:
DRAWN: LCC CHECKED:

STRUCTURAL NOTES AND DETAILS

SD3

LOAD CALCULATION - UNIT TYPE "B"					
PER NEC 2008 EDITION ARTICLE 220.82					
TOTAL LIVING		1,590 SQ. FEET			
GENERAL LIGHTING	3 VA	X	1,590 SQ. FEET	=	4,770 VA
SMALL APPLIANCE	2 CKT	X	1,500 VA	=	3,000 VA
LAUNDRY	1 CKT	X	1,500 VA	=	1,500 VA
TOTAL CONNECTED GENERAL LOAD				=	9,270 VA
WATER HEATER			=	6,000 VA	
REFRIGERATOR			=	800 VA	
GARBAGE DISPOSER			=	1,200 VA	
DISHWASHER			=	900 VA	
RANGE			=	8,000 VA	
DRYER			=	5,000 VA	
MICROWAVE			=	1,200 VA	
TOTAL CONNECTED FIXED APPLIANCE LOAD				=	23,100 VA
TOTAL CONNECTED GENERAL LOAD AND FIXED APPLIANCE LOAD				=	32,370 VA
SUB-TOTAL GENERAL LOAD - 1st 10kVA @ 100%				=	10,000 VA
SUB-TOTAL GENERAL LOAD - Remainder @ 40%				=	8,948 VA
TOTAL GENERAL LOAD				=	18,948 VA
A/C and CENTRAL HEAT LOAD - (100% of the larger load)					
AHU-2	3 TON W/ 10.0KW AUX HEAT	X 65%	=	9,126 VA	
CU-2 (heat pump)	3 TONS	X 100%	=	5,280 VA	
TOTAL HEAT LOAD (heat pump and aux heat do not run concurrent)				=	9,126 VA
TOTAL DEMAND LOAD				=	28,074 VA
AMPS AT 240 VOLTS SINGLE PHASE				=	117 AMPS

LOAD CALCULATION - UNIT TYPE "C"					
PER NEC 2008 EDITION ARTICLE 220.82					
TOTAL LIVING		1,269 SQ. FEET			
GENERAL LIGHTING	3 VA	X	1,269 SQ. FEET	=	3,807 VA
SMALL APPLIANCE	2 CKT	X	1,500 VA	=	3,000 VA
LAUNDRY	1 CKT	X	1,500 VA	=	1,500 VA
TOTAL CONNECTED GENERAL LOAD				=	8,307 VA
WATER HEATER			=	6,000 VA	
REFRIGERATOR			=	800 VA	
GARBAGE DISPOSER			=	1,200 VA	
DISHWASHER			=	900 VA	
RANGE			=	8,000 VA	
DRYER			=	5,000 VA	
MICROWAVE			=	1,200 VA	
TOTAL CONNECTED FIXED APPLIANCE LOAD				=	23,100 VA
TOTAL CONNECTED GENERAL LOAD AND FIXED APPLIANCE LOAD				=	31,407 VA
SUB-TOTAL GENERAL LOAD - 1st 10kVA @ 100%				=	10,000 VA
SUB-TOTAL GENERAL LOAD - Remainder @ 40%				=	8,563 VA
TOTAL GENERAL LOAD				=	18,563 VA
A/C and CENTRAL HEAT LOAD - (100% of the larger load)					
AHU-3	2-1/2 TON W/ 10.0KW AUX HEAT	X 65%	=	9,126 VA	
CU-3 (heat pump)	2-1/2 TONS	X 100%	=	5,064 VA	
TOTAL HEAT LOAD (heat pump and aux heat do not run concurrent)				=	9,126 VA
TOTAL DEMAND LOAD				=	27,689 VA
AMPS AT 240 VOLTS SINGLE PHASE				=	115 AMPS

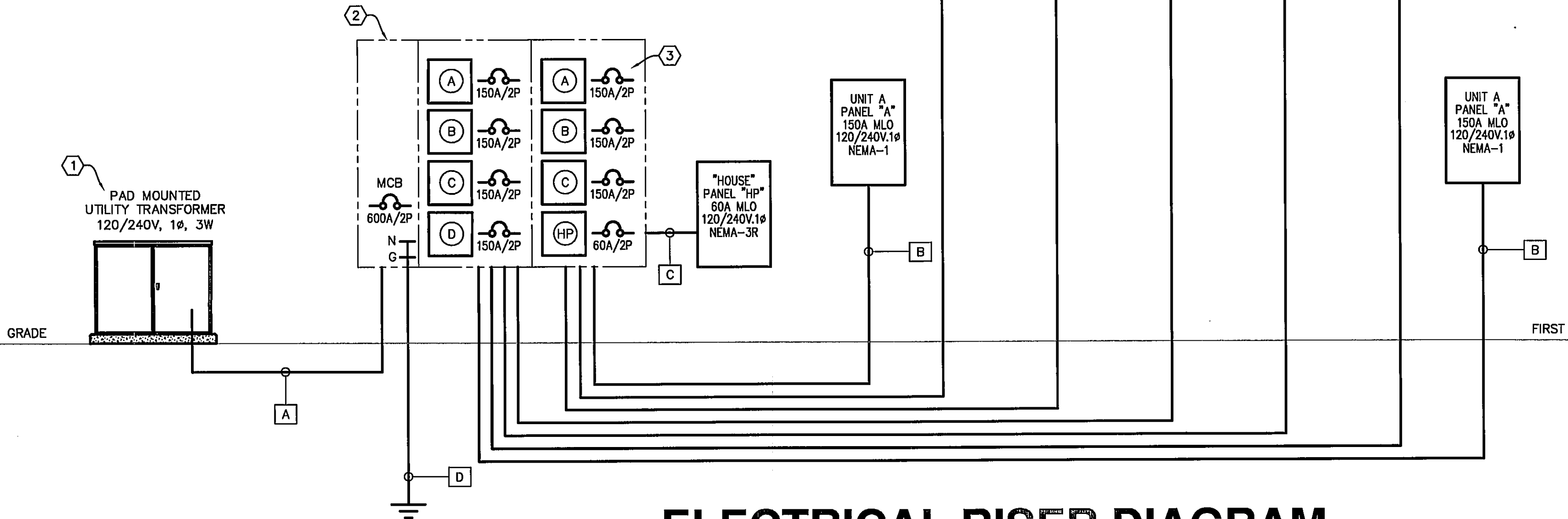
LOAD CALCULATION - UNIT TYPE "D"					
PER NEC 2008 EDITION ARTICLE 220.82					
TOTAL LIVING		1,655 SQ. FEET			
GENERAL LIGHTING	3 VA	X	1,655 SQ. FEET	=	4,965 VA
SMALL APPLIANCE	2 CKT	X	1,500 VA	=	3,000 VA
LAUNDRY	1 CKT	X	1,500 VA	=	1,500 VA
TOTAL CONNECTED GENERAL LOAD				=	9,465 VA
WATER HEATER			=	6,000 VA	
REFRIGERATOR			=	800 VA	
GARBAGE DISPOSER			=	1,200 VA	
DISHWASHER			=	900 VA	
RANGE			=	8,000 VA	
DRYER			=	5,000 VA	
MICROWAVE			=	1,200 VA	
TOTAL CONNECTED FIXED APPLIANCE LOAD				=	23,100 VA
TOTAL CONNECTED GENERAL LOAD AND FIXED APPLIANCE LOAD				=	32,565 VA
SUB-TOTAL GENERAL LOAD - 1st 10kVA @ 100%				=	10,000 VA
SUB-TOTAL GENERAL LOAD - Remainder @ 40%				=	9,026 VA
TOTAL GENERAL LOAD				=	19,026 VA
A/C and CENTRAL HEAT LOAD - (100% of the larger load)					
AHU-4	3 TON W/ 10.0KW AUX HEAT	X 65%	=	9,126 VA	
CU-4 (heat pump)	3 TONS	X 100%	=	5,280 VA	
TOTAL HEAT LOAD (heat pump and aux heat do not run concurrent)				=	9,126 VA
TOTAL DEMAND LOAD				=	28,152 VA
AMPS AT 240 VOLTS SINGLE PHASE				=	117 AMPS

LOAD CALCULATION - UNIT TYPE "A"					
PER NEC 2008 EDITION ARTICLE 220.82					
TOTAL LIVING		1,574 SQ. FEET			
GENERAL LIGHTING	3 VA	X	1,574 SQ. FEET	=	4,722 VA
SMALL APPLIANCE	2 CKT	X	1,500 VA	=	3,000 VA
LAUNDRY	1 CKT	X	1,500 VA	=	1,500 VA
TOTAL CONNECTED GENERAL LOAD				=	9,222 VA
WATER HEATER			=	6,000 VA	
REFRIGERATOR			=	800 VA	
GARBAGE DISPOSER			=	1,200 VA	
DISHWASHER			=	900 VA	
RANGE			=	8,000 VA	
DRYER			=	5,000 VA	
MICROWAVE			=	1,200 VA	
TOTAL CONNECTED FIXED APPLIANCE LOAD				=	23,100 VA
TOTAL CONNECTED GENERAL LOAD AND FIXED APPLIANCE LOAD				=	32,322 VA
SUB-TOTAL GENERAL LOAD - 1st 10kVA @ 100%				=	10,000 VA
SUB-TOTAL GENERAL LOAD - Remainder @ 40%				=	8,929 VA
TOTAL GENERAL LOAD				=	18,929 VA
A/C and CENTRAL HEAT LOAD - (100% of the larger load)					
AHU-1	2-1/2 TON W/ 10.0KW AUX HEAT	X 65%	=	9,126 VA	
CU-1 (heat pump)	2-1/2 TONS	X 100%	=	5,064 VA	
TOTAL HEAT LOAD (heat pump and aux heat do not run concurrent)				=	9,126 VA
TOTAL DEMAND LOAD				=	28,055 VA
AMPS AT 240 VOLTS SINGLE PHASE				=	117 AMPS

RISER DIAGRAM - WIRE TAG LEGEND	
A	2 SETS: (2) 500 MCM AL, 500 MCM AL N, 3" C.
B	(2) #3/0 AL, #3/0 AL N, #4 AL EGC, 2" C.
C	(2) #6 AL, #6 AL N, #8 AL EGC, 1" C.
D	#1/0 CU GRD AND 5/8" DRIVEN RODS PER NEC AND LOCAL CODE. BOND TO BUILDING STEEL AND/OR COLD WATER WHERE APPLICABLE.

KEYED DRAWING NOTES

- UTILITY OWNED TRANSFORMER. EXACT LOCATION, SIZE AND CHARACTERISTICS DETERMINED BY FLORIDA POWER AND LIGHT. CONTRACTOR SHALL VERIFY EXACT LOCATION PRIOR TO ROUGH-IN.
- 120/240V, 1Ø METER CENTER WITH 800 AMP MLO BUS CAPACITY AND (6) TENANT METERS WITH BREAKERS AS INDICATED. METER CENTER SHALL CONFORM TO ALL UTILITY COMPANY REQUIREMENTS. DESIGN BASIS IS SQUARE D "MP" SERIES MP METER-PAK. SEE PLAN VIEW FOR LOCATION.
- PROVIDE BREAKER AS INDICATED. VERIFY AFC WITH UTILITY COMPANY AND PROVIDE AS REQUIRED.



ELECTRICAL RISER DIAGRAM

SCALE: NONE

120/240v,1Ø

FEEDER AND SERVICE CALCULATION			
PER NEC 2008 EDITION ARTICLE 220.84			
	LOAD (VA)	NUMBER OF UNITS	TOTAL LOAD (VA)
UNIT "A"			
GENERAL LIGHTING	4,722	2	9,444
SMALL APPLIANCE & LAUNDRY	4,500	2	9,000
FIXED APPLIANCES AT 100%	23,100	2	46,200
HVAC LOAD	9,126	2	18,252
UNIT "B"			
GENERAL LIGHTING	4,770	2	9,540
SMALL APPLIANCE & LAUNDRY	4,500	2	9,000
FIXED APPLIANCES AT 100%	23,100	2	46,200
HVAC LOAD	9,126	2	18,252
UNIT "C"			
GENERAL LIGHTING	3,807	2	7,614
SMALL APPLIANCE & LAUNDRY	4,500	2	9,000
FIXED APPLIANCES AT 100%	23,100	2	46,200
HVAC LOAD	9,126	2	18,252
UNIT "D"			
GENERAL LIGHTING	4,965	1	4,965
SMALL APPLIANCE & LAUNDRY	4,500	1	4,500
FIXED APPLIANCES AT 100%	23,100	1	23,100
HVAC LOAD	9,126	1	9,126
SUBTOTAL CONNECTED LOAD			288,645
DEMAND FACTOR PER TABLE 220-84			0.44
SUBTOTAL DEMAND LOAD			127,004
HOUSE PANEL			1,425
TOTAL DEMAND LOAD			128,429 VA
SERVICE VOLTAGE			240 V
DEMAND AMPS			535 AMPS
SERVICE AMPS REQUIRED			600 AMPS
			1 PHASE

JOB SITE PLANS

This set of plans must be kept on the job site of work at all times, per Sarasota County Ordinance 3-2000, Sarasota County Construction and Property Standards Department.

Permit Set 02-04-14

Bay Street Village
7 Unit Condominium Building
160 East Bay Street
Osprey, Florida 34229

BSB DESIGN
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904 732 7335
JOB NO: 02712034 PROJ MGR: JD
DRAWN: CHECKED:
RISER DIAGRAM
AND
LOAD CALCULATIONS

D. BRIDGEMAN
America's Builder
13880 Treeline Ave, Suite 3
Fort Myers, Florida 33913

ISSUE DATE: 02/04/2014
REVISIONS
J. L. REG. NO. PE0013675

ISSUE DATE: 02/04/2014

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BUILDING
ELECTRICAL
PLANS

E2.1

Permit Set 02-04-14

JOB SITE PLANS

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KEYED DRAWING NOTES

1. FIXTURE PROVIDED SHALL BE EQUIPPED WITH A PHOTOCELL. PROVIDE UNSWITCHED CIRCUIT AS REQUIRED.
2. SEE EQUIPMENT SCHEDULE THIS SHEET FOR DISCONNECT SIZES, FUSING (WHERE REQUIRED) AND CONDUCTOR SIZES. CONDENSING UNIT DISCONNECT SWITCHES SHALL BE PROVIDED WITH BUILT-IN GFI/WP RECEPTACLES

EQUIPMENT SCHEDULE						
TAG	VOLTAGE	PHASE	PHASE	NUETRAL	GROUND	DISCONNECT MEANS
CU-1 & 3	240	1	(2) # 10	N/A	# 10	30A/2P/NF/N-3R
AHU-1,2,3 & 4	240	1	(2) # 6	N/A	# 10	60A/2P/NF/N-1
CU-2 & 4	240	1	(2) # 8	N/A	#10	60A/2P/NF/N-3R
WH	240	1	(2) # 10	N/A	# 10	30A/2P/NF/N-1
DRYER	240	1	(2) # 10	#10	#10	RECEPTACLE
RANGE	240	1	(2) # 8	#10	#10	RECEPTACLE

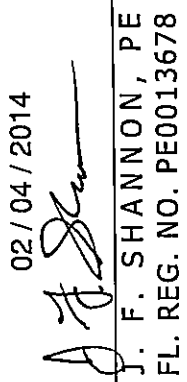
PANEL "HP"			120/240V. 1PH, 3W		60A MLO		NEMA-3R		22,000 AIC		OPTIONS:		
SQUARE D : QO			VOLTAGE/PHASE		60A BUS		SURFACE		SERIES RATED				
CKT	AMPS	POLE	DESCRIPTION		NOTES	LOAD VA	CKT	AMPS	POLE	DESCRIPTION		NOTES	LOAD VA
1	20	1	SPARE			0	2	20	1	LIGHTING		1	900
3	20	1	SPARE			0	4	20	1	SPRINKLER CONTROL		1	300
5	20	1	SPARE			0	6	20	1	SPARE			0
7	20	1	SPARE			0	8	20	1	SPARE			0
9	20	1	SPARE			0	10	20	1	SPARE			0
11	20	1	SPARE			0	12	20	1	SPARE			0
NOTES:						LOAD DESCRIPTION	CONNECTED LOAD (VA)		DEMAND FACTOR		DEMAND LOAD (VA)		
1.	(2) #10 CU, #10 CU GRD - 1/2" C					LIGHTING	900		1.25		1125		
2.						HVAC - COOL	0		0.00		0		
3.						HVAC - HEAT	0		0.00		0		
4.						RECEPTACLE	0		0.00		0		
5.						MISC	300		1.00		300		
6.						TOTAL	1200				1425		
7.						TOTAL DEMAND CURRENT @ 120/240V, 1PH							5.9 AMPS

1st Floor Electrical Plan

SCALE: 1/8" = 1'-0"

2nd Floor Electrical Plan

SCALE: 1/8" = 1'-0"



1. PROVIDE COMBINATION CARBON MONOXIDE AND SMOKE DETECTORS PER ALL APPLICABLE CODES. DETECTORS SHALL BE 120V. WITH BATTERY BACK-UP AND INTERCONNECTED SO THAT THE INITIATION OF ANY GIVEN DETECTOR SHALL SOUND ALL DETECTORS.
2. SEE EQUIPMENT SCHEDULE THIS SHEET FOR DISCONNECT SIZES, FUSING (WHERE REQUIRED) AND CONDUCTOR SIZES. CONDENSING UNIT DISCONNECT SWITCHES SHALL BE PROVIDED WITH BUILT-IN GF/MP RECEPTACLES.
3. PROVIDE FAN RATED J-BOX TO SUPPORT THE WEIGHT OF THE FIXTURE/FAN SELECTED AT ALL FAN AND FUTURE FAN LOCATIONS. ALL FANS SHALL BE PRE-WIRED FOR SEPARATE LIGHTING CONTROL REGARDLESS IF LIGHT KIT IS BEING PROVIDED. WHERE SWITCHING IS NOT REQUIRED AT THIS TIME PROVIDE BLANK COVER PLATE AND TAG CONDUCTORS FOR FUTURE IDENTIFICATION.
4. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR UNDER COUNTER DISHWASHER. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED.
5. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR REFRIGERATOR/FREEZER. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED.
6. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR GARBAGE DISPOSAL. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED.
7. PROVIDE 120V CIRCUIT AS INDICATED FOR LOW VOLTAGE PANEL. TOP OF PANEL MOUNTED AT MINIMUM CEILING. COORDINATE EXACT LOCATION AND MOUNTING REQUIREMENTS FOR RECEPTACLE PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED. LOW VOLTAGE PANEL SHALL BE UTILIZED FOR CATV/DATA/COMM DISTRIBUTION ONLY AND SHALL NOT CONTAIN OVERCURRENT DEVICES.
8. CONNECT EXHAUST FAN FOR DRYER VENT TO CIRCUIT SHOWN. COORDINATE WITH DIV. 15 FOR EXACT LOCATION PRIOR TO ROUGH-IN. PROVIDE 20A/1P MOTOR RATED SNAP SWITCH IF FAN IS NOT PROVIDED WITH FACTORY DISCONNECT.
9. CONTRACTOR SHALL INSTALL PANEL AS INDICATED AND MAINTAIN ALL WORKING SPACES PER NEC RAT. 110.26. CONTRACTOR SHALL FIELD COORDINATE WITH OTHER TRADES AS REQUIRED TO MAINTAIN REQUIRED DEDICATED ELECTRICAL SPACE.

ISSUE DATE: 02/04/2014

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SCALE: 1/4"=1'



PANEL "B"			120/240V. 1PH, 3W	NEMA-1			150A MLO
SQUARE D : QO			VOLTAGE/PHASE	FLUSH			150A BUS
CKT	AMPS	POLE	DESCRIPTION	CKT	AMPS	POLE	DESCRIPTION
1	35	2	CU-2	2	15	1	LV PANEL - AFCI
3				4	20	1	MASTER BATH GFI RECEPT
5	60	2	AHU-2	6	20	1	BATHROOM 2 GFI RECEPT
7				8	15	1	BATHROOMS - GENERAL
9	35	2	WATER HEATER	10	15	1	MASTER BEDROOM - AFCI
11			6 KW	12	15	1	BEDROOM 2 - AFCI
13	30	2	DRYER	14	15	1	LIVING RM - AFCI
15				16	15	1	GENERAL - AFCI
17	40	2	RANGE	18	15	1	BEDROOM 3 - AFCI
19				20			SPACE
21	20	1	DISPOSAL	22			SPACE
23	20	1	SMALL APPLIANCE	24			SPACE
25	20	1	REFRIGERATOR	26			SPACE
27	20	1	DISHWASHER	28			SPACE
29	20	1	SMALL APPLIANCE	30			SPACE
31	20	1	SMALL APPLIANCE	32			SPACE
33	20	1	LAUNDRY	34			SPACE
35			SPACE	36			SPACE
37			SPACE	38	15	1	LANAI
39			SPACE	40	15	1	GARAGE

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Sarasota County Construction and Property Standards Department

Permit Set 02-04-14

Bay Street Village

7 Unit Condominium Building

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Osprey, Florida 34229**

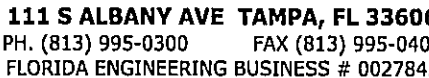


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Jacksonville, Florida 32256
904 732 7335

B NO: 02T12034 PROJ MGR: JD
AWN: CHECKED:

UNITS A AND B ELECTRICAL PLANS

E3.1



02/04/2014

REVISIONS

13880 Treeline Ave, Suite 3
Fort Myers, Florida 33913

**160 East Bay Street
Osnrev Florida 34229**



JOB NO: 02T12034 PROJ MGR: J
DRAWN: CHECKED:

UNITS C AND ELECTRICAL PLANS

E3.2



SCALE: 1/4"=1

PANEL "C"			120/240V. 1PH, 3W	NEMA-1			150A MLO
SQUARE D : QO			VOLTAGE/PHASE	FLUSH			150A BUS
CKT	AMPS	POLE	DESCRIPTION	CKT	AMPS	POLE	DESCRIPTION
1	30	2	CU-3	2	15	1	LV PANEL - AFCI
3				4	20	1	MASTER BATH GFI RECEPT
5	60	2	AHU-3	6	20	1	BATHROOM 2 GFI RECEPT
7				8	15	1	BATHROOMS - GENERAL
9	35	2	WATER HEATER	10	15	1	MASTER BEDROOM - AFCI
11			6 KW	12	15	1	BEDROOM 2 - AFCI
13	30	2	DRYER	14	15	1	LIVING RM - AFCI
15				16	15	1	GENERAL - AFCI
17	40	2	RANGE	18			SPACE
19				20			SPACE
21	20	1	DISPOSAL	22			SPACE
23	20	1	SMALL APPLIANCE	24			SPACE
25	20	1	REFRIGERATOR	26			SPACE
27	20	1	DISHWASHER	28			SPACE
29	20	1	SMALL APPLIANCE	30			SPACE
31	20	1	SMALL APPLIANCE	32			SPACE
33	20	1	LAUNDRY	34			SPACE
35			SPACE	36			SPACE
37			SPACE	38	15	1	LANAI
39			SPACE	40	15	1	GARAGE

PANEL "D"			120/240V. 1PH, 3W	NEMA-1			150A MLO	
SQUARE D : QO				FLUSH			150A BUS	
CKT	AMPS	POLE	DESCRIPTION	CKT	AMPS	POLE	DESCRIPTION	
1	35	2	CU-4	2	15	1	LV PANEL - AFCI	
3				4	20	1	MASTER BATH GFI RECEPT	
5	60	2		6	20	1	BATHROOM 2 GFI RECEPT	
7			AHU-4	8	15	1	BATHROOMS - GENERAL	
9	35	2		10	15	1	MASTER BEDROOM - AFCI	
11				12	15	1	BEDROOM 2 - AFCI	
13	30	2	6 KW DRYER	14	15	1	LIVING RM - AFCI	
15				16	15	1	GENERAL - AFCI	
17	40	2	RANGE	18	15	1	BEDROOM 3 - AFCI	
19				20	15	1	GENERAL - AFCI	
21	20	1		22	20	1	BATHROOM 3 GFI RECEPT	
23	20	1	SMALL APPLIANCE	24			SPACE	
25	20	1	REFRIGERATOR	26			SPACE	
27	20	1	DISHWASHER	28			SPACE	
29	20	1	SMALL APPLIANCE	30			SPACE	
31	20	1	SMALL APPLIANCE	32			SPACE	
33	20	1	LAUNDRY	34			SPACE	
35			SPACE	36			SPACE	
37			SPACE	38	15	1	LANAI	
39			SPACE	40	15	1	GARAGE	

EQUIPMENT SCHEDULE					
TAG	VOLTAGE	PHASE	DISCONNECT	MEANS	DISCONNECT MEANS
CU-1 & 3	240	1 (2) # 10	N/A	# 10	30A/2P/NF/N-3R
AHU-1,2 & 4	240	1 (2) # 8	N/A	# 10	60A/2P/NF/N-1
CU-2 & 4	240	1 (2) # 8	N/A	#10	60A/2P/NF/N-3R
WH	240	1 (2) # 10	N/A	# 10	30A/2P/NF/N-1
DRYER	240	1 (2) # 10	#10	#10	RECEPTACLE
RANGE	240	1 (2) # 8	#10	#10	RECEPTACLE



SCALE: 1/4"=1'



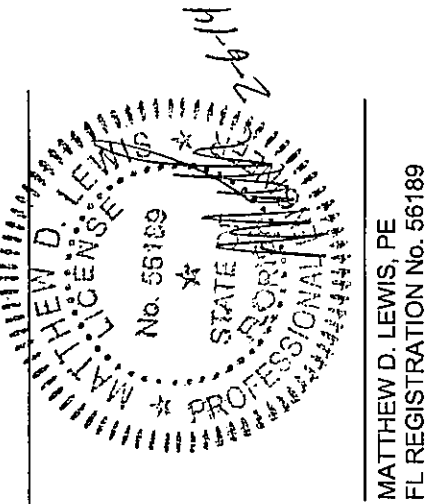
SCALE: 1/4"=1'

KEYED DRAWING NOTES

1. PROVIDE COMBINATION CARBON MONOXIDE AND SMOKE DETECTORS PER ALL APPLICABLE CODES. DETECTORS SHALL BE 120V. WITH BATTERY BACK-UP- AND INTERCONNECTED SO THAT THE INITIATION OF ANY GIVEN DETECTOR SHALL SOUND ALL DETECTORS.
2. SEE EQUIPMENT SCHEDULE THIS SHEET FOR DISCONNECT SIZES, FUSING (WHERE REQUIRED) AND CONDUCTOR SIZES. CONDENSING UNIT DISCONNECT SWITCHES SHALL BE PROVIDED WITH BUILT-IN GFI/WP RECEPTACLES.
3. PROVIDE FAN RATED J-BOX TO SUPPORT THE WEIGHT OF THE FIXTURE/FAN SELECTED AT ALL FAN AND FUTURE FAN LOCATIONS. ALL FANS SHALL BE PRE-WIRED FOR SEPARATE LIGHTING CONTROL REGARDLESS IF LIGHT KIT IS BEING PROVIDED. WHERE SWITCHING IS NOT REQUIRED AT THIS TIME PROVIDE BLACK COVER PLATE AND TAG CONDUCTORS FOR FUTURE IDENTIFICATION.
4. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR UNDER COUNTER DISHWASHER. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED.
5. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR REFRIGERATOR/FREEZER. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED.
6. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR GARBAGE DISPOSAL. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED.
7. PROVIDE 120V CIRCUIT AS INDICATED FOR LOW VOLTAGE PANEL. TOP OF PANEL MOUNTED AT 12" BELOW CEILING. COORDINATE EXACT LOCATION AND MOUNTING REQUIREMENTS FOR RECEPTACLE PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED. LOW VOLTAGE PANEL SHALL BE UTILIZED FOR CATV/DATA/COMM DISTRIBUTION ONLY AND SHALL NOT CONTAIN OVERCURRENT DEVICES.
8. CONTRACTOR SHALL INSTALL PANEL AS INDICATED AND MAINTAIN ALL WORKING SPACES PER NEC ART. 110.26. CONTRACTOR SHALL FIELD COORDINATE WITH OTHER TRADES AS REQUIRED TO MAINTAIN REQUIRED DEDICATED ELECTRICAL SPACE.

This set of plans must be kept on the job site of work at all times, per Sarasota County Ordinance Sarasota County Construction and Property Standards Department

Permit Set 02-04-14



GENERAL: ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, AND LOCAL CODES AND ORDINANCES. INSTALLATION SHALL COMPLY WITH THE STANDARDS SET BY NFPA, ASHRAE, SMACNA, NEC AND UL.

THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING A PROPOSAL. THE INFORMATION GIVEN HEREIN AND ON THE DRAWINGS IS AS EXACT AS COULD BE SECURED, BUT ITS EXTREME ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION GIVEN AS EXISTING CONDITIONS.

THE DRAWINGS ARE DIAGRAMMATIC, INTENDED TO SHOW GENERAL ARRANGEMENT, CAPACITY AND LOCATION OF VARIOUS COMPONENTS, EQUIPMENT, AND DEVICES.

THE SYSTEMS, EQUIPMENT, DEVICES AND ACCESSORIES SHALL BE INSTALLED, FINISHED, TESTED AND ADJUSTED FOR CONTINUOUS AND PROPER OPERATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK FITTING IN PLACE AND SHALL COORDINATE WITH OTHER TRADES TO AVOID INTERFERENCE WITH THEIR WORK.

IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK, OR SHOULD DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND THE MANUFACTURER'S RECOMMENDATIONS, OR DISCREPANCIES OCCUR BETWEEN ACTUAL CONDITIONS AND CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REQUEST INTERPRETATION BEFORE PROCEEDING WITH WORK.

CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE THE INSTALLATION WHETHER OR NOT SPECIFIED IN THE DOCUMENTS.

REFER TO ARCHITECTURAL EXTERIOR BUILDING ELEVATIONS FOR LOCATION OF LOUVERS AND WALL CAPS ON EXTERIOR FACADES.

CONTRACTOR SHALL CLEAN COILS AND REPLACE FILTERS AT SUBSTANTIAL COMPLETION.

OPERATING AND MAINTENANCE DATA: SUBMIT THREE COPIES OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS AND SPARE PARTS LIST FOR EACH PIECE OF EQUIPMENT.

GUARANTEE: THE ONE-YEAR GUARANTEE PERIOD SHALL NOT START UNTIL THE PROJECT IS FULLY COMPLETED AND THE CONTRACTOR HAS RECEIVED THE FINAL PAYMENT AND CERTIFICATION OF COMPLETION. ALL EQUIPMENT AND ALL WORK SHALL BE FULLY GUARANTEED, PARTS AND LABOR, FOR ONE YEAR FROM THE DATE OF THE CERTIFICATE OF COMPLETION. REPAIRS MADE DURING THIS PERIOD MUST BE FULLY GUARANTEED FOR AN ADDITIONAL ONE-YEAR PERIOD FROM THE DATE OF REPAIRS. IN ADDITION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO THE BUILDING, AND ITS CONTENTS OR OTHER EQUIPMENT, CAUSED BY DEFECTS OR IMPROPER INSTALLATION OF EQUIPMENT OR MATERIAL INSTALLED. ALL HVAC UNITS SHALL HAVE A FIVE (5) YEAR WARRANTY ON COMPRESSORS.

SHOP DRAWINGS: THE CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH PROCEDURES OUTLINED IN DIVISION 1. RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SUBMITTALS SHALL NOT BE RELIEVED BY THE ARCHITECT'S OR ENGINEER'S REVIEW. ENGINEER'S PROCESSING WILL NOT CONSTITUTE A COMPLETE CHECK BUT WILL INDICATE ONLY THAT A GENERAL METHOD OF CONSTRUCTION AND DETAILING IS SATISFACTORY.

AS-BUILT DRAWINGS: THE CONTRACTOR SHALL KEEP A RUNNING SET OF DRAWINGS SHOWING ALL FIELD MODIFICATIONS FROM THE PERMIT SET IN A CLEAR, CONCISE MANNER. THESE DRAWINGS SHALL BE MARKED AS "AS BUILT DRAWINGS" AND HANDED OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.

EQUIPMENT LABELS: ALL MECHANICAL EQUIPMENT SHALL BE LABELED WITH EQUIPMENT TAG AS DESIGNATED ON THE DRAWINGS.

SUBSTITUTIONS: EQUIPMENT AND MATERIALS SPECIFIED SHALL ESTABLISH QUALITY, CAPACITY, TYPE AND DIMENSIONS TO BE INCLUDED IN BASE BID. SUBSTITUTIONS MAY BE CONSIDERED. APPROVAL OF SUCH SUBSTITUTIONS WILL BE BASED ON ABILITY AND CAPACITY TO PERFORM FUNCTION SERVED, QUALITY AND AVAILABILITY OF PARTS AND SERVICE, QUALITY OF EQUIPMENT, MANUFACTURER WARRANTY AND HISTORY OF SERVICE, ETC. THE ENGINEER SHALL REVIEW ALL REQUESTS BUT RESERVES THE RIGHT OF JUDGMENT TO APPROVE OR REJECT ALL PROPOSED SUBSTITUTIONS. IF A SUBSTITUTED PRODUCT OR EQUIPMENT IS REJECTED, PROVIDE THE SPECIFIED PRODUCT OR EQUIPMENT.

ACCESS: CONTRACTOR SHALL ENSURE THAT ACCESS IS PROVIDED FOR ALL ITEMS REQUIRING ACCESS FOR ADJUSTING OR MAINTENANCE. PROVIDE ACCESS PANELS AND DUCT ACCESS DOORS AS NECESSARY WITH NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL REVIEW MANUFACTURER'S RECOMMENDED CLEARANCES FOR ALL EQUIPMENT AND ENSURE THAT MINIMUM CLEARANCES ARE PROVIDED.

DUCT ACCESS DOORS SHALL BE HINGED TYPE. PROVIDE INSULATED ACCESS DOORS FOR INSULATED DUCTWORK. CONSTRUCT OF SAME OR THICKER GAUGE SHEETMETAL AS DUCT IN WHICH IT IS INSTALLED. PROVIDE FLUSH FRAMES FOR UNINSULATED DUCTS. PROVIDE CONTINUOUS HINGE ON ONE SIDE, WITH ONE HANDLE-TYPE LATCH FOR ACCESS DOORS 12" HIGH AND SMALLER AND TWO HANDLE-TYPE LATCHES FOR LARGER ACCESS DOORS.

TEST AND BALANCE: THE CONTRACTOR SHALL ENSURE THAT ALL HVAC DEVICES AND SYSTEMS ARE COMPLETE, TESTED AND BALANCED, AND READY FOR OPERATION WHEN THE FACILITY IS HANDED OVER TO THE OWNER. THE HVAC SYSTEM SHALL BE TESTED IN ACCORDANCE WITH AABC OR NEBB. ELIMINATE OBJECTIONABLE NOISE AND VIBRATION, AND ASSURE PROPER FUNCTION OF CONTROLS. SUBMIT REPORT FOR ENGINEER'S REVIEW. CORRECT ALL DISCREPANCIES.

WIND RESISTANCE: ALL EQUIPMENT, APPLIANCE, AND SUPPORTS LOCATED EXTERIOR OF THE FACILITY SHALL BE INSTALLED TO RESIST WIND LOADS AS DETAILED IN THE FLORIDA BUILDING CODE-CHAPTER 16.

CUTTING AND PATCHING: ALL OPENINGS AROUND DUCT OR PIPE PENETRATIONS THROUGH SMOKE OR FIRE RATED FLOORS, CEILINGS OR WALLS SHALL BE SEALED AIRTIGHT WITH MATERIAL HAVING A RATING EQUAL TO THE MATERIAL OF THE WALL, CEILING OR FLOOR PENETRATED.

DUCTWORK (GENERAL): DUCTWORK DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS. FABRICATE AND INSTALL IN ACCORDANCE WITH LOW VELOCITY DUCT CONSTRUCTION STANDARDS PUBLISHED BY SHEET METAL AND AIR-CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA). PROVIDE TURNING VANES AT ALL ELBOWS. MAXIMUM ALLOWABLE LEAKAGE IS 2%.

FLEXIBLE DUCT CONNECTORS: PROVIDE UL LISTED 30 OUNCE NEOPRENE COATED FIBERGLASS FABRIC DUCT CONNECTORS AT INTAKE AND DISCHARGE OF ALL HVAC EQUIPMENT.

FIBROUS GLASS DUCTWORK: SUPPLY AND RETURNS SHALL BE FIBERGLASS DUCTBOARD. DUCTBOARD SHALL HAVE WITH AN INTERIOR SURFACE WHICH INHIBITS MOLD AND MILDEW GROWTH. DUCTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH "FIBROUS GLASS DUCT CONSTRUCTION STANDARDS" BY SMACNA. DUCTWORK SHALL HAVE AN OPERATING RANGE OF POSITIVE OR NEGATIVE 2 INCHES W.G. PRESSURE, 1200 FPM VELOCITY AND 250°F AIR TEMPERATURE. DUCTS SHALL BE CONSTRUCTED OF 1-1/2" THICK (R-6) DUCTBOARD WITH A CLASS 1 UL-181 LISTING.

GALVANIZED SHEET METAL DUCTWORK: EXHAUST DUCTS SHALL BE GALVANIZED SHEET METAL DUCTWORK. SEAL ALL JOINTS WITH FLEXIBLE MASTIC SEALANT RECOMMENDED BY SMACNA. "T-FLEX" MAY BE USED FOR THE FINAL CONNECTION TO THE EXHAUST FANS, AND NOT EXCEED 4 FEET.

FLEXIBLE DUCTWORK: PROVIDE FACTORY ASSEMBLED CLASS 1 AIR DUCT (UL-181) WITH 1" THICK 1 PCF FIBERGLASS INSULATION (R-6) AND REINFORCED OUTER PROTECTIVE COVER/VAPOR BARRIER, WITH A ENCAPSULATED HELIX COIL. FLEXIBLE DUCT SHALL MEET NFPA 90A WITH FLAME SPREAD UNDER 25, SMOKE DEVELOPED UNDER 50 AND SHALL BE RATED FOR MINIMUM 2" W.G. PRESSURE AND 0 TO 250°F TEMPERATURE.

CARE IS TO BE TAKEN THAT ALL RUNOUTS OF FLEXIBLE DUCT ARE INSTALLED AS STRAIGHT AS PRACTICAL AND FASTENED SO AS TO ELIMINATE AIR LEAKAGE. THE INSTALLATION SHALL CONFORM TO THE TECHNIQUES SHOWN IN THE UL APPROVED AND FACTORY-SUPPLIED INSTRUCTIONS SPECIFIED FOR THE PRODUCT.

DRYER VENTS: FURNISH AND INSTALL VENTS FOR EACH DRYER. INSTALL, SIZE AND LENGTH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS WHICH WILL SUPERSEDE SIZES LISTED ON THE DRAWINGS IF DISCREPANCIES OCCUR. DUCT JOINTS SHALL NOT BE ASSEMBLED WITH SHEET METAL SCREWS OR OTHER FASTENING MEANS WHICH WILL EXTEND INTO THE DUCT. MINIMUM SIZE SHALL BE 4 INCHES. PROVIDE WEATHER CAP AND BACKDRAFT DAMPER. PROVIDE DRYER-BOX WALL PAN.

AIR DEVICES: PROVIDE GRILLES AND DIFFUSERS WITH THE CHARACTERISTICS SHOWN ON THE AIR-DEVICE SCHEDULE. REFER TO ARCHITECTURAL REFLECTIVE CEILING PLAN FOR FINAL AIR-DEVICE LOCATIONS.

REFRIGERANT PIPING: PROVIDE REFRIGERANT SUCTION AND LIQUID LINES AS NEEDED FROM EACH CONDENSING UNIT TO ITS RESPECTIVE DX COOLING COIL. PIPING SHALL BE AIR DRIED AND SEALED. SOFT COPPER WITH WROUGHT COPPER BRAZED JOINTS. COORDINATE ALL REFRIGERANT PIPING AND CHARGE WITH EQUIPMENT MANUFACTURER. UNDERGROUND REFRIGERANT LINES SHALL BE RUN IN PVC SLEEVE WITH BOTH ENDS SEALED.

HEAT PUMP UNITS: PROVIDE PACKAGED COMPRESSOR/CONDENSER HEAT PUMP UNIT WITH CAPACITIES SCHEDULED AND ARE MATCHED WITH AHU. PROVIDE TIME DELAY RESTART RELAY, LOW VOLTAGE CONTROLS TRANSFORMER, CONTROLS FOR START AND OPERATION DOWN TO 36 DEGREES F., FAN RELAY, LIQUID LINE FILTER DRIER, CONTINUOUS PUMPDOWN CONTROLS.

AIR HANDLING UNITS: PROVIDE FACTORY ASSEMBLED AND TESTED PACKAGED AIR HANDLING UNIT MATCHED TO CONDENSING UNIT WITH THE CAPACITIES SCHEDULED. UNITS SHALL USE R-410 A REFRIGERANT. UNITS SHALL BE UL AND AHRI CERTIFIED. UNITS SHALL HAVE FILTER RACK, ELECTRIC HEATERS, DUAL VOLTAGE, DIRECT DRIVE BLOWER.

UNITS SHALL HAVE PRIMARY AND SECONDARY CONDENSATE DRAINS. PRIMARY DRAIN SHALL BE RUN TO THE EXTERIOR. SECONDARY DRAIN SHALL HAVE A FLOAT SWITCH TO SHUT DOWN UNIT IF PRIMARY DRAIN IS CLOGGED.

UNITS SHALL HAVE UNIT STAND/PLENUM BOX AND BE PROVIDED VIBRATION ISOLATOR SUPPORTS.

CONDENSATE DRAINS: CONDENSATE DRAIN LINES SHALL BE PROVIDED BY PLUMBING CONTRACTOR. COORDINATE WITH PLUMBING CONTRACTOR.

CEILING FANS: PROVIDE STANDARD PREFABRICATED CEILING EXHAUST FAN OF THE TYPE AND SIZE SCHEDULED. UNITS SHALL BE INSTALLED AT CEILING WITH MANUFACTURER'S GRILLE, PLUG-IN DISCONNECTS AND BACKDRAFT DAMPER. UNITS SHALL BE INSTALLED LEVEL AND THE INSTALLATION SHALL BE AS VIBRATION FREE AS POSSIBLE.

DRYER BOOSTER FAN: WHEN DRYER VENTS EXCEED ALLOWABLE LENGTH, A UL LISTED DRYER FAN SHALL BE INSTALLED AS SHOWN. FANS SHALL BE DESIGNED TO OPERATE IN HIGH MOISTURE, UNIT AND DUCT LADEN AIR. FANS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. FANS SHALL BE CONTROLLED BY PRESSURE SENSOR SWITCH FOR DRYER BOOSTING APPLICATION. FANS SHALL HAVE THE CHARACTERISTICS AND CAPACITIES SCHEDULED. FANS SHALL BE FANTEC OR APPROVED EQUAL.

PROVIDE INDICATOR LIGHT IN LAUNDRY ROOM THAT WILL ILLUMINATE WHEN FAN IS RUNNING. PROVIDE SIGN WHICH READS "BOOSTER FAN INDICATOR".

WINDLOADS: ALL EQUIPMENT INSTALLED EXTERIOR SHALL BE MECHANICALLY FASTENED PER MANUFACTURER'S SPECIFICATIONS TO WITHSTAND LOCAL WIND LOADS AND MEET THE FLORIDA BUILDING CODE REQUIREMENTS OF HURRICANE LOADS.

CONTROLS: ALL WALL MOUNTED THERMOSTATS SHALL BE INSTALLED AT AN ELEVATION OF 44" ABOVE FINISHED FLOOR. LOCATION OF THE THERMOSTATS SHALL BE COORDINATED WITH OTHER TRADES FOR A NEAT APPEARANCE. FINAL LOCATION OF THERMOSTAT SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER OR HIS REPRESENTATIVE IN THE FIELD. TEMPERATURE CONTROLS SHALL BE COMPLETE WITH ALL COMPONENTS REQUIRED TO ACCOMPLISH THE CONTROL SEQUENCE SPECIFIED. MECHANICAL CONTRACTOR SHALL FURNISH, INSTALL AND WIRE ALL TEMPERATURE AND CONTROL INTERLOCKS.

CONTROL SEQUENCE:
COOLING MODE: WHEN THE TEMPERATURE SENSOR SENSES THE SPACE TEMPERATURE IS ABOVE THE OCCUPIED SETPOINT, IT WILL PLACE THE UNIT IN SPEED COOLING MODE AND CYCLE THE COMPRESSOR TO MAINTAIN SPACE CONDITIONS.

OCCUPIED HEATING MODE: WHEN THE TEMPERATURE SENSES THE SPACE TEMPERATURE IS BELOW THE OCCUPIED SETPOINT, IT WILL PLACE THE UNIT IN HEAT PUMP MODE, AS CONDITIONS CHANGE AND SUPPLEMENTAL HEAT NEEDED. THE UNIT WILL ENERGIZE THE ELECTRICAL HEATER TO MAINTAIN SPACE CONDITIONS.

DEHUMIDIFICATION MODE: WHEN THE HUMIDISTAT SENSOR SENSES THE SPACE HUMIDITY IS ABOVE THE OCCUPIED SETPOINT, IT WILL PLACE THE UNIT IN COOLING MODE AND CYCLE THE COMPRESSOR TO MAINTAIN SPACE CONDITIONS.

MECHANICAL LEGEND

	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
	SIDEWALL SUPPLY GRILLE
	SIDEWALL RETURN GRILLE
	RIGID DUCTWORK
	FLEXIBLE DUCTWORK
	DUCT TRANSITION
	SUPPLY DUCT SECTION
	RETURN DUCT SECTION
	EXHAUST DUCT SECTION
	CEILING EXHAUST FAN
	THERMOSTAT CONTROL
	HUMIDISTAT
	CEILING FIRE DAMPER
	MANUAL VOLUME DAMPER
	DOOR UNDERCUT
	ROUND, DIAMETER

ABBREVIATIONS

AIR HANDLER UNIT	AHU
BRITISH THERMAL UNITS	BTU
CEILING FIRE DAMPER	CD
CONDENSATE DRAIN	CU
CONDENSING UNIT	CFM
CUBIC FEET PER MINUTE	CF
DEGREE FAHRENHEIT	db
DRY BULB TEMPERATURE	dbt
ENTERING AIR TEMPERATURE	EA
EXHAUST AIR	EF
EXHAUST FAN	ESP
EXTERNAL STATIC PRESSURE	HP
HORSEPOWER	LAT
LEAVING AIR TEMPERATURE	NTS
NOT TO SCALE	OA
OUTSIDE AIR	OAT
OUTSIDE AIR TEMPERATURE	RA
RETURN AIR	SA
SUPPLY AIR	SD
SMOKE DETECTOR	TSP
TOTAL STATIC PRESSURE	TYP
TYPICAL	WG
WATER GAUGE	W/
WITH	wb
WET BULB TEMPERATURE	

EQUIPMENT TAG (AHU-1)

DIFFUSER TAG
MARK A
100 CFM
6" NECK SIZE

HEAT PUMP UNIT SCHEDULE

MARK	MFG.	MODEL	CAPACITY BTU		COMPRESSOR		FAN	POWER	MCA	MOCP	SEER	WT LBS	REMARKS
			COOLING	HEATING	RLA	LRA	FLA						
CU-1, 3	BRYANT	213BNA030	28,400	29,600	16	77	1.1	240/1	21.1	30	14.5	110	①②③④
CU-2, 4	BRYANT	213BNA036	34,000	29,600	16.7	79	1.1	240/1	22	35	14.5	140	①②③④
① DISCONNECT BY DIVISION 16			③ ANTI-SHORT CYCLE TIMER										
② CRANKCASE HEATER			④ INDOOR FAN DELAY KIT										

AIR HANDLER UNIT SCHEDULE

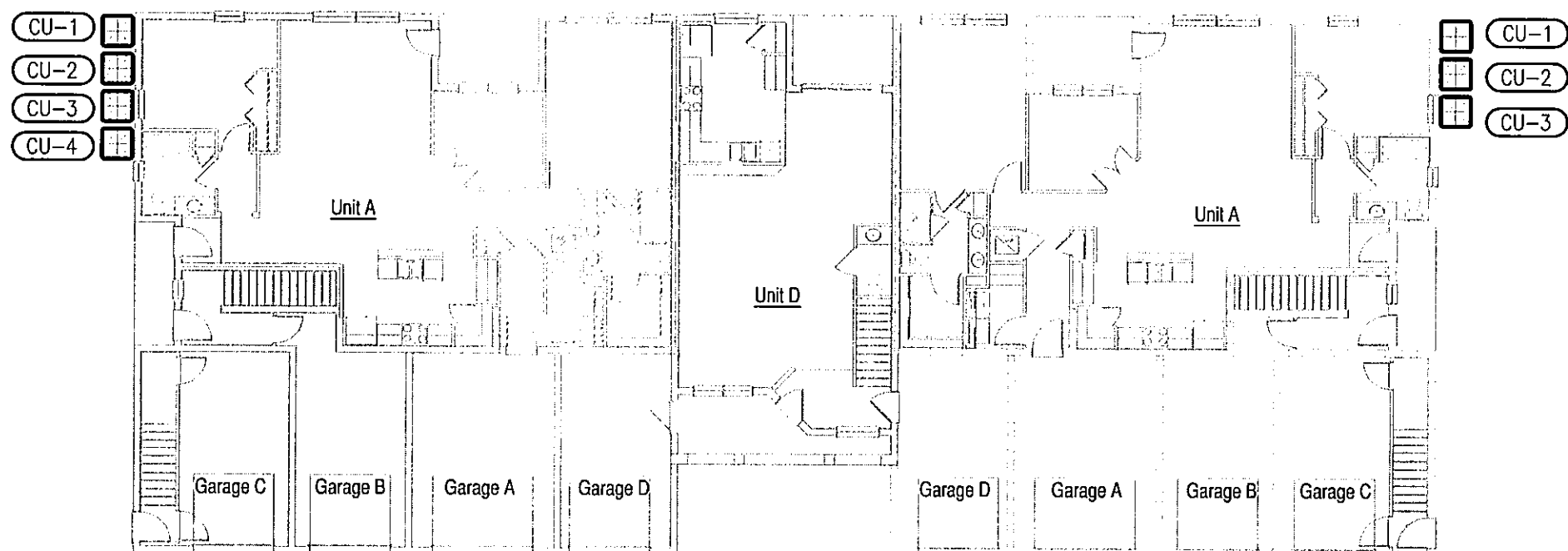
MARK	MFG.	MODEL	CFM	NOMINAL TONS	ESP	MTR HP	HEATER KW	MCA	MOCP	POWER	WT LBS	REMARKS
AHU-1, 3	BRYANT	FX4DNF0311T0	1000	2.5	.5	1/3	10	58.5	60	240/1	130	①②③④
AHU-2, 4	BRYANT	FX4DNF037T0	1200	3	.5	1/2	10	58.5	60	240/1	130	①②③④
① PROVIDE DIGITAL HEAT PUMP PROGRAMMABLE THERMOSTAT WITH SUPPLEMENTAL HEAT			③ DISCONNECTS BY DIVISION 16									
② PROVIDE HUMIDISTAT			④ PROVIDE WITH UNIT STAND									

FAN SCHEDULE

MARK	MFG.	MODEL	CFM	POWER	ESP	AMP	RPM	SONES	WEIGHT LBS	REMARKS
EF-1	GREENHECK	SP-B70	50	115/1	0.2	0.7	700	2.5	10	①②③④
EF-2	GREENHECK	SP-B90	75	115/1	0.2	0.7	700	2.5	10	①②③④
EF-3	FANTECH	DBF110	150	115/1	0.2	0.72	--	--	--	①⑤⑥
① MULTIPLE FANS			③ PROVIDE WITH BACK DRAFT DAMPER			⑤ PROVIDE PRESSURE SWITCH				
② PLUG IN DISCONNECT			④ INTERLOCK WITH LIGHT SWITCH			⑥ PROVIDE MFGR INDICATOR LIGHT				

AIR DEVICE SCHEDULE

MARK	MFG.	MODEL	FUNCTION	TYPE	MATERIAL	FINISH	THROW	REMARKS
A	AIRMATE	404-M	SUPPLY	CEILING	ALUMINUM	WHITE	4-WAY	①②③
B	AIRMATE	401-HM	SUPPLY	CEILING	ALUMINUM	WHITE	1-WAY	①②③
C	AIRMATE	401-HM	SUPPLY	CEILING	STEEL	WHITE	2-WAY	①②③
D	AIRMATE	404-M	SUPPLY	CEILING	STEEL	WHITE	4-WAY	①②③
E	AIRMATE	401-HM	SUPPLY	CEILING	STEEL	WHITE	1-WAY	①②③
F	AIRMATE	163-M	SUPPLY	SIDEWALL	ALUMINUM	WHITE	2-WAY	①②③
R	AIRMATE	280	TRANSFER	CEILING	ALUMINUM	WHITE	--	①②③
S	AIRMATE	280	TRANSFER	SIDEWALL	ALUMINUM	WHITE	--	①②③
T	AIRMATE	280	TRANSFER	CEILING	STEEL	WHITE	--	①②③
① SEE PLANS FOR GRILLE SIZE			③ PROVIDE INSULATED BOOT					
② PROVIDE MULTI-SHUTTER DAMPER								

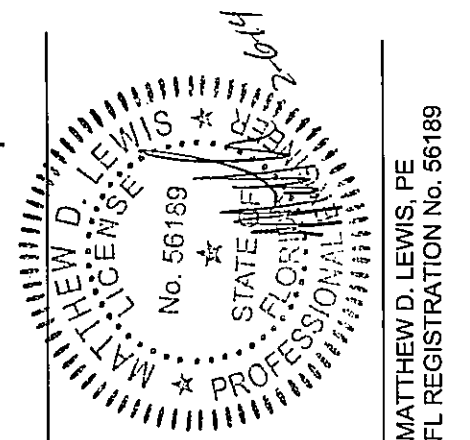


CONDENSER LOCATION PLAN

1/16" = 1'-0"

This set of plans must be kept on the job site of work at all times per Sarasota County Ordinance and Sarasota County Construction and Property Standards Department





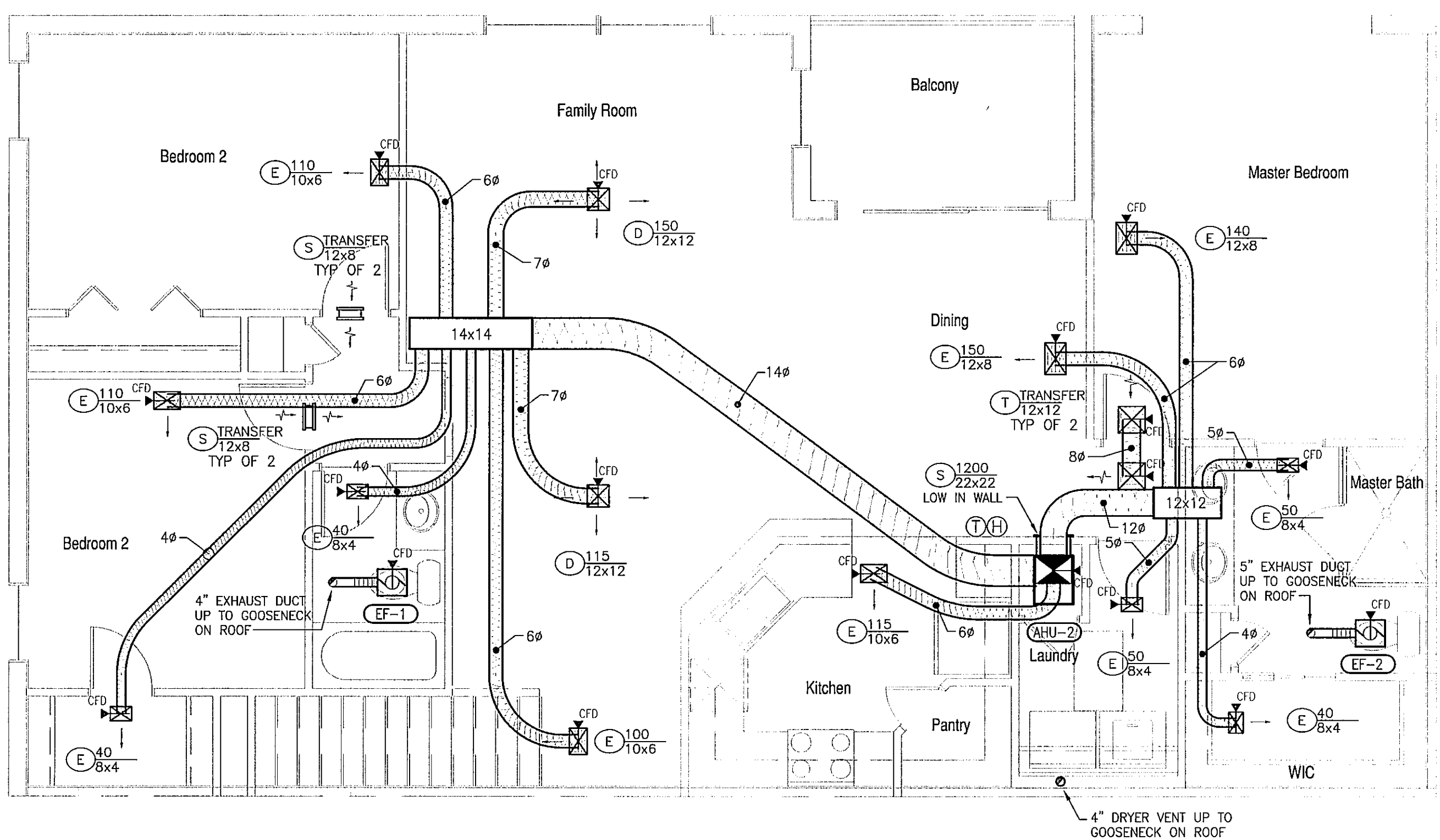
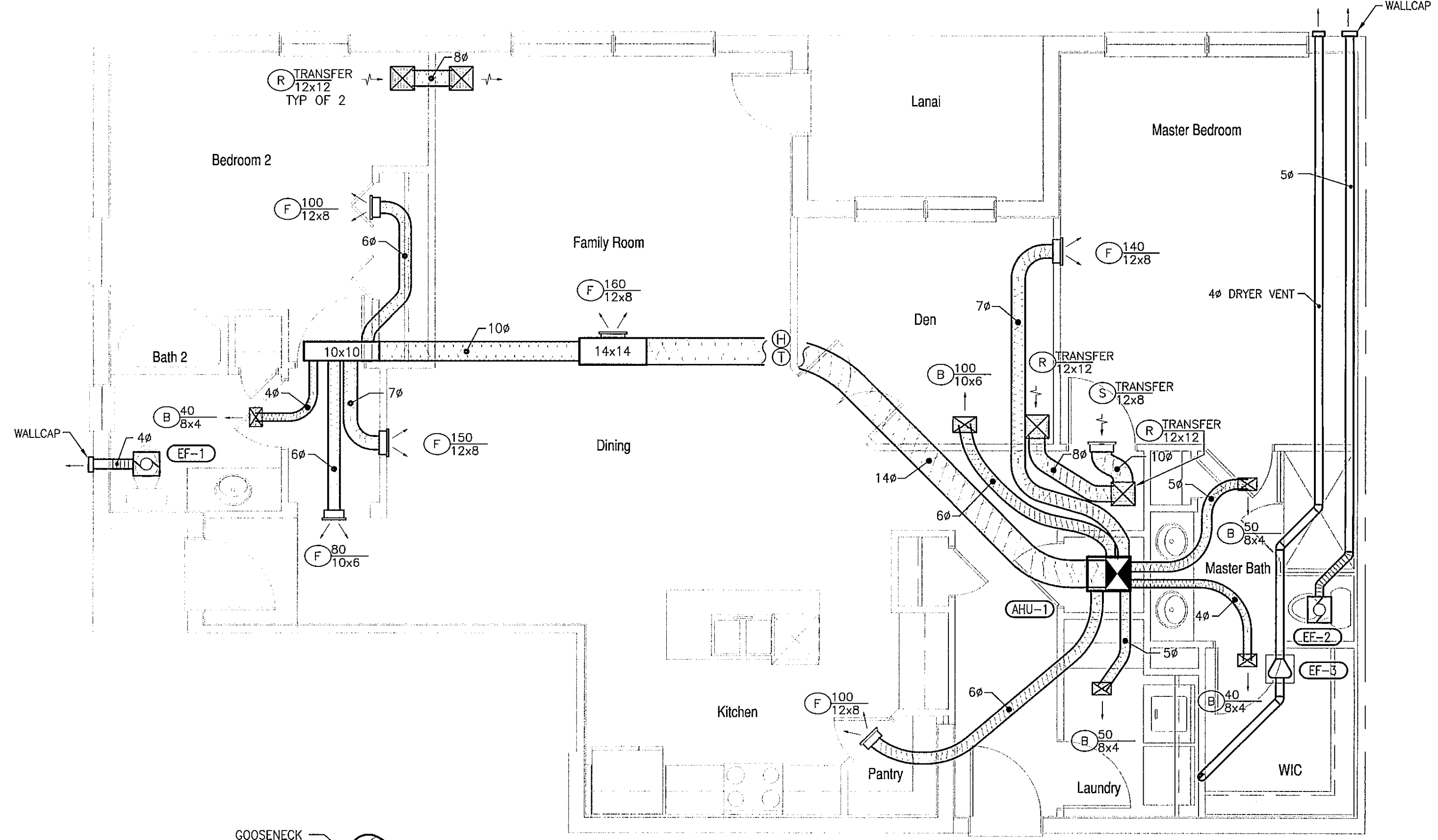
ISSUE DATE:	REVISIONS

ID·R·HORTON DESIGN
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 13880 Treeline Ave, Suite 3
 Fort Myers, Florida 33913

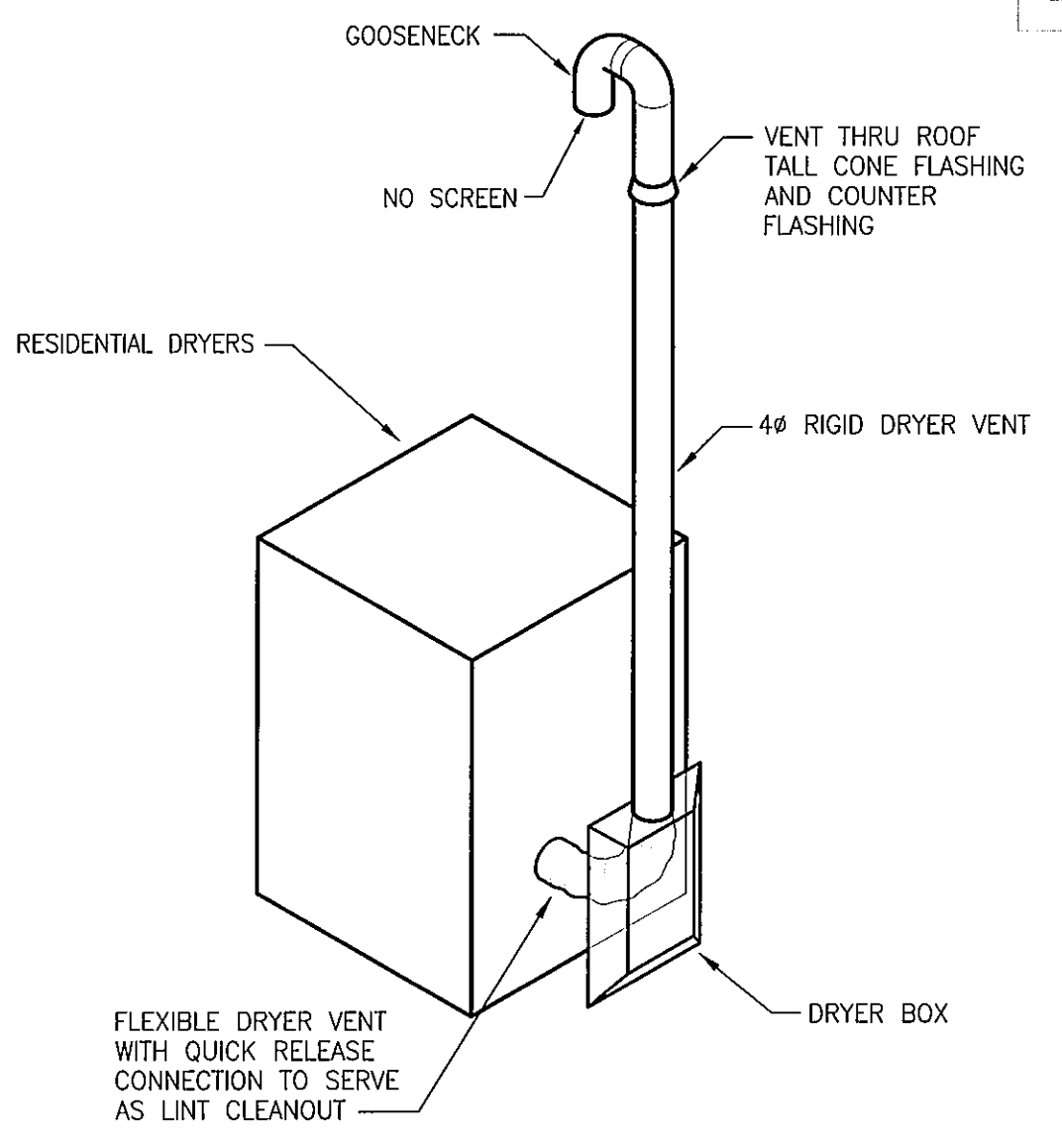
Bay Street Village
 7 Unit Condominium Building
 160 East Bay Street
 Osprey, Florida 34229

BSB DESIGN
 www.bsbdesign.com
 11512 Lake Mead Ave., #301
 Jacksonville, Florida 32256
 904 732 7335
 JOB NO: 02T1002 PROJ MGR: JPS
 DRAWN: JPS CHECKED: MDL

M2.1
 UNIT-A AND UNIT-B
 MECHANICAL PLANS

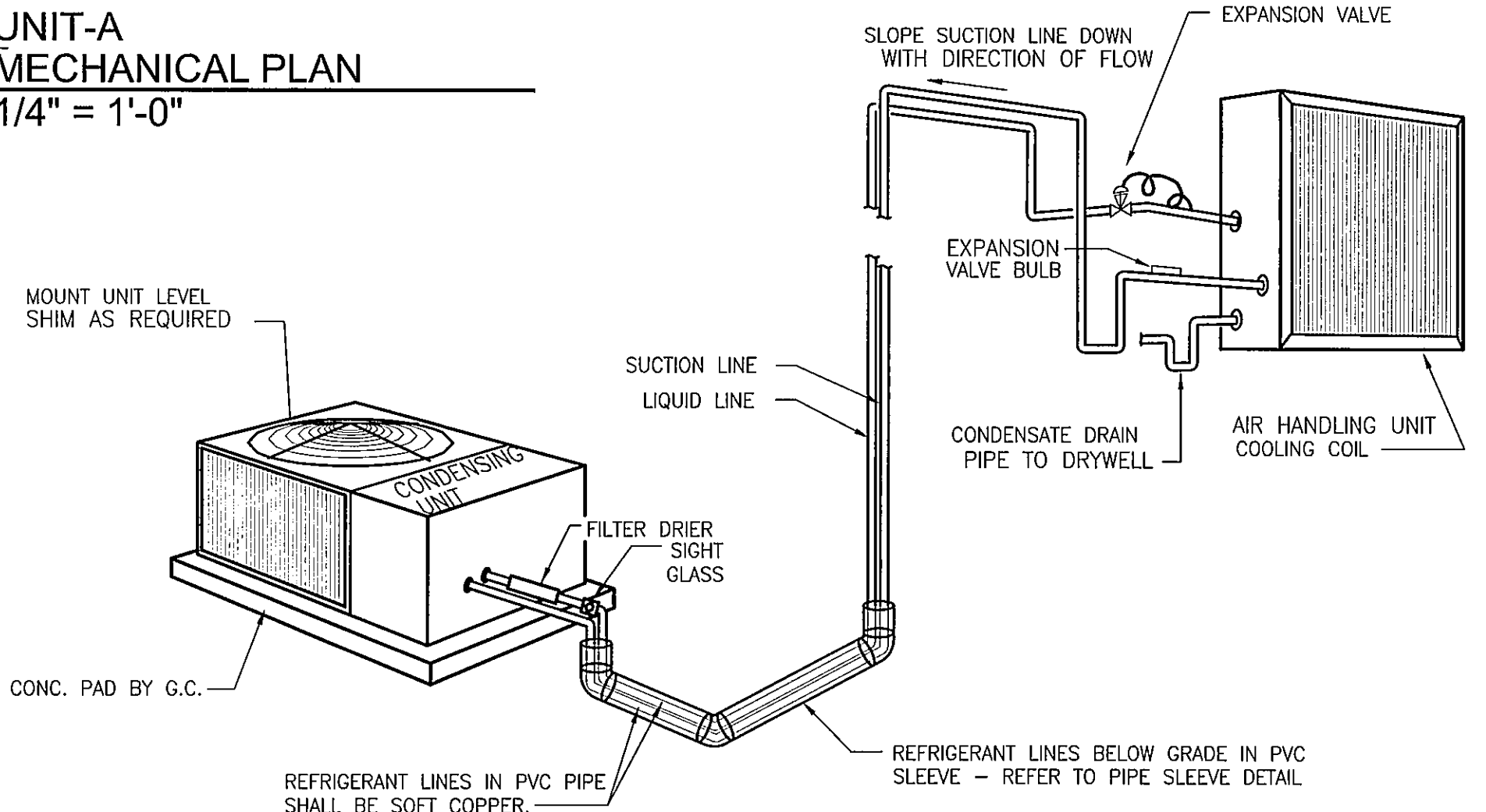


**UNIT-B
 MECHANICAL PLAN**
 1/4" = 1'-0"

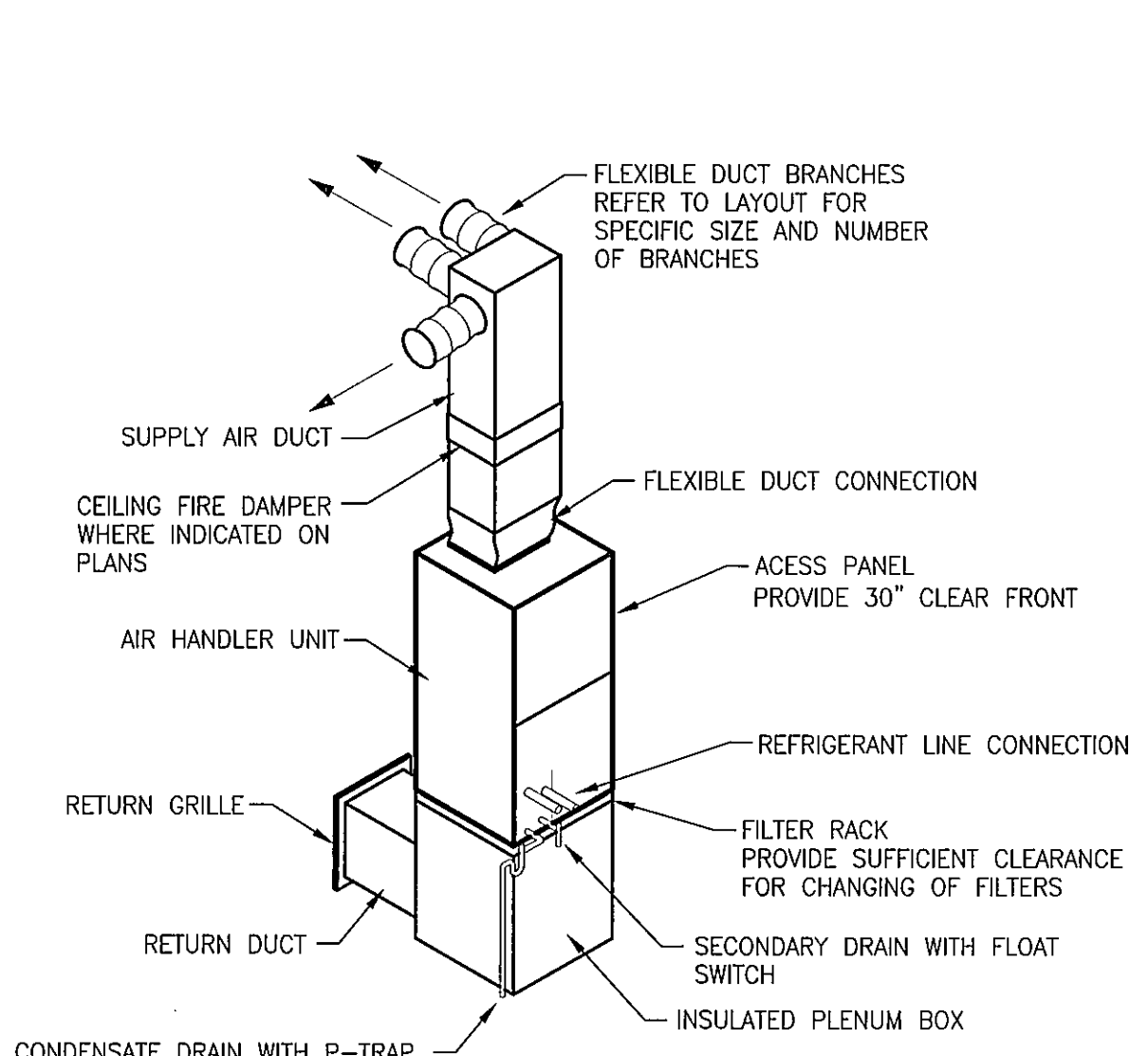


**DRYER DETAIL
 NTS**

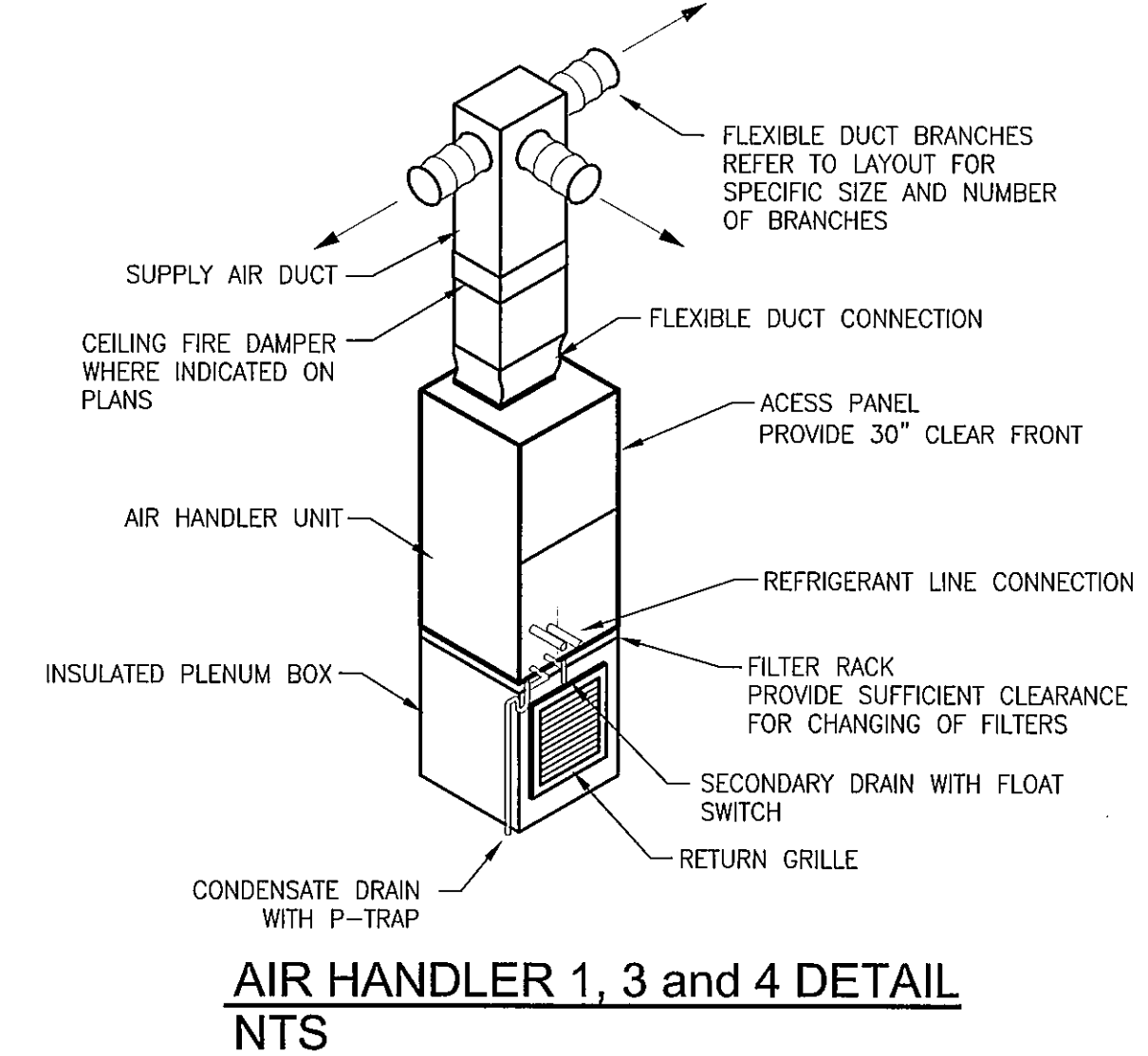
**UNIT-A
 MECHANICAL PLAN**
 1/4" = 1'-0"



**SPLIT SYSTEM DETAIL
 NTS**



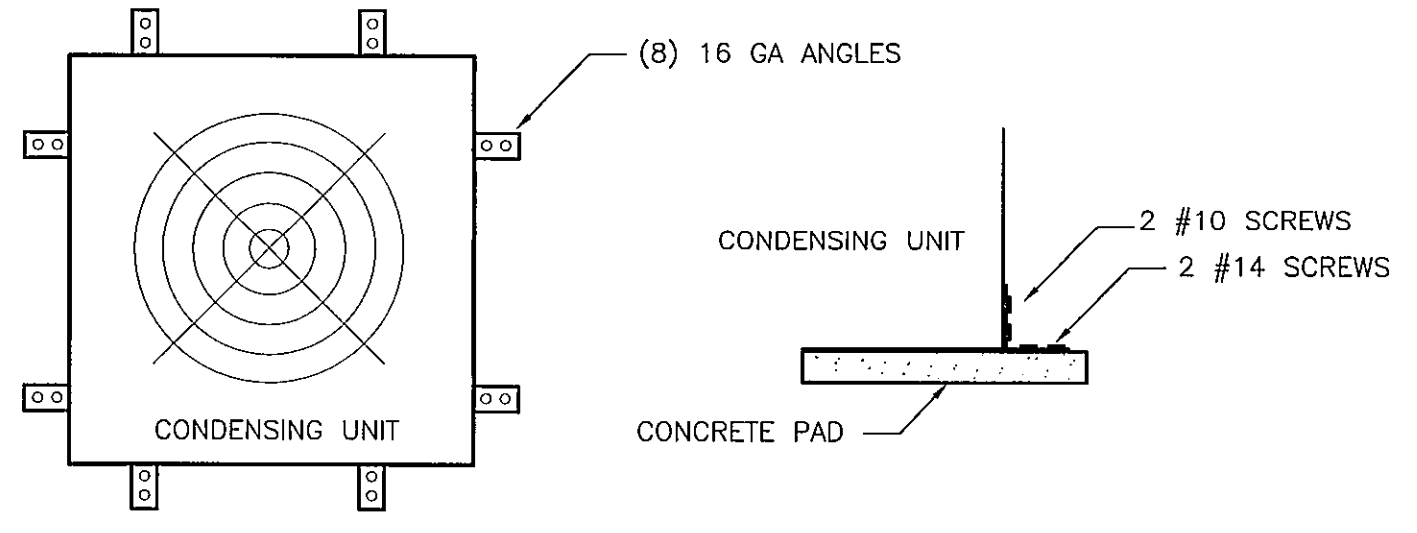
**AIR HANDLER 2 DETAIL
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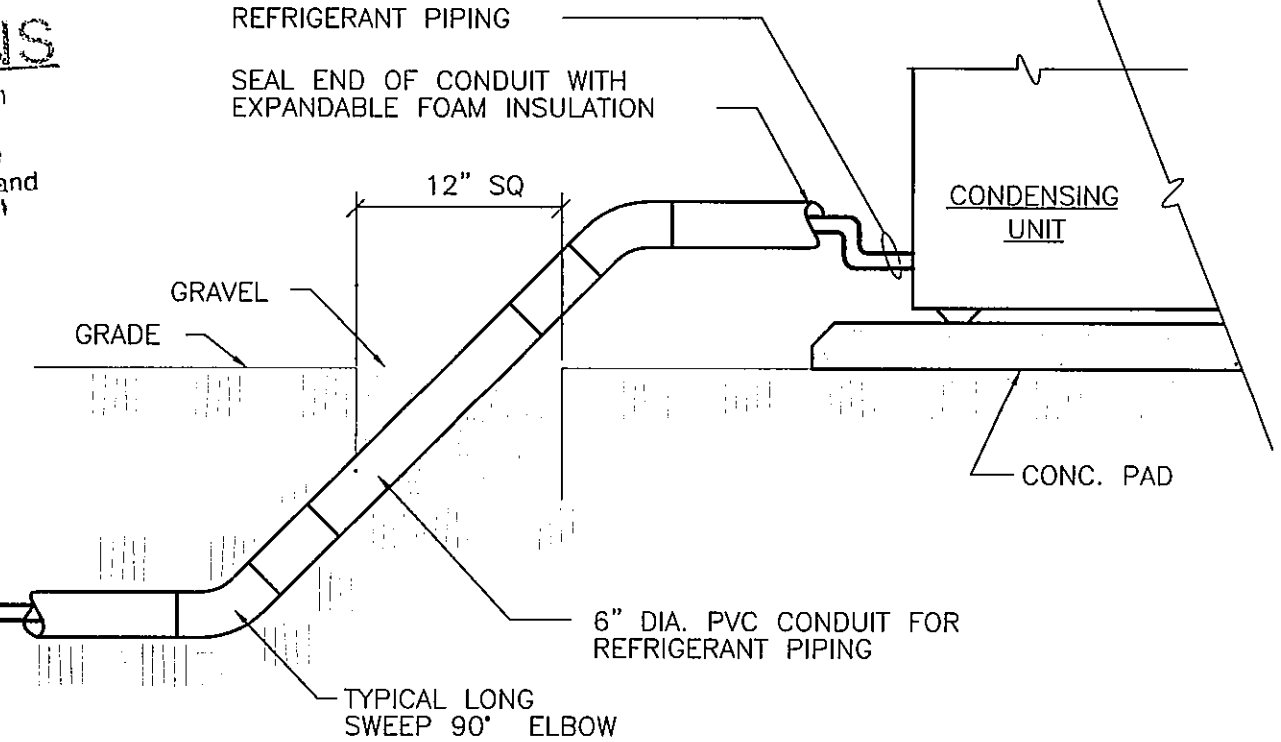
**AIR HANDLER 1, 3 and 4 DETAIL
 NTS**

NOTE: ALL ITEMS INSTALLED
 IN MECHANICAL CLOSET SHALL
 BE PLENUM RATED

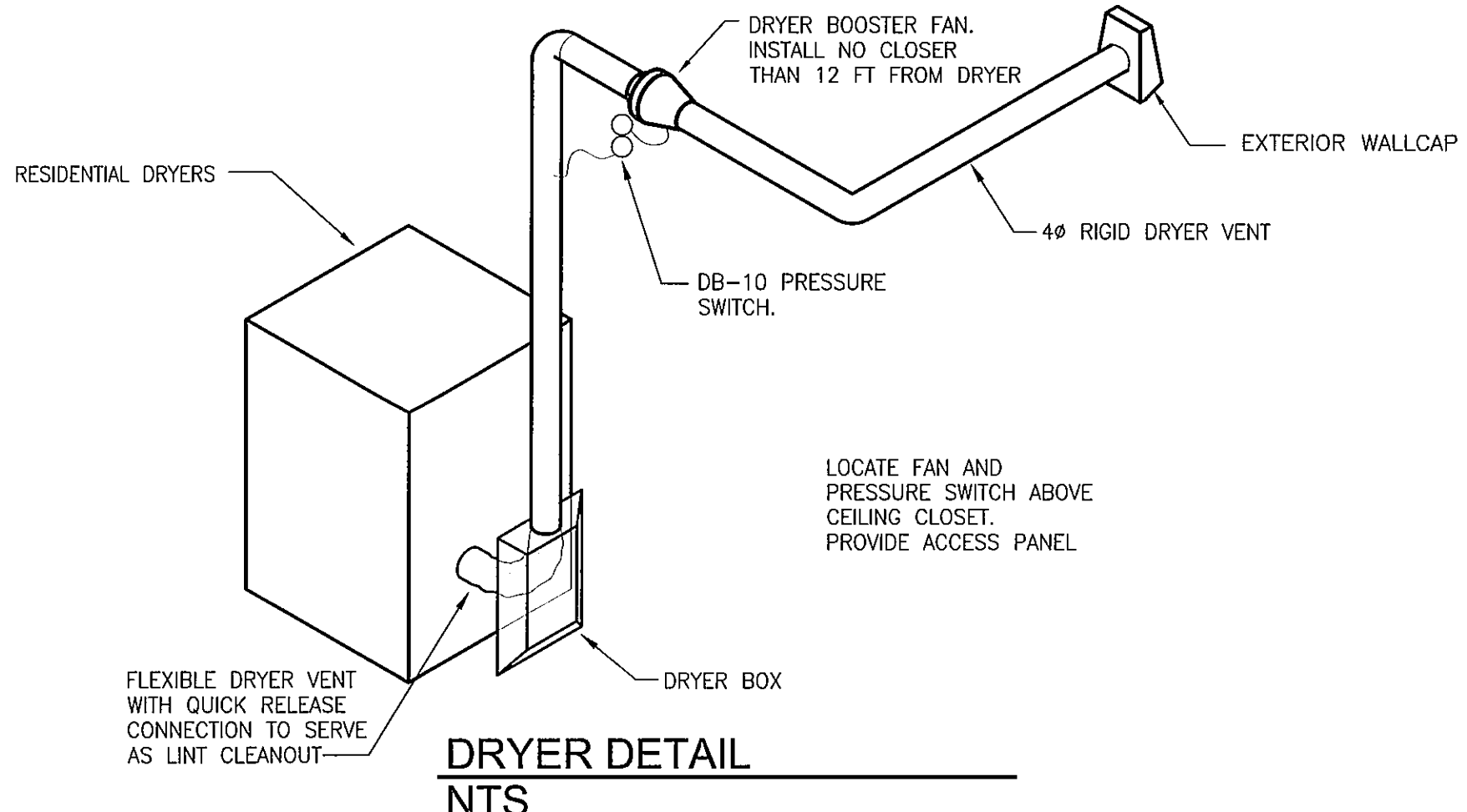
JOB SITE PLANS
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 the job site of work at all times.
 per Sarasota County Ordinance
 Sarasota County Construction and
 Property Standards Department



**CONDENSER TIE DOWN DETAIL
 NTS**

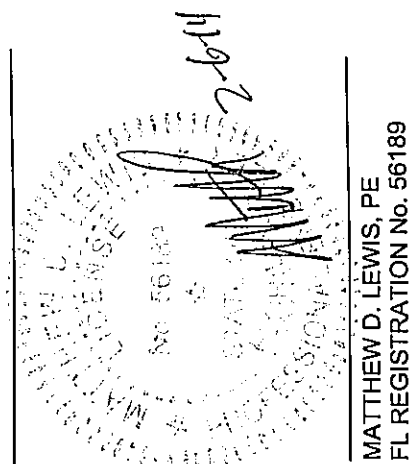


**REFRIGERANT SLEEVE DETAIL
 NTS**



**DRYER DETAIL
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DESIGN

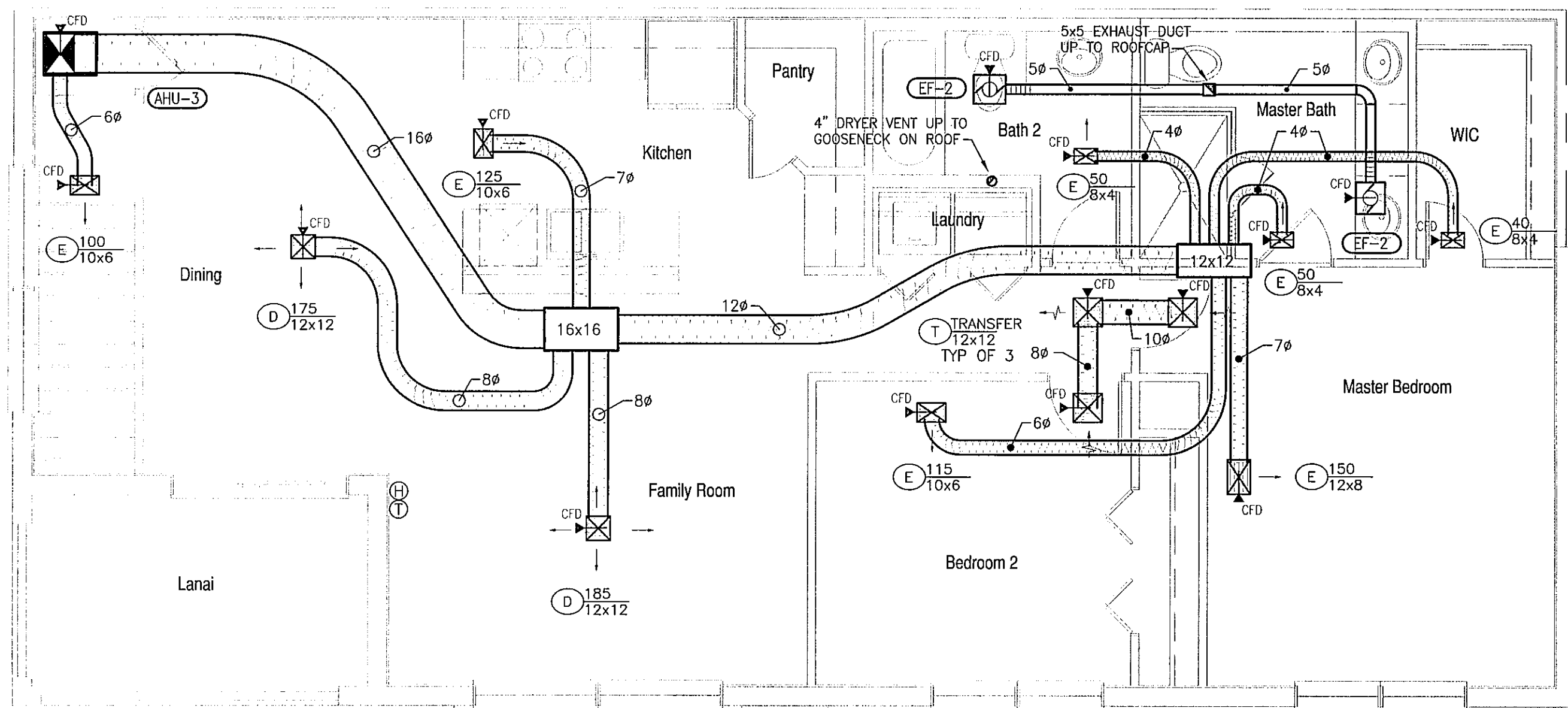
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904 732 7335

JOB NO: 02T11002 PROJECT: JPS
DRAWN: JPS CHECKED: MDL

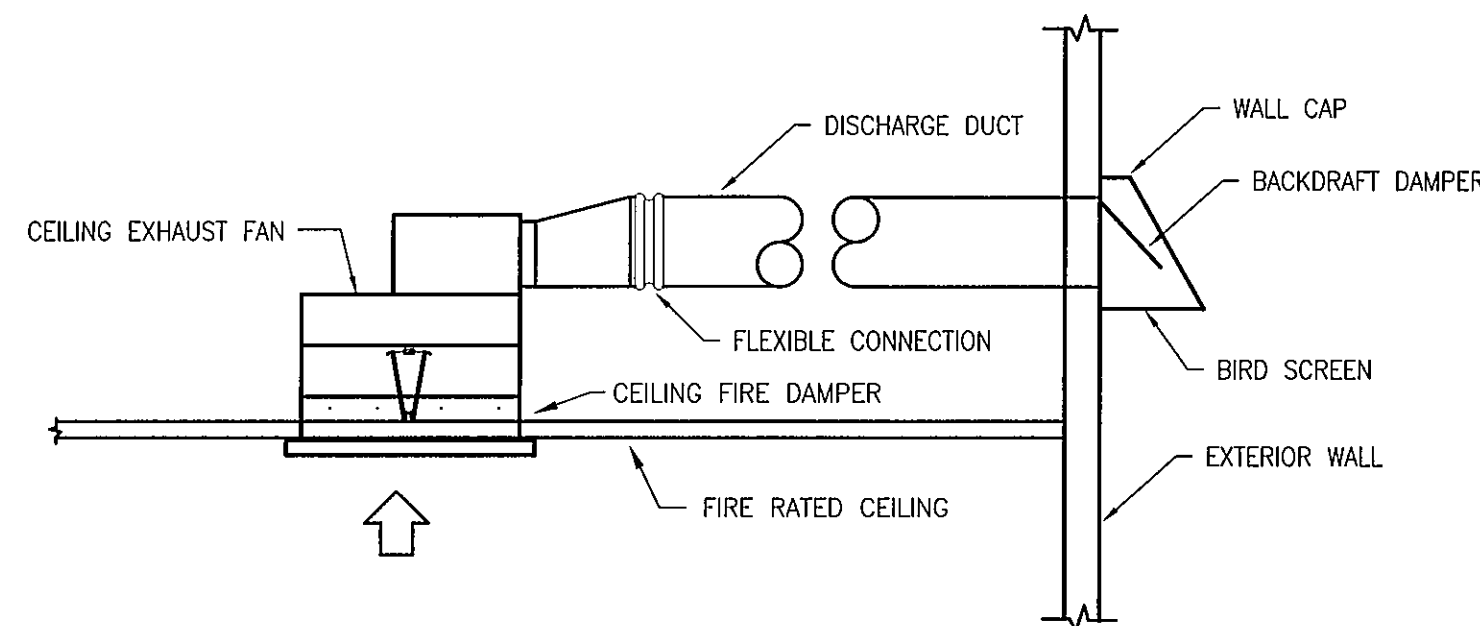
M2.2

UNIT-C AND UNIT-D
MECHANICAL PLANS

2-4-14



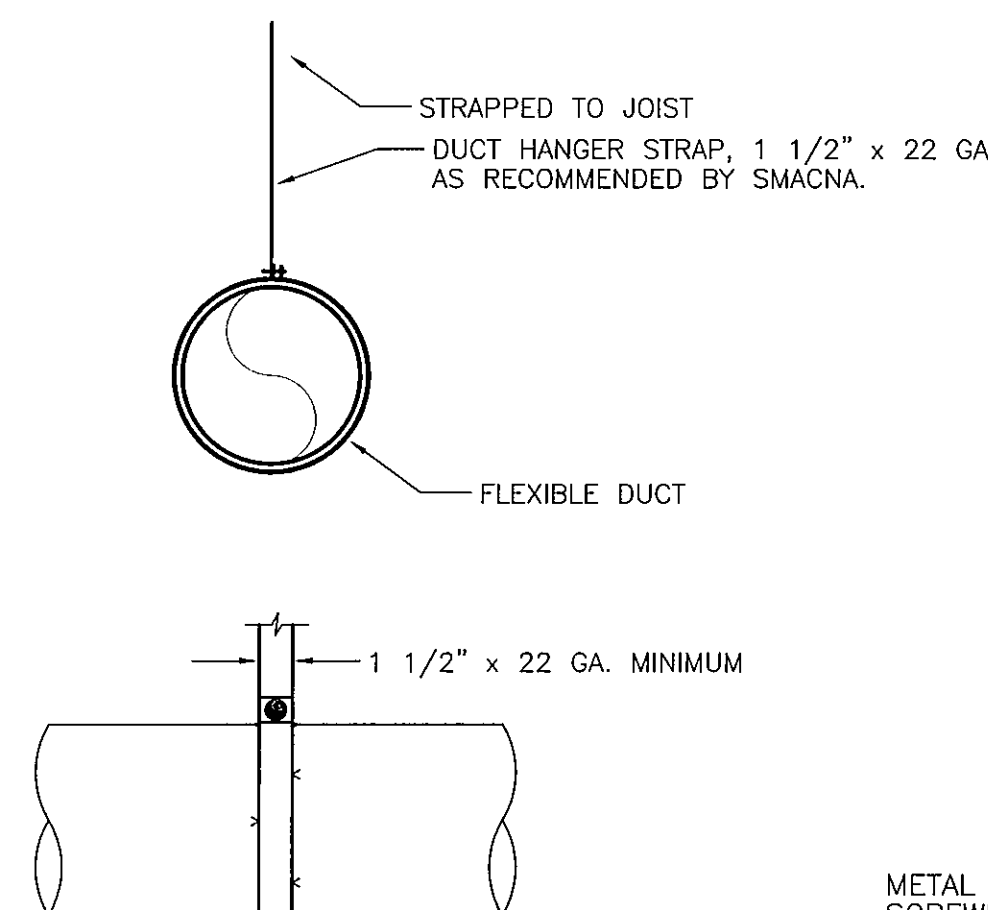
UNIT-C
MECHANICAL PLAN
1/4" = 1'-0"



NOTES:

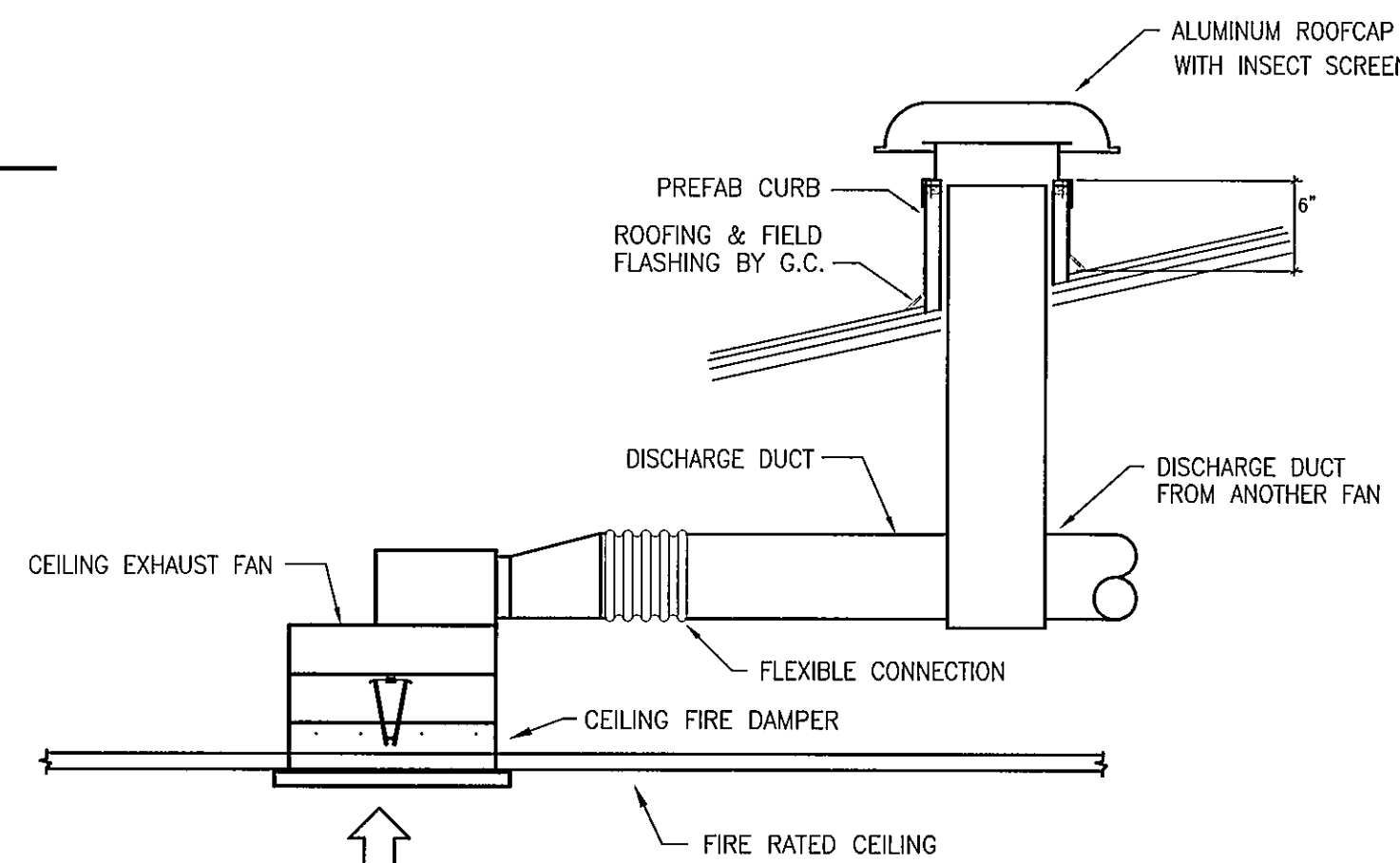
1. SUPPRT DIFFUSER FROM STRUCTURE, NOT FROM CEILING.
2. ELIMINATE FIRE DAMPER IF INSTALLED IN NON-RATED CEILING
3. INSTALL CEILING FIRE DAMPER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

EXHAUST FAN DETAIL-2
NTS



NOTE:
FLEXIBLE DUCT SUPPORTS SHALL BE STRAP
HANGERS IN ACCORDANCE WITH SMACNA
RECOMMENDATIONS. HANGER STRAPS
SHALL BE GALVANIZED STEEL.
SPACING PER SMACNA STANDARDS.

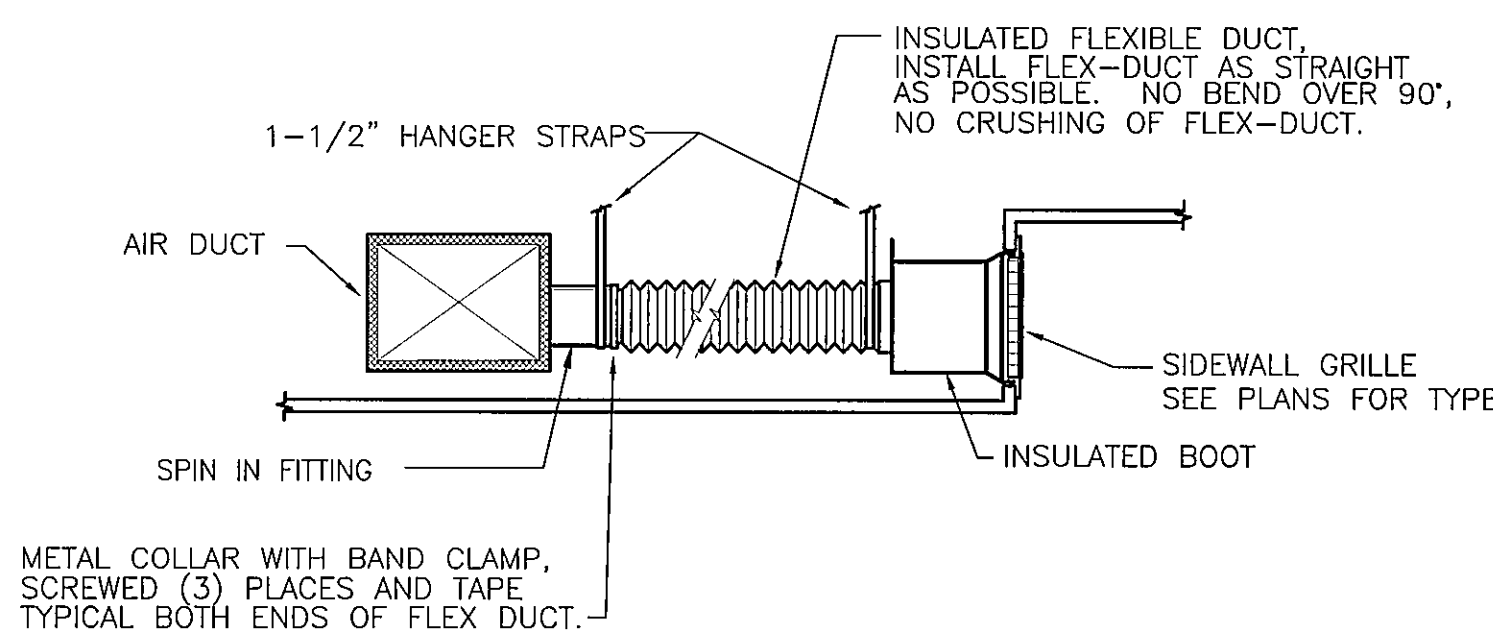
FLEXIBLE DUCT HANGER DETAIL
NTS



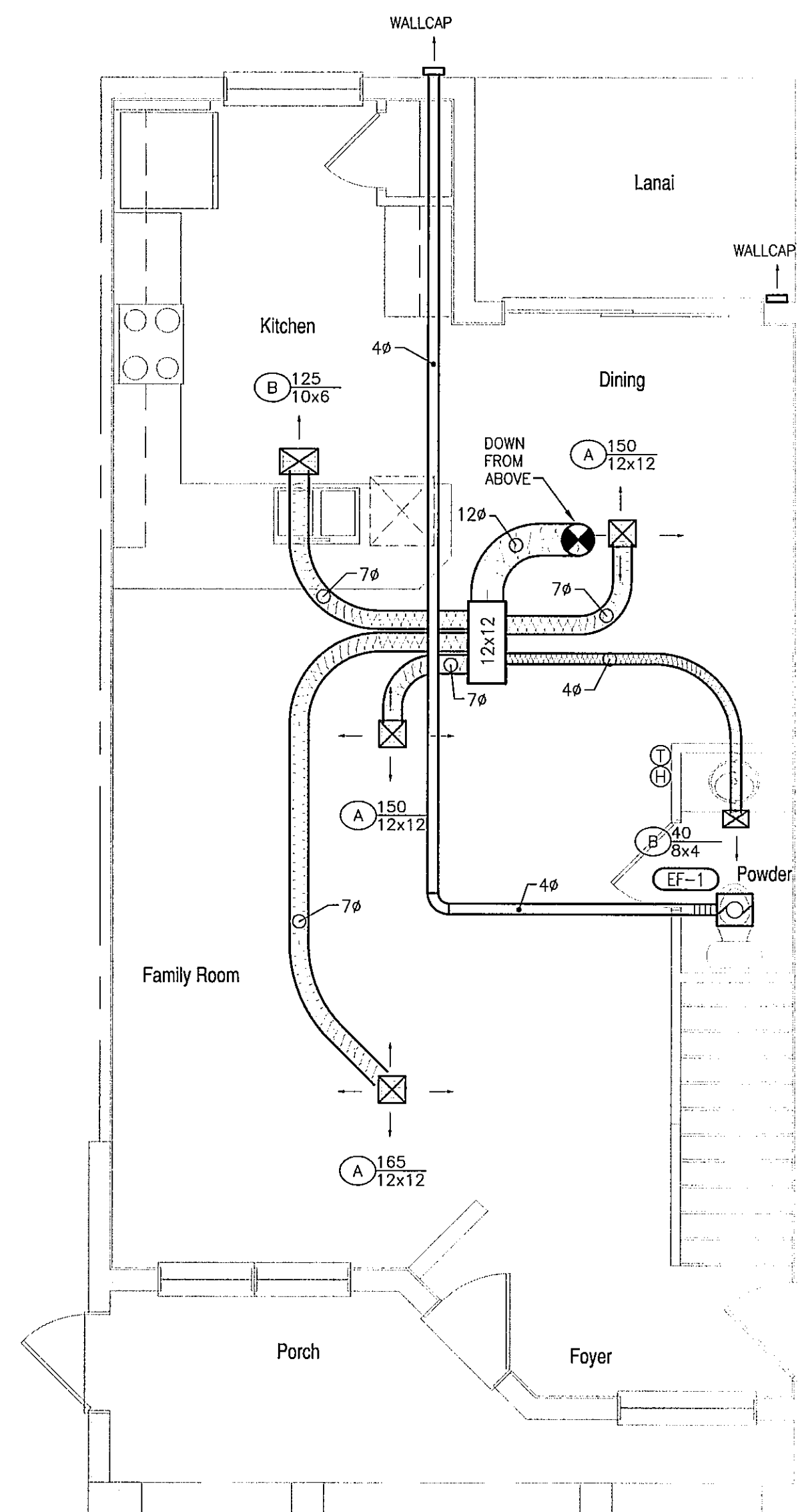
NOTES:

1. SUPPRT DIFFUSER FROM STRUCTURE, NOT FROM CEILING.
2. ELIMINATE FIRE DAMPER IF INSTALLED IN NON-RATED CEILING
3. INSTALL CEILING FIRE DAMPER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

EXHAUST FAN DETAIL-1
NTS



SIDEWALL REGISTER DETAIL
NTS

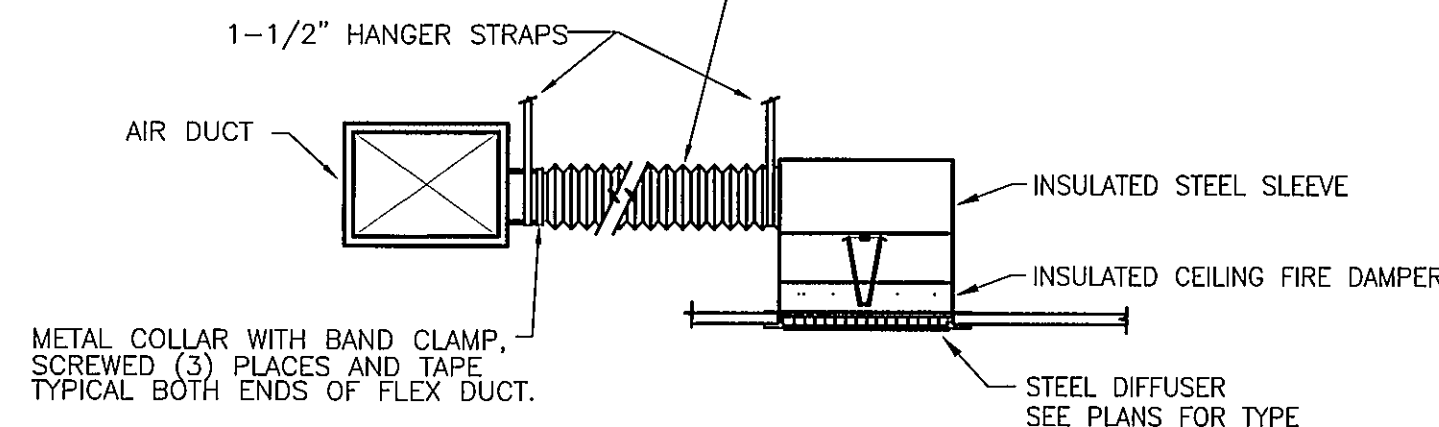


UNIT-D
FIRST FLOOR
MECHANICAL PLAN
1/4" = 1'-0"

JOB SITE PLANS

This set of plans must be kept on
the job site of work at all times.
per Sarasota County Ordinance
and Florida Building Standards Department

INSULATED FLEXIBLE DUCT.
INSTALL FLEX-DUCT AS STRAIGHT AS POSSIBLE.
NO BEND OVER 90°, NO CRUSHING OF FLEX-DUCT.

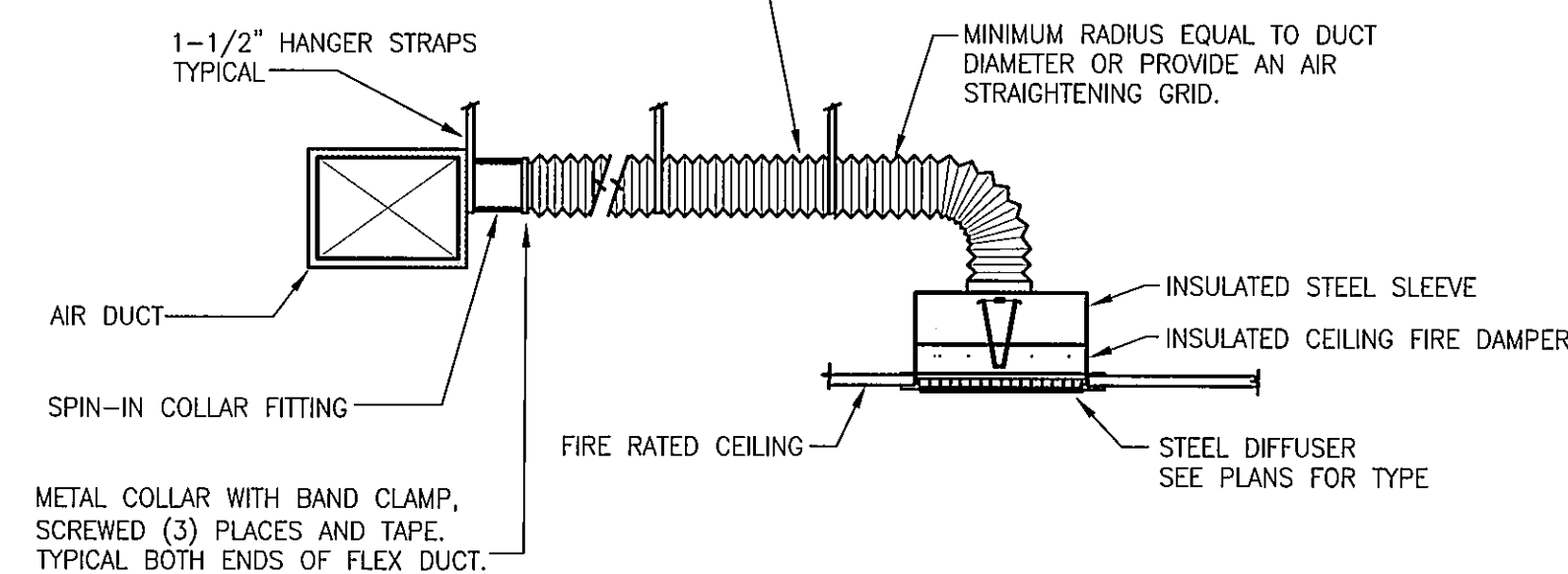


NOTES:

1. ONLY IF UNABLE TO INSTALL BRANCH DUCT CONNECTION FROM TOP AS DETAILED IN DETAIL #1 DUE TO FIELD CONDITIONS, SIDE CONNECTION IS ACCEPTABLE.
2. SUPPORT DIFFUSER FROM STRUCTURE, NOT FROM CEILING.
3. ELIMINATE FIRE DAMPER IF INSTALLED IN NON-RATED CEILING
4. INSTALL CEILING FIRE DAMPER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

CEILING REGISTER DETAIL-2
NTS

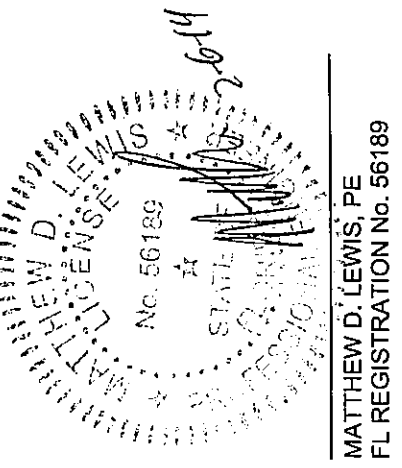
INSULATED FLEXIBLE DUCT. INSTALL AS
STRAIGHT AS POSSIBLE. NO BENDS OVER
90°, NO CRUSHING OF FLEX-DUCT.



NOTES:

1. SUPPRT DIFFUSER FROM STRUCTURE, NOT FROM CEILING.
2. ELIMINATE FIRE DAMPER IF INSTALLED IN NON-RATED CEILING
3. INSTALL CEILING FIRE DAMPER IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

CEILING REGISTER DETAIL-1
NTS



PLUMBING NOTES

SCOPE: THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING A PROPOSAL. THE INFORMATION GIVEN HEREIN AND ON THE DRAWINGS IS AS EXACT AS COULD BE SECURED, BUT ITS EXTREME ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION GIVEN AS EXISTING CONDITIONS.

THE DRAWINGS ARE DIAGRAMMATIC, INTENDED TO SHOW GENERAL ARRANGEMENT, CAPACITY AND LOCATION OF VARIOUS COMPONENTS, EQUIPMENTS, AND DEVICES.

ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, AND LOCAL CODES AND ORDINANCES. INSTALLATION SHALL COMPLY WITH THE STANDARDS SET BY NFPA, ASPE, NEC AND UL.

THE SYSTEMS, EQUIPMENT, DEVICES AND ACCESSORIES SHALL BE INSTALLED, FINISHED, TESTED AND ADJUSTED FOR CONTINUOUS AND PROPER OPERATION.

IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK, OR SHOULD DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND THE MANUFACTURER'S RECOMMENDATIONS, OR BETWEEN CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL REQUEST INTERPRETATION BEFORE PROCEEDING WITH WORK.

CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE THE INSTALLATION WHETHER OR NOT SPECIFIED IN THE DOCUMENTS.

EXACT LOCATIONS AND MOUNTING HEIGHTS OF PLUMBING FIXTURES SHALL BE OBTAINED FROM ARCHITECTURAL DRAWINGS.

COORDINATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK FITTING IN PLACE AND SHALL COORDINATE WITH OTHER TRADES TO AVOID INTERFERENCE WITH THEIR WORK.

INSTALL ALL PLUMBING TO AVOID INTERFERENCE WITH ELECTRICAL AND MECHANICAL EQUIPMENT AND STRUCTURAL FRAMING. NO WATER OR DRAIN LINES PERMITTED OVER OR UNDER ELECTRICAL PANELS.

SHOP DRAWINGS: EACH TRADE SHALL PREPARE AND SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH PROCEDURES OUTLINED IN DIVISION 1. RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SUBMITTALS SHALL NOT BE RELIEVED BY THE ARCHITECT'S OR ENGINEER'S REVIEW. ENGINEER'S PROCESSING WILL NOT CONSTITUTE A COMPLETE CHECK BUT WILL INDICATE ONLY THAT A GENERAL METHOD OF CONSTRUCTION AND DETAILING IS SATISFACTORY.

AS-BUILT DRAWINGS: DURING THE PROGRESS OF THE WORK, MAINTAIN AN ACCURATE RECORD SHALL SHOW CHANGES IN MANUFACTURER (WITH NUMBERS AND TRADE NAMES), MATERIALS, SIZES, LOCATIONS AND HOOK-UP POINTS. AS-BUILTS SHALL BE GIVEN TO OWNER'S CONSTRUCTION MANAGER AT COMPLETION OF JOB.

REQUIRED ACCESS: CONTRACTOR SHALL ENSURE THAT ALL EQUIPMENT AND DEVICES THAT REQUIRE REPLACEMENT, SERVICING, ADJUSTING OR MAINTENANCE SHALL BE LOCATED TO ALLOW EASY ACCESS AND SPACE FOR REMOVAL OF INTERNAL ASSEMBLIES, IF REQUIRED. CONTRACTOR SHALL PROVIDE ACCESS PANELS WHERE REQUIRED TO ALLOW ACCESS, EVEN IF NOT INDICATED ON THE DRAWINGS AT NO ADDITIONAL COST TO OWNER.

OPERATING AND MAINTENANCE DATA: SUBMIT THREE COPIES OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS AND SPARE PARTS LIST FOR EACH PIECE OF EQUIPMENT.

VALVES: ALL VALVES SHALL HAVE A MINIMUM OF 125 PSIG WORKING PRESSURE. VALVES AND COCKS MAY NOT BE INDICATED IN EVERY INSTANCE ON THE DRAWINGS, BUT WHETHER OR NOT SHOWN, ALL VALVES, COCKS AND CHECK VALVES NECESSARY FOR THE PROPER OPERATION OF THE SYSTEM SHALL BE FURNISHED AND INSTALLED.

INSTALL ISOLATION/SHUT-OFF VALVES ON EACH INLET AND OUTLET OF EACH PIECE OF EQUIPMENT. PROVIDE A FLANGE OR UNION BETWEEN THE VALVE AND THE EQUIPMENT TO PERMIT DISCONNECTION, REMOVAL AND SERVICE.

PROVIDE ANGLE STOPS ON ALL WATER SERVICE LINE TO INDIVIDUAL FIXTURES FOR SHUT-OFF.

DIELECTRIC UNIONS: PROVIDE DIELECTRIC UNIONS OR FLANGES AT CONNECTIONS OR CONTACT BETWEEN PIPES OF DISSIMILAR METALS.

PLUMBING FIXTURES AND TRIM: PLUMBING FIXTURES SHALL BE FURNISHED AND INSTALLED IN A NEAT AND WORKMANLIKE MANNER WITH PROPER CONNECTIONS TO SUPPLY AND DRAINAGE PIPING. ALL FIXTURES SHALL BE FREE OF FLAWS AND DEFECTS OF ANY SORT IN MATERIAL AND WORKMANSHIP AND SHALL OPERATE PERFECTLY WHEN INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. CONTRACTOR SHALL PROVIDE ROUGH-IN, AND SHALL CONNECT ALL FIXTURES TO THE PLUMBING SYSTEMS. PROVIDE CONCEALED ARM CARRIERS AND SUPPORTS FOR ALL FIXTURES REQUIRING SAME.

PIPE PENETRATION: PROVIDE SLEEVES THROUGH ALL PENETRATIONS THROUGH CONCRETE AND MASONRY FLOORS AND WALLS. SEAL ALL PENETRATIONS WATER TIGHT.

ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE AND WATER PENETRATION BY FILLING Voids BETWEEN PIPE AND WALL/FLOOR SLEEVES WITH FIRE RATED FOAM TO ACHIEVE THE SAME RATING AS WALLS OR FLOOR.

WATER PIPING: CPVC TUBING WITH THE FOLLOWING CHARACTERISTICS. TUBING, FITTINGS AND CEMENT SHALL MEET ASTM D-2846, 100 PSI @ 180°F CONTINUOUS RATING. CPVC TUBING AND FITTINGS SHALL MEET 25/50 FLAME SPREAD/SMOKE DEVELOPED REQUIREMENTS FOR PLENUMS. CONTRACTOR SHALL INSTALL CPVC IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CONTRACTOR SHALL PROVIDE FOR EXPANSION AND CONTRACTION OF TUBING. TUBING SHALL BE SLEEVED AT PENETRATION OF CONCRETE SLABS OR WALLS. CPVC TUBING SHALL BE FLOWGUARD GOLD OR APPROVED EQUAL.

PROVIDE BID ALTERNATE FOR PEX TUBING WITH THE FOLLOWING CHARACTERISTICS. TUBING AND FITTINGS SHALL MEET ASTM F876, ASTM 877, AND ASTM F1807. PEX TUBING AND FITTINGS SHALL MEET 25/50 FLAME SPREAD/SMOKE DEVELOPED REQUIREMENTS FOR PLENUMS. CONTRACTOR SHALL INSTALL PEX IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. TUBING SHALL BE SLEEVED AT PENETRATION OF CONCRETE SLABS OR WALLS. PEX TUBING SHALL BE ZURN-PEX OR APPROVED EQUAL.

SANITARY, STORM, DRAIN AND VENT PIPING: ALL BURIED AND UNBURIED PIPING AND FITTINGS SHALL BE SCHEDULE 40 PVC-DWV.

SLOPE OF SANITARY OR DRAINAGE PIPING 2-1/2" AND SMALLER SHALL BE A MINIMUM OF 1/4" PER FOOT; PIPING 3" AND LARGER SHALL BE SLOPED A MINIMUM OF 1/8" PER FOOT.

VENTING: THE STACKS SHALL BE EXTENDED THROUGH ROOF OF BUILDING TO POINTS NOT LESS THAN 12" ABOVE ROOF. VENTS SHALL BE OFFSET AS REQUIRED TO PENETRATE ROOFS AT LEAST 3 FEET EDGE OF BUILDING AND 10 FEET FROM ANY FRESH AIR INTAKE OR OPERABLE WINDOW OR DOOR.

DOMESTIC HOT WATER HEATERS (ELECTRIC): HOT WATER HEATER SHALL BE UL CERTIFIED. UNITS SHALL BE EQUIPPED WITH CODE-APPROVED TEMPERATURE AND PRESSURE RELIEF VALVES. TANKS SHALL BE GLASS-LINED AND SHALL HAVE MANUFACTURER'S STANDARD WARRANTY.

EQUIPMENT FURNISHED BY OTHERS: THE CONTRACTOR SHALL MAKE ALL PIPING CONNECTIONS TO EQUIPMENT FURNISHED BY OTHERS. THIS WORK SHALL INCLUDE FURNISHING AND INSTALLATION OF ALL WATER AND DRAIN PIPING. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH RECOMMENDATIONS OF EQUIPMENT MANUFACTURER.

CLEANOUTS: PROVIDE CLEANOUT WHERE SANITARY LINE LEAVES BUILDING. PROVIDE CLEANOUTS AT BASE OF EACH STACK. CONCEALED CLEANOUTS SHALL HAVE CAST BRASS CHROMIUM PLATED FLAT ACCESS COVER PLATE.

CONDENSATE DRAINS: COORDINATE WITH MECHINICAL CONTRACTOR. RUN CONDENSATE DRAIN LINES FOR MECHANICAL AIR HANDLER. CONDENSATE DRAIN SHALL BE MINIMUM OF 1" SCHEDULE 40 PVC. DRAINS SHALL BE PITCHED NOT LESS THAN 1" IN 10'. PROVIDE P-TRAP AND CLEANOUT AT DRAIN PAN CONNECTIONS. INSULATE CONDENSATE DRAINS WITH 1/2" ARMAFLEX. DRAINS SHALL BE ROUTED TO DRYWELL OR AN APPROVED LOCATION.

STERILIZATION OF DOMESTIC WATER SYSTEM: THE DOMESTIC WATER DISTRIBUTION SYSTEM SHALL BE PURGED OF DELETERIOUS MATTER AND WHERE REQUIRED REQUIRED BY THE ADMINISTRATIVE AUTHORITY, DISINFECTED PRIOR TO UTILIZATION. THE METHOD TO BE FOLLOWED SHALL BE PERSORIBED BY THE HEALTH AUTHORITY OR WATER PURVEYOR HAVING JURISDICTION, OR THE ABSENCE OF A PRESCRIBED METHOD, THE PROCEDURE DESCRIBED IN EITHER AWWA C651 OR AWWA C652, OR AS DESCRIBED IN SECTION 610 FBC-P.

TESTING: TEST ALL WASTE AND VENT PIPING IN THE MANNOR REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION.

REPAIR ANY LEAKS FOUND BY REMAKING JOINT. DO NOT USE CAULKING OR SIMILAR METHODS TO CORRECT LEAKS. UPON REPAIRING ANY LEAKS FOUND, AGAIN TEST THAT PORTION OF THE SYSTEM AS DESCRIBED ABOVE.

FIXTURE CONNECTION SCHEDULE

MARK	FIXTURE	BRANCH SIZE				MANUFACTURER/MODEL	REMARKS
		DRAINAGE		WATER			
		WASTE	VENT	COLD	HOT		
WC-1	WATER CLOSET	3"	2"	1/2"	--	AMERICAN STANDARD CADET 2852.000 OR EQUAL	VITREOUS CHINA, ROUND BOWL, FLOOR MOUNTED TANK TYPE WITH WHITE SOLID PLASTIC SEAT WITH LID. PROVIDE 3/8" SUPPLY AND STOP.
L-1	LAVATORY	2"	2"	1/2"	1/2"	AMERICAN STANDARD AQUALYN 0476.028 AMERICAN STANDARD RELIANT 2385.006 OR EQUAL	20x17, SELF-RIMMING, VITREOUS CHINA, WITH FAUCET LEDGE AND INTERNAL OVERFLOW. PROVIDE SINGLE LEVER FAUCET, 4" CENTER, POP-UP DRAIN ASSEMBLY. PROVIDE TAILPEICE, P-TRAP, SUPPLY AND STOP.
S-1	SINK	2"	2"	1/2"	1/2"	PROFLO PFT332264 SINK PROFLO PF2001M FAUCET BADGER 5 DISPOSAL OR EQUAL	33x22, DOUBLE BOWL, STAINLESS STEEL SINK UNDERSIDE FULLY SOUND DEADENED. PROVIDE DUO STRAINER, TAIL-PEICE, P-TRAP, SUPPLY AND STOP. CHROME FINISH, SINGLE HANDLE, KITCHEN SPOUT. DISPOSAL: 1/2 HP, 6.9 AMPS, 120/1,
SH-1	SHOWER	2"	2"	1/2"	1/2"	CONTRACTOR BUILT SHOWER UNIT ZURN TEMP-GARD III Z27301-SS-MT OR EQUAL	REFER TO ARCHITECTURAL DRAWINGS FOR SHOWER UNIT. PROVIDE CHROME FINISHED PRESSURE-BALANCING MIXING VALVE WITH INTEGRAL SERVICE STOPS, SINGLE LEVER HANDLE AND SHOWER HEAD.
ST-1	SHOWER-TUB	2"	2"	1/2"	1/2"	PROFLO PFB6112 RIGHT-HAND TUB PROFLO PFB6113 LEFT-HAND TUB AURN TEMP-GARD III Z7302-SS-MT OR EQUAL	CONTRACTOR SHALL FIELD VERIFY QUANTITY OF LEFT HAND AND RIGHT HAND TUBS. TUBS SHALL BE CONSTRUCTED WITH ENAMELED STEEL WITH SLOPING BACK SUPPORT. TUBS SHALL HAVE INTEGRAL OVERFLOW, LIFT AND TURN STOPPER. PROVIDE CHROME FINISHED PRESSURE-BALANCING MIXING VALVE WITH INTEGRAL SERVICE STOPS, SINGLE LEVER HANDLE, SHOWER HEAD AND TUB SPOUT.
CB-1	ICE-MAKER CONNECTION BOX	--	--	1/2"	--	OATEY 38614 OR EQUAL	1/4 TURN BRASS BALL VALVE, PCVC RECESSED VALVE BOX.
CB-2	LAUNDRY CONNECTION BOX	2"	2"	1/2"	1/2"	OATEY 38747 OR EQUAL	1/4 TURN BRASS BALL VALVE, 2" DRAIN OPENING, PCVC RECESSED VALVE BOX.
HB-1	HOSE BIBB	--	--	1/2"	--	WOODFORD MODEL 24 OR EQUAL	ANTI-SIPHON PROTECTION
AW-1	AIR ADMITTANCE VALVE	--	2"	--	--	STUDOR MINI-VENT OR EQUAL	
WH-1	HOT WATER HEATER	--	--	3/4"	3/4"	AO SMITH ECJ-40 OR EQUAL	43 GALLON, ELECTRIC, 240/1, 6 KW. PROVIDE EXPANSION TANK, SAFETY PAN, T&P VALVE AND ISOLATION VALVES.

MAKE AND MODEL FOR BID PURPOSES ONLY. PROVIDE FIXTURE SUBMITTAL TO OWNER FOR APPROVAL

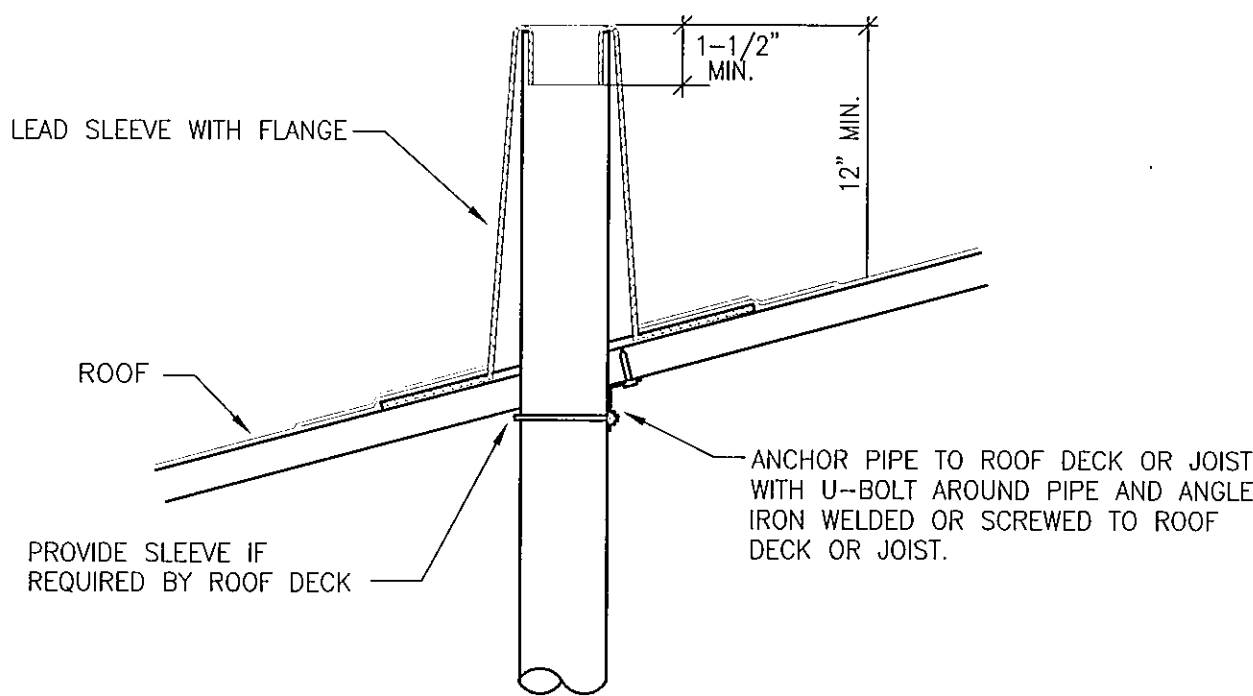
PLUMBING LEGEND

SYMBOL	DESCRIPTION
-----	SANITARY DRAIN
-----	VENT
-----	COLD WATER SUPPLY
-----	HOT WATER SUPPLY
-----	PLUMBING VALVE
-----	CHECK VALVE
-----	PIPE DOWN
-----	PIPE UP
(P-1)	PLUMBING FIXTURE NUMBER

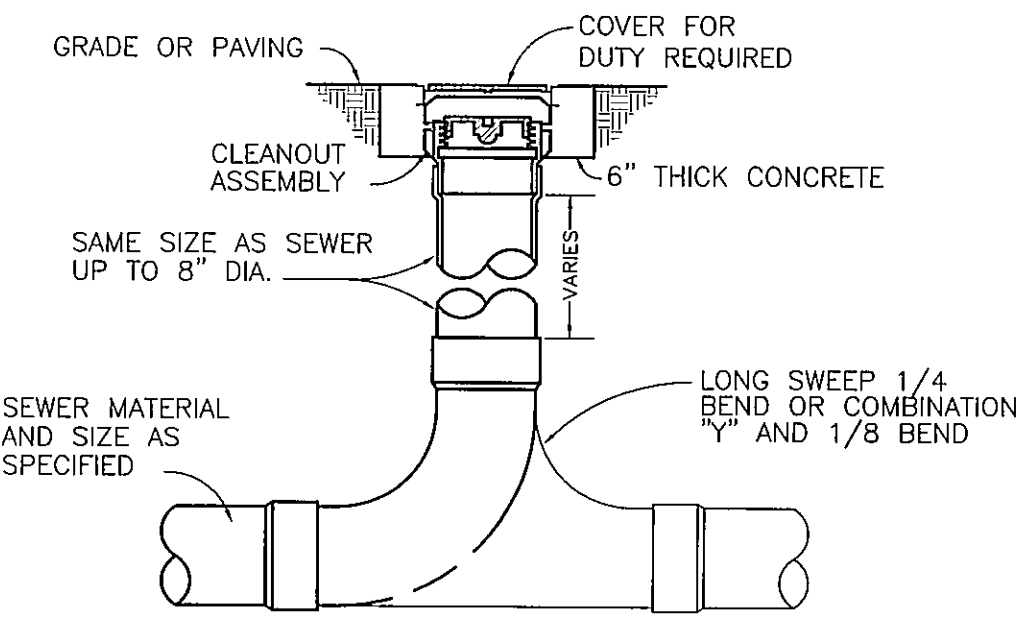
PLUMBING ABBREVIATION

ABBREVIATION	DESCRIPTION
AFF	ABOVE FINISHED FLOOR
CO	CLEANOUT
CV	CHECK VALVE
CWS	COLD WATER SUPPLY
FD	FLOOR DRAIN
GPM	GALLONS PER MINUTE
HB	HOSE BIBB
HWH	HOT WATER HEATER
HWS	HOT WATER SUPPLY
HWR	HOT WATER RETURN
PRV	PRESSURE REDUCING VALVE
SAN	SANITARY
T&P	TEMPERATURE AND PRESSURE
VTR	VENT THRU ROOF
WCO	WALL CLEAN OUT

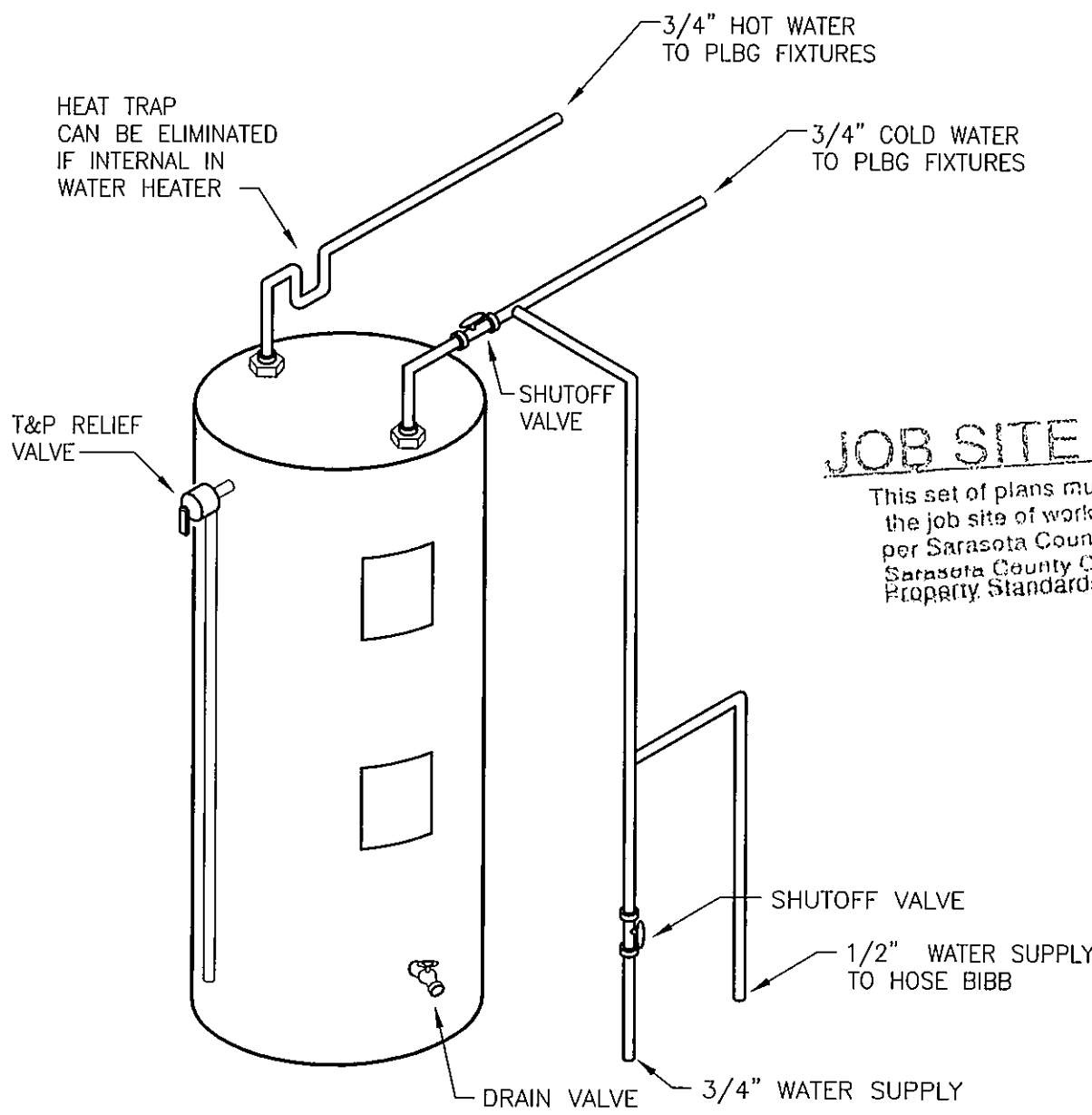
NOT ALL SYMBOLS AND ABBREVIATION MAY BE USED ON THIS PROJECT



VENT THROUGH ROOF DETAIL
N.T.S



GRADE CLEANOUT DETAIL
N.T.S

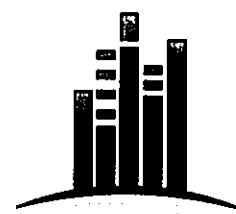


WATER HEATER DETAIL
N.T.S

PROVIDE EXPANSION VALVE IN SUPPLY LINE

Bay Street Village
7 Unit Condominium Building

160 East Bay Street
Osprey, Florida 34229



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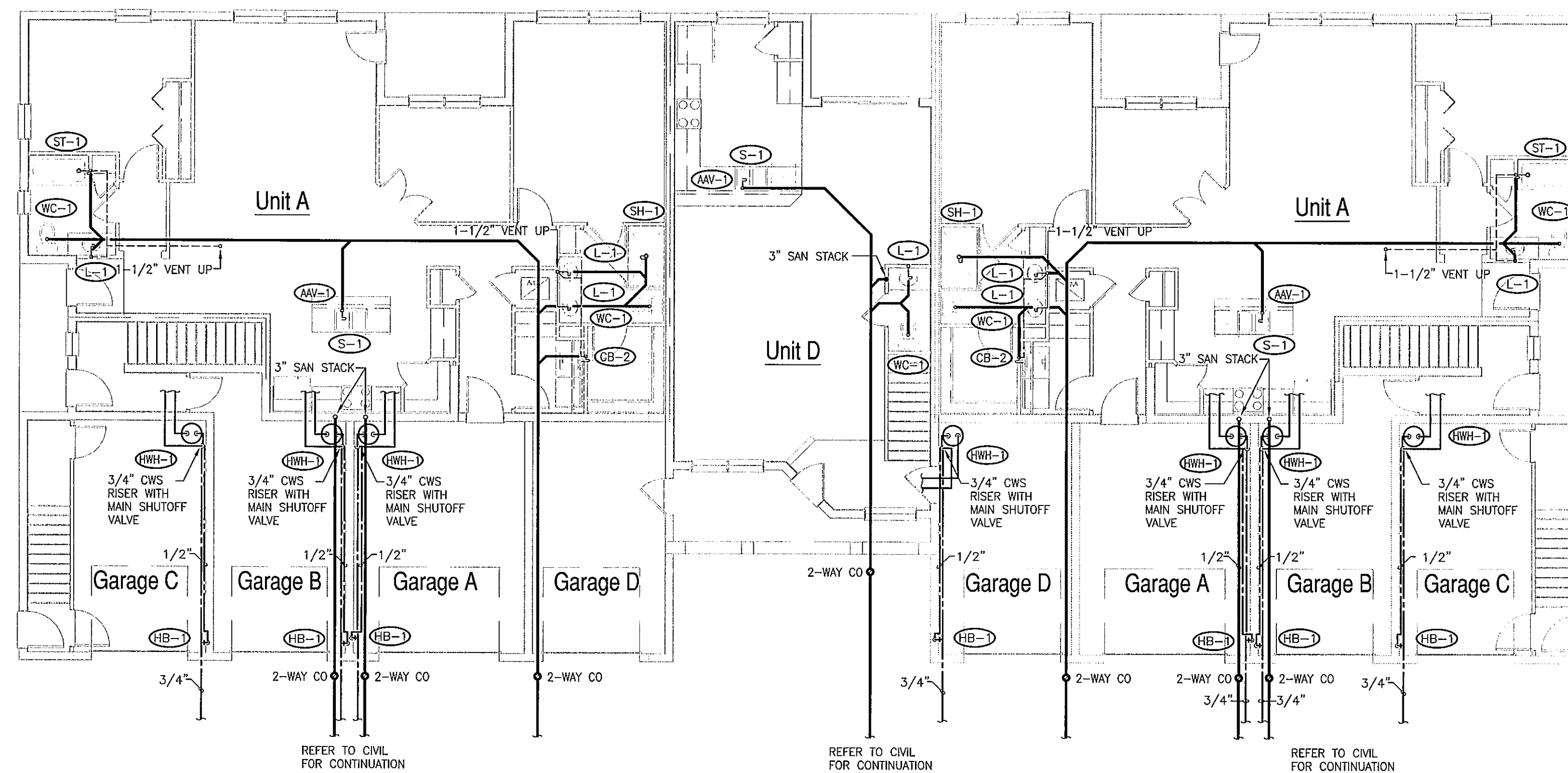
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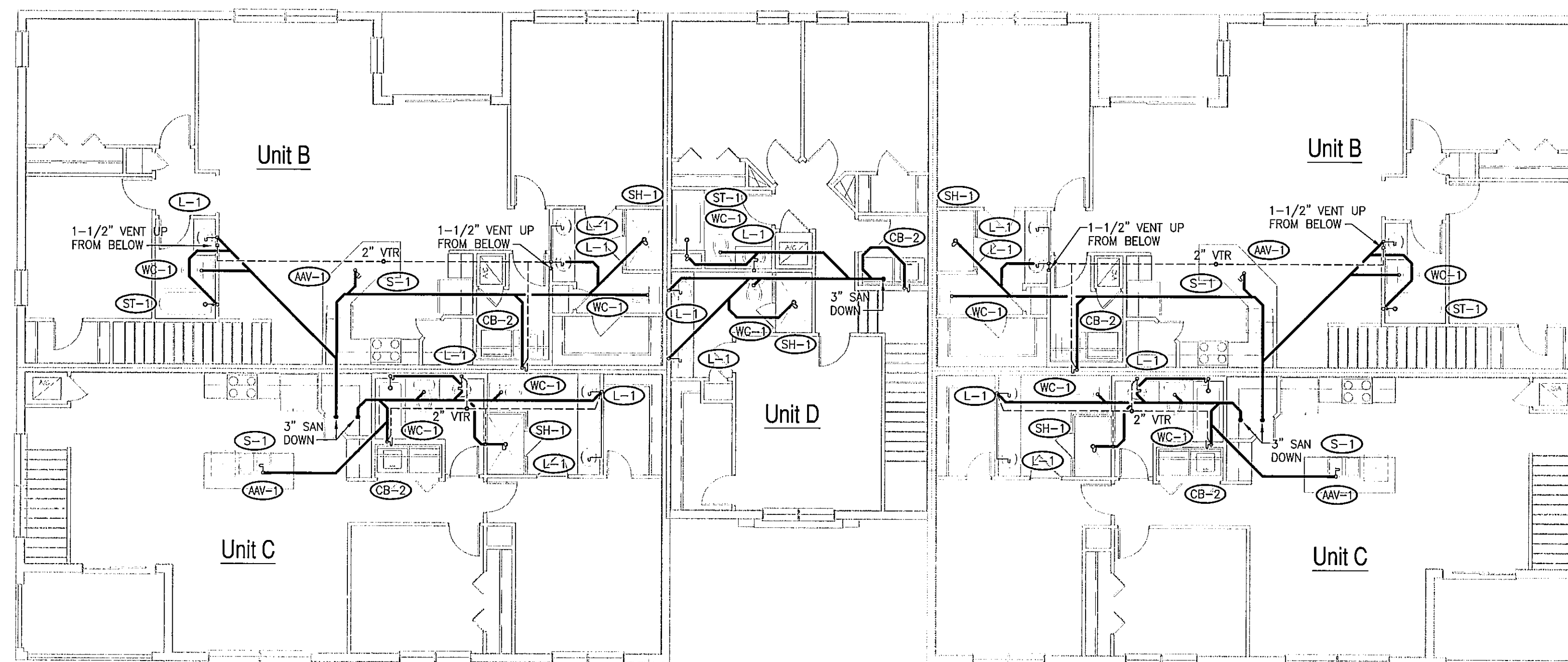
PLUMBING NOTES
DETAILS AND
SCHEDULES

2-4-14



JOB SITE PLANS

This set of plans must be kept on the job site of work at all times, per Sarasota County Ordinance 10-000, Sarasota County Construction and Property Standards Department.

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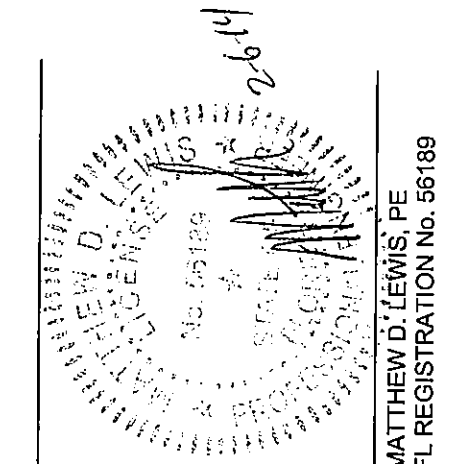
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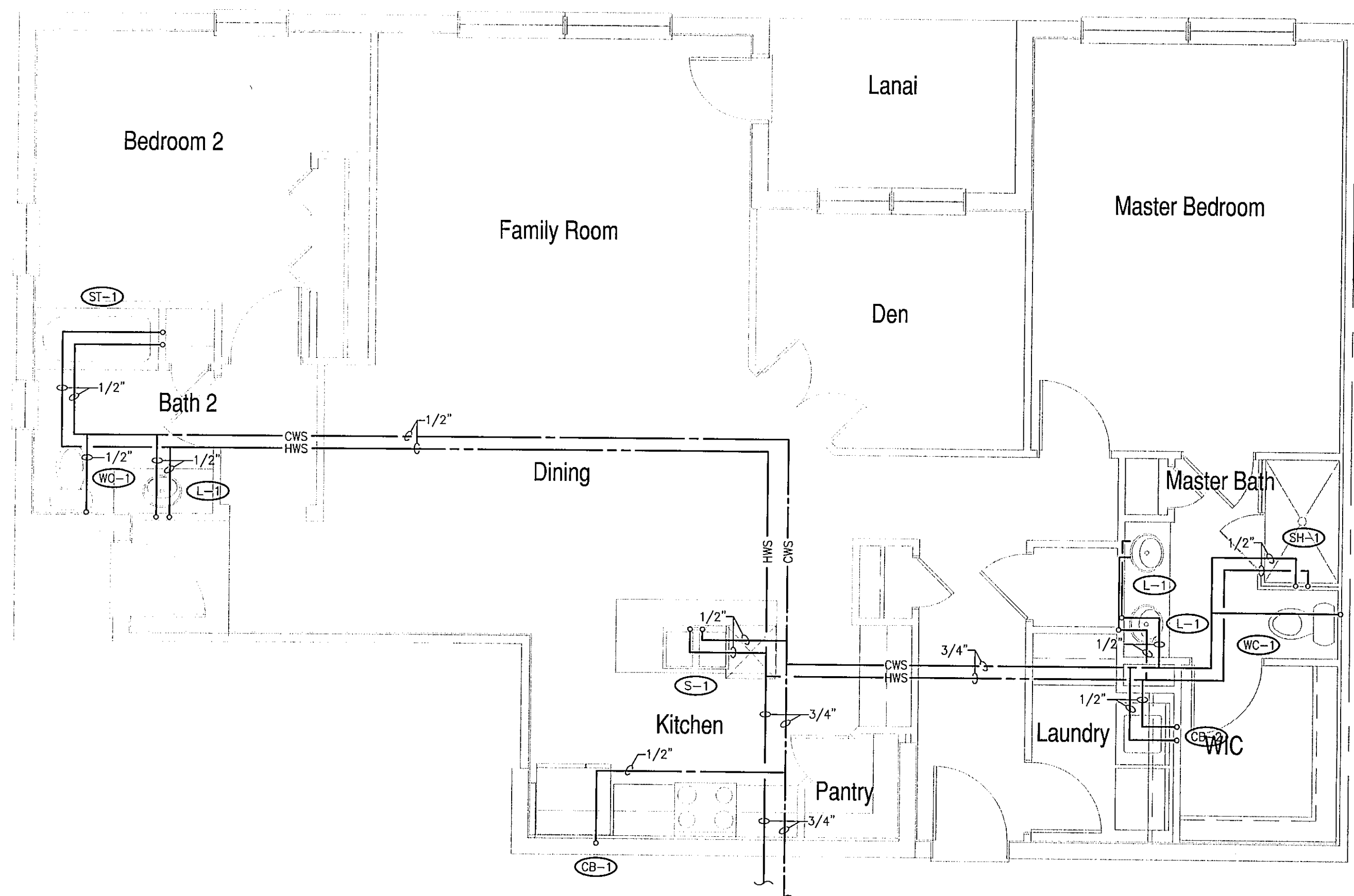
P2.1

SANITARY PLANS

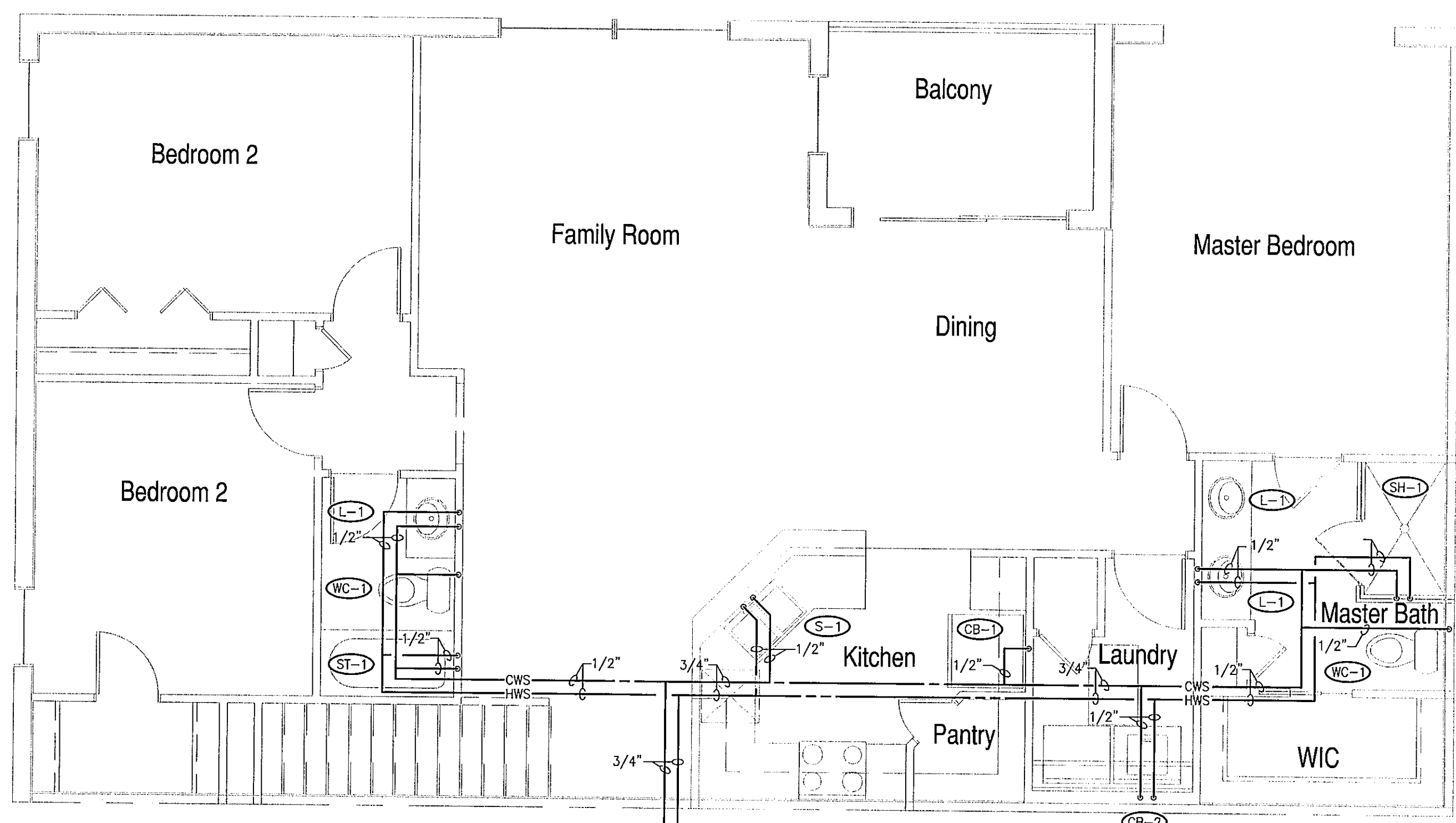


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 13880 TreeLine Ave, Suite 3
 Fort Myers, Florida 33913

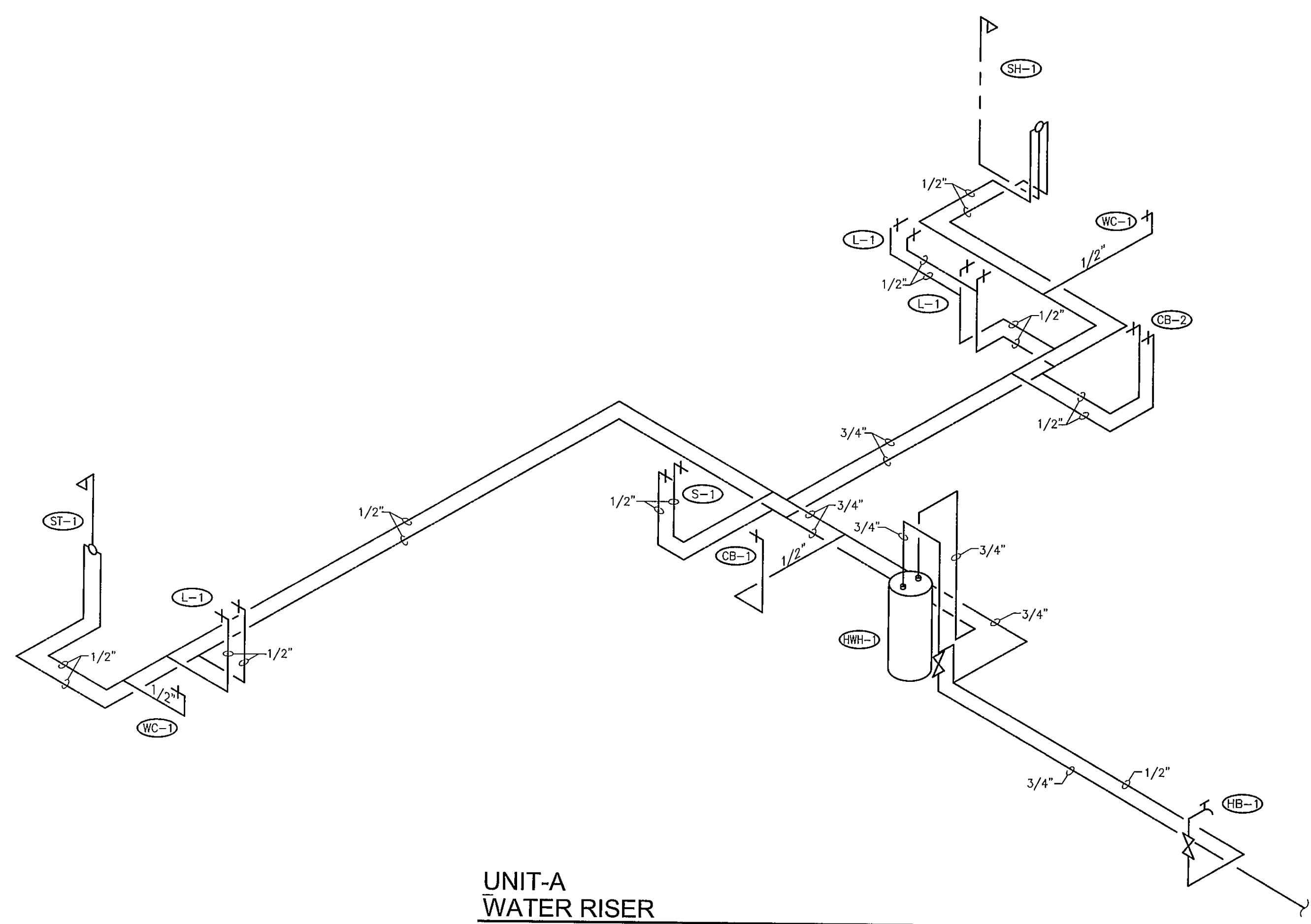


**UNIT-A
 WATER PLAN**
 1/4" = 1'-0"

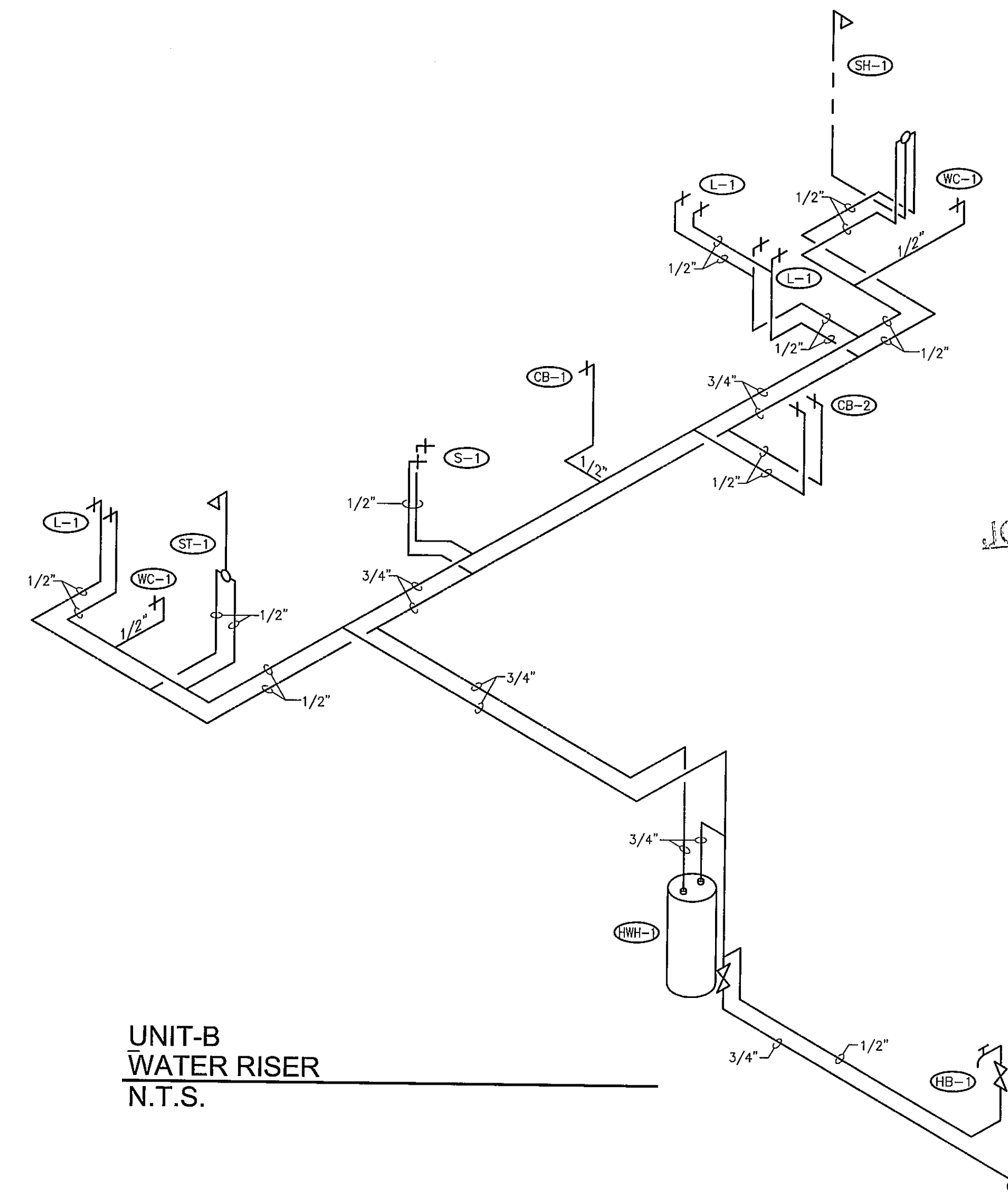


**UNIT-B
 WATER PLAN**
 1/4" = 1'-0"

WATER SUPPLY
 REFER TO SHEET P2.1
 FOR CONTINUATION



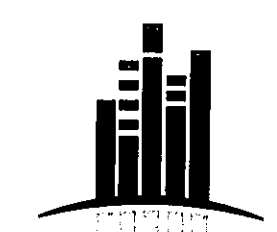
**UNIT-A
 WATER RISER**
 N.T.S.



**UNIT-B
 WATER RISER**
 N.T.S.

JOB SITE PLANS
 This set of plans must be kept on
 the job site of work at all times.
 per Sarasota County Ordinance
 Sarasota County Construction and
 Highway Standards Department

Bay Street Village
 7 Unit Condominium Building
 160 East Bay Street
 Osprey, Florida 34229



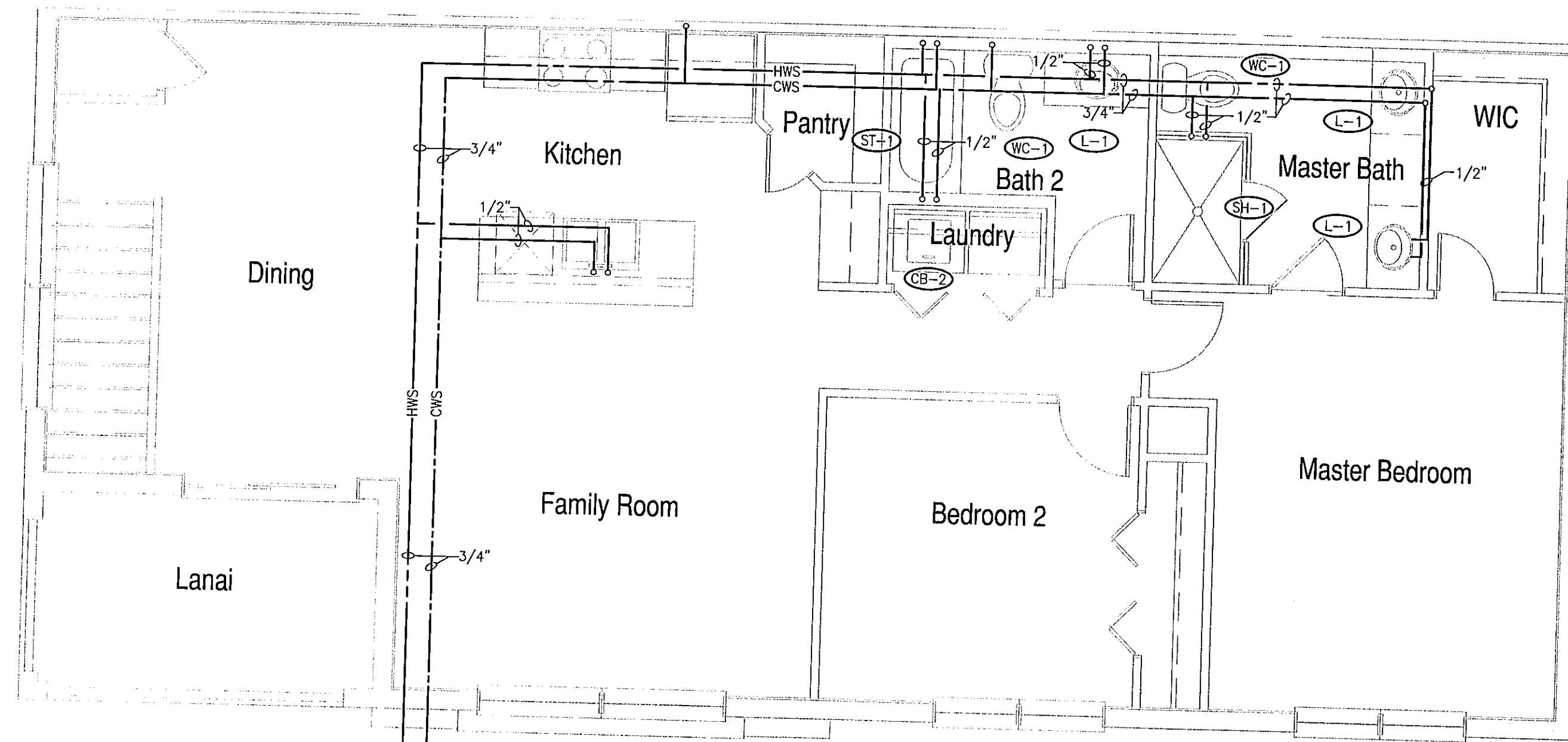
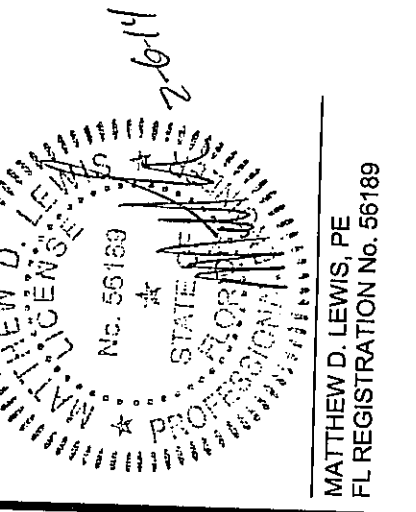
**BSB
 DESIGN**
 www.bsbdesign.com
 11512 Lako Mead Ave., #301
 Jacksonville, Florida 32256
 904 732 7335

JOB NO: 02T11002 PROJ MGR: JPS
 DRAWN: JPS CHECKED: MDL

P3.1

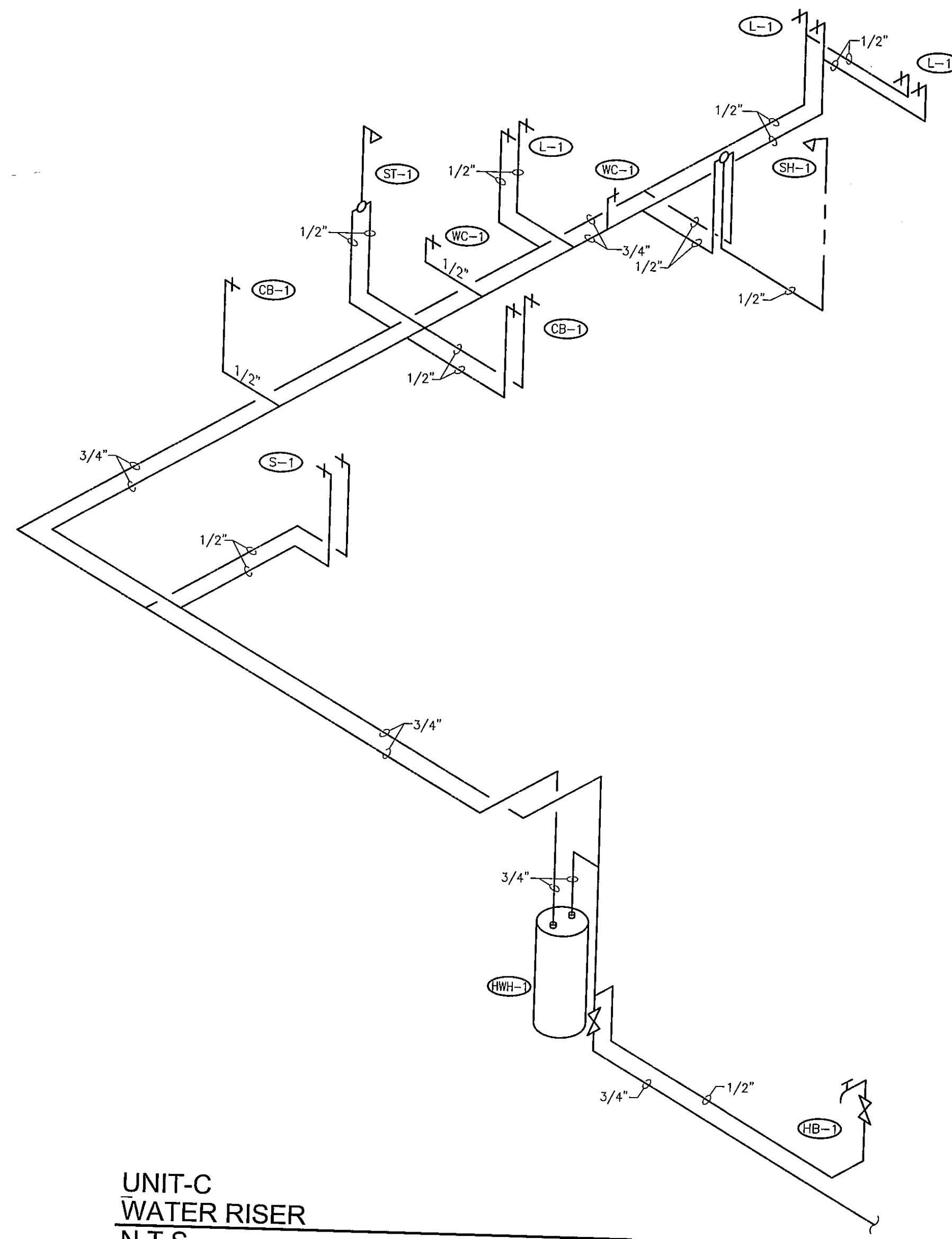
WATER PLAN
 UNIT A & UNIT B

2-4-14

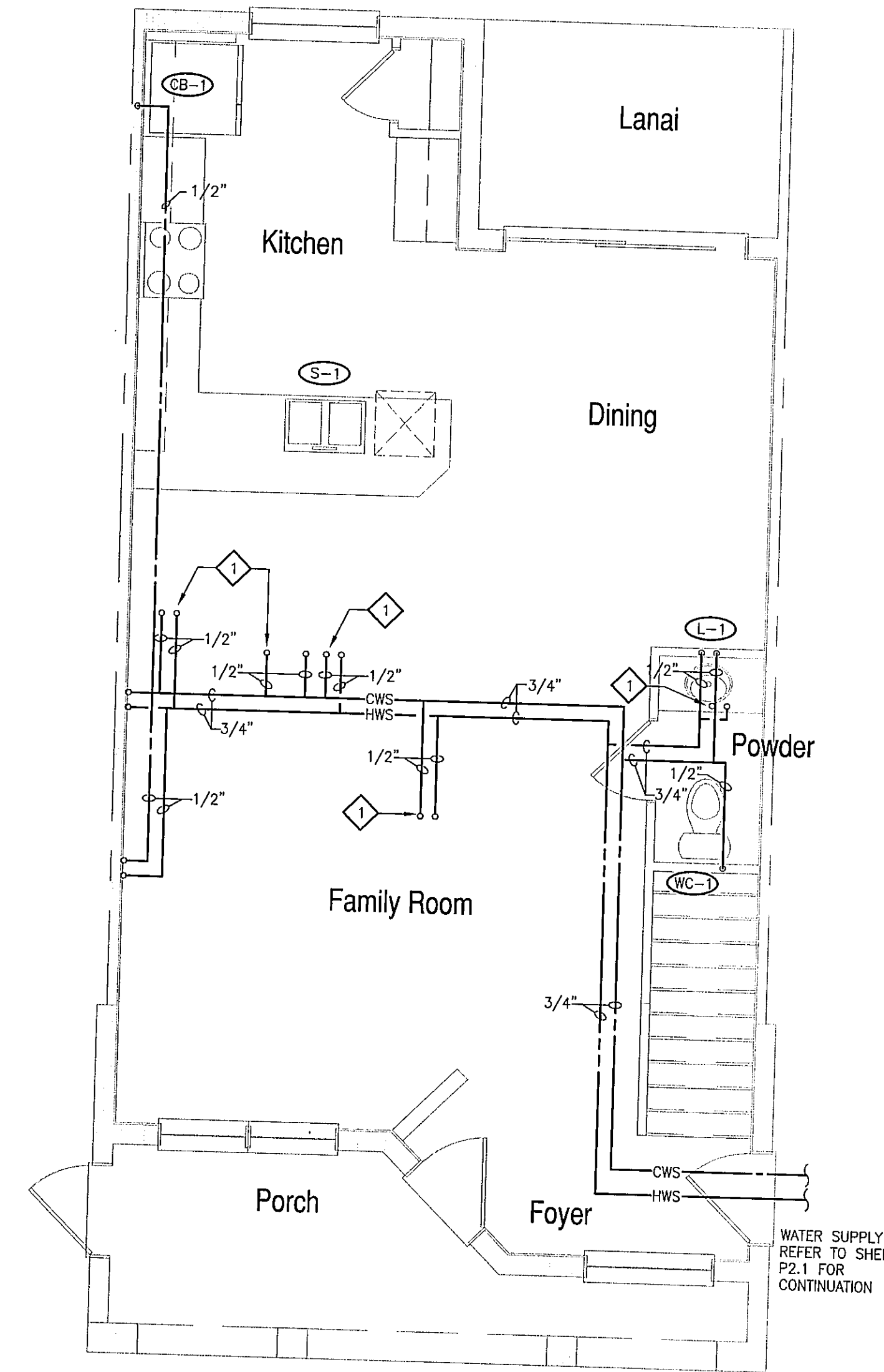


**UNIT-C
WATER PLAN**
 1/4" = 1'-0"

WATER SUPPLY
 REFER TO SHEET P2.1
 FOR CONTINUATION

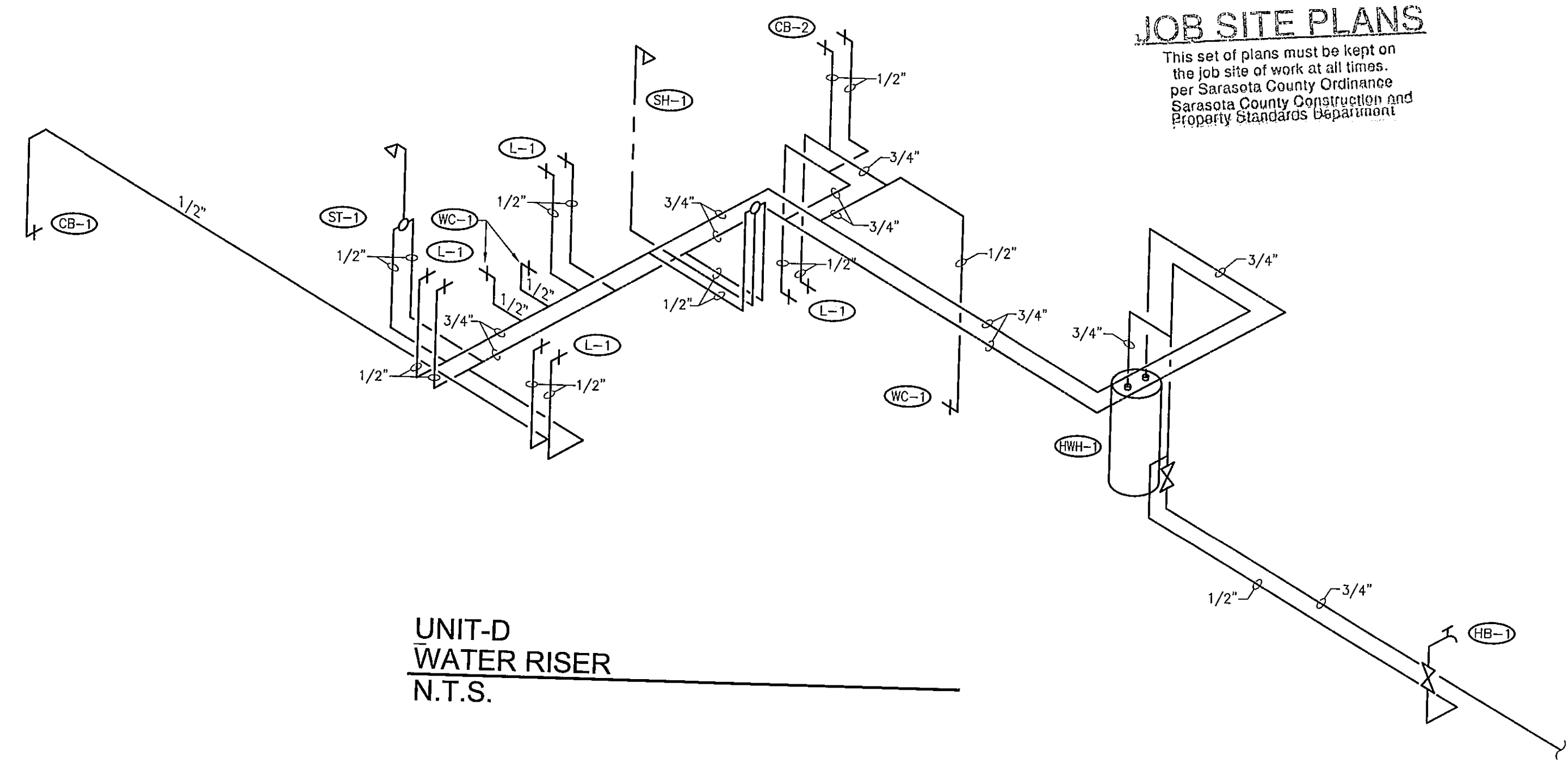


**UNIT-C
WATER RISER
N.T.S.**

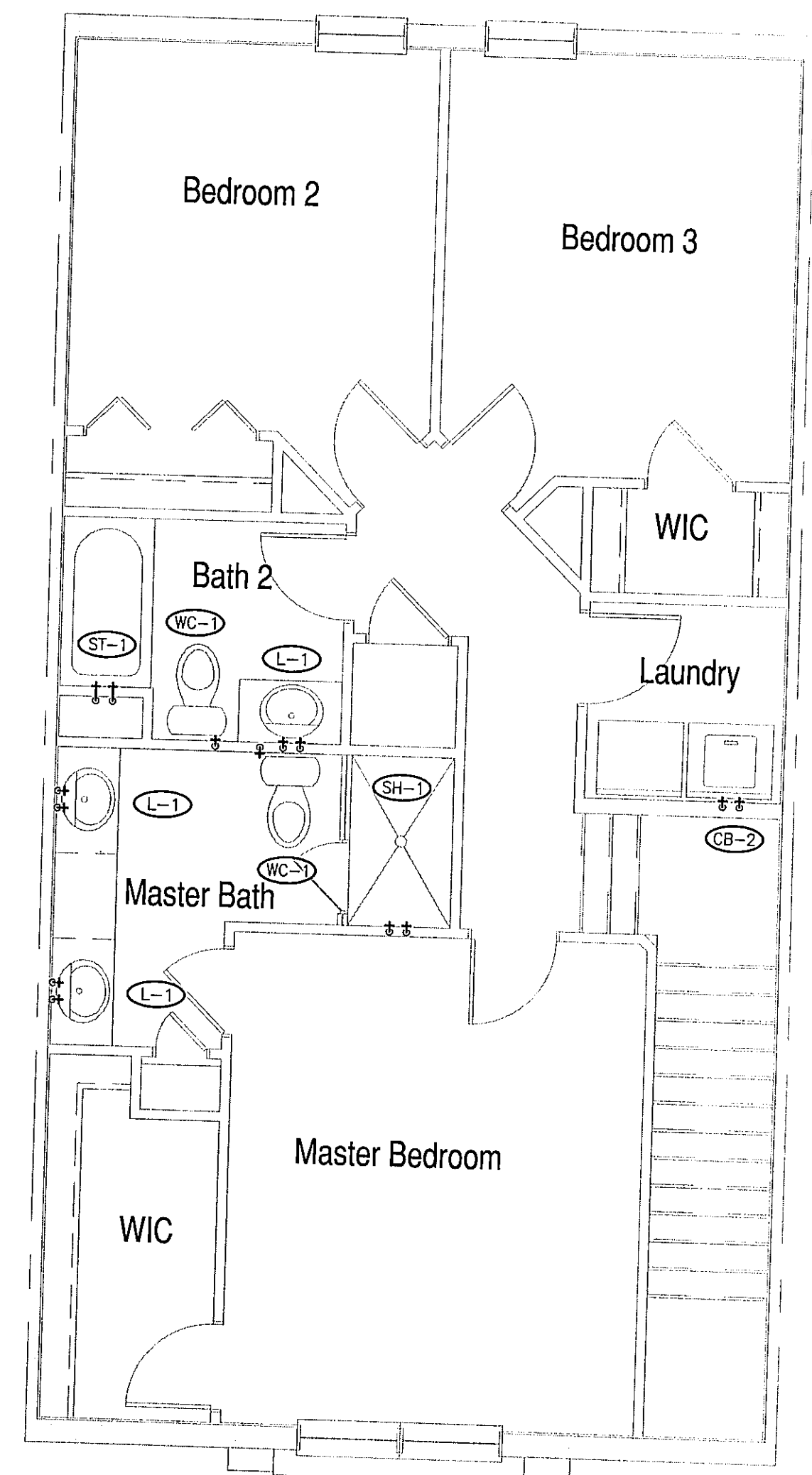


**UNIT-D
FIRST FLOOR
WATER PLAN**
 1/4" = 1'-0"

UP TO PLBG FIXTURE
 ON 2nd FLOOR



**UNIT-D
WATER RISER
N.T.S.**



**UNIT-D
SECOND FLOOR
WATER PLAN**
 1/4" = 1'-0"

JOB SITE PLANS

This set of plans must be kept on
 the job site of work at all times
 per Sarasota County Ordinance
 Sarasota County Construction and
 Property Standards Department

ISSUE DATE:	REVISIONS

DR. HORTON
America's Builder
 13880 Treeline Ave, Suite 3
 Fort Myers, Florida 33913

Bay Street Village
 7 Unit Condominium Building
 160 East Bay Street
 Osprey, Florida 34229



www.bsbdesign.com
 11512 Lake Mead Ave., #301
 Jacksonville, Florida 32256
 904 732 7335

JOB NO: 02711002 PROJ MGR: JPS
 DRAWN: JPS CHECKED: MDL

P3.2

WATER PLAN
 UNIT C & UNIT D

2-4-14