

REVISED HISTORY TABLE REV DATE BY COMMENTS 3.

HOUR FIRE RATING ON THIS FLOOR ONLY: ALL PLANK OVER FIRST FLOOR ENCLOSED AREA ONLY CONTAINS A I HOUR FIRE RATING. USE PCI MANUAL 4TH EDITION RATIONAL DESIGN METHOD FOR FIRE RATINGS.

TOPPING CONTRACTOR IS TO USE PROPER PROCEDURES TO ENSURE BONDING BETWEEN TOPPING AND PRECAST PLANK WHEN POURING TOPPING. (E.G. WET SURFACE OF PLANK, CLEAN SURFACE OF PLANK FROM FOREIGN MATTER ETC.;)

ARCHITECT/ENGINEER NOTE:

THESE SHOP DRAWINGS ARE FOR DESIGN OF PRECAST MEMBERS ONLY. DESIGN OF THE STRUCTURAL DIAPHRAGM CONNECTIONS AS WELL AS WATERPROOFING AND FLASHING IS BY OTHERS.

. PLANK ARE DESIGNED TO SUPPORT ONLY SUPERIMPOSED FLOOR LOADS. NO SUPPORT FOR CONCENTRATED OR BEARING WALL LOADS ON THE PLANK HAVE BEEN CONSIDERED IN THIS DESIGN. UNLESS NOTED OTHERWISE ON THE DRAWINGS.

ARCHITECT/ENGINEER NOTE:

CANTILEVERS ARE NOT DESIGNED FOR ANY LOADING IN EXCESS

OF LOADS SHOWN ON THE SUPERIMPOSED LOAD TABLE. I.E. NO WALL LOADS.

UNLESS NOTED OTHERWISE ON THE DRAWINGS.

THE UNTOPPED SLAB SYSTEM INDICATES FLOOR SLABS THAT WILL ACCEPT GOOD QUALITY CARPET WITH MINIMUM 9/16" HEAVY PAD, DIRECTLY APPLIED TO THEIR

NOTE: ONLY LENGTHWISE SEAMS TO BE GROUTED.

THE DESIGN LOADS OF THE SLAB DECK SYSTEM MUST NOT BE EXCEEDED DURING THE CONSTRUCTION PHASE. IN NO CASE SHOULD BLOCK/MATERIAL BE STACKED HIGHER THAN A SINGLE CUBE. FLOOR SPANS BELOW 25 FEET SHOULD HAVE ALL BLOCK STOCKED WITHIN 1/3 OF EACH END. FLOOR SPANS FROM 25' TO 32' MAY HAVE A MAXIMUM OF ONE CUBE OF BLOCK (OR EQUIVALENT) 1/4 DISTANCE FROM EACH END. LOADS HEAVIER THAN ABOVE MAY BE APPLIED ONLY AFTER DECKS HAVE BEEN SHORED AT MID SPAN DOWN TO GRADE.

ANY ALTERATIONS BY OTHERS (WITHOUT PRIOR WRITTEN CONSENT) TO THE ORIGINAL SYSTEM AS SHOWN ON THESE SHOP DRAWINGS SHALL NULL AND VOID THE WARRANTY ON THIS PROJECT.

CONSTRUCTION LOADING ZONES (MAX. 1 CUBE OF BLOCK HIGH)

NOTES:

BY OTHERS.

- I.) BEARING BEAMS MUST BE SMOOTH, TRUE & LEVEL.
- 2.) ALL CONCRETE TOPPING & PERIMETER POUR ARE BY OTHERS.
- 3.) ELECTRICAL & PLUMBING HOLES CORED BY OTHERS.
- 4.) KEY WAYS TO BE GROUTED BY GULF COAST PRECAST. 5.) PLANK BEARING MAY VARY SLIGHTLY FROM DIMENSIONS ON GULF COAST PRECAST SHOP DRAWING. MINIMUM END BEARING
- IS 2". NO SIDE OR EDGE BEARING IS REQUIRED. 6.) VERTICAL REBAR STUBBED OUT OF TIE BEAMS MUST BE HELD
- IN MIDDLE OF THE 8" WIDTH. 7.) IF THE TOPPING IS SHOWN AS COMPOSITE (FULLY BONDED), 17 MUST BE A 2" MINIMUM THICKNESS AND 3000 PSI @ 28 DAYS. PRECAST MUST BE WET PRIOR TO PLACING TOPPING & TOPPING PLACED PRIOR TO ANY INTERIOR PARTITIONS BEING INSTALLED
- 8.) ALL OPENINGS, EVEN IF SHOWN, ARE BY OTHERS UNLESS INCLUDED IN THE CONTRACT. NO OPENINGS PERMITTED UNLESS SHOWN ON SHOP DRAWINGS.

9.) ALL WATERPROOFING OR WATERPROOFING MEMBRANES

This set of plans must be kept on the job site of work at all times. per Saraseta County Ordinance Saraseta County Censtruction and Proporting Bransland County Construction and Proporting Bransland County Construction and Proporting Bransland County Construction County Construction County Construction County County

SUPERIMPOSED LOAD TABLE DEAD LOAD LIVE LOAD 20 PSF

GULF COAST PRECAST, INC. 2506 PRECAST CT.

FORT MYERS, FL 33916 OFFICE: (239) 337-0021 FAX: (239) 337-0081

MARISOL AT BAYSTREET 7 UNIT CONDO PROJECT OSPREY, FLORIDA LOCATION ARCHITECT BSB DESIGNS CONTRACTOR DR HORTON HOMES DRAWN: 02/24/12 BY: ABBEY L. MOTISI APPROVED DATE REV. | 12-25-13, RTH SCALE: 3/16" = 1'-0" JOB NO.

SHEET: 1 OF 2

Robert T. Haug P.E.

STRUCTURAL ENGINEER

1820 East Edgewood Drive, Suite 105

Lakeland, Florida 33803

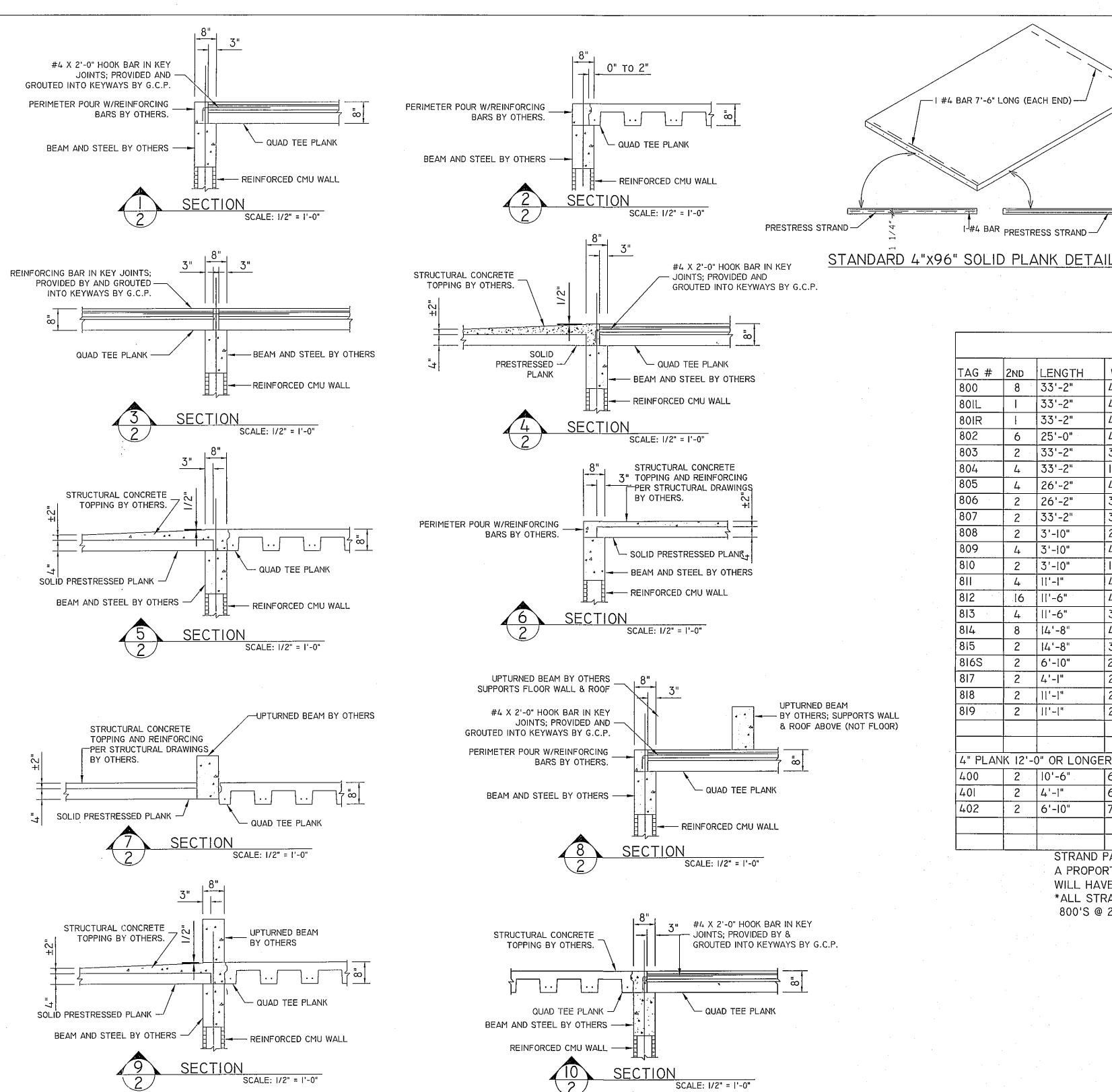
Phone 863-687-4225

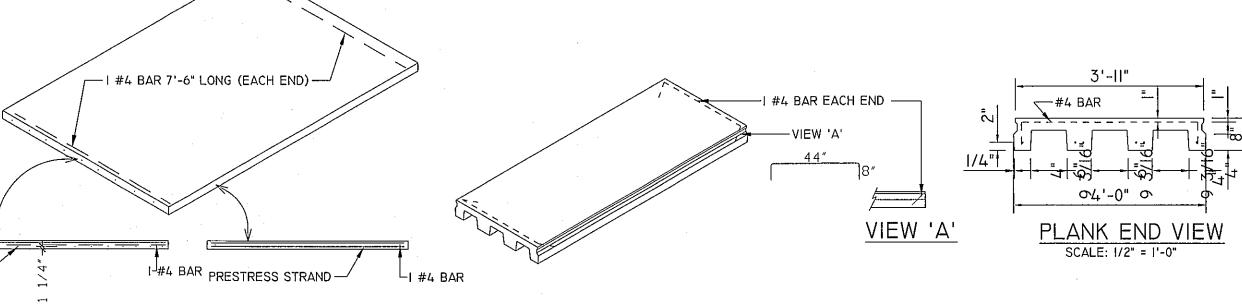
Fax 863-687-4874

Email mooseh@digital.net

P.E., #24575

SECOND FLOOR PRECAST PLANK LAYOUT 13-09





STANDARD QUAD TEE PLANK DETAIL

809		DTH LBS.	STRAND PATTERN*	INTAL PULL	REMARKS
80IR 33'-2" 802 6 25'-0" 803 2 33'-2" 804 4 33'-2" 805 4 26'-2" 806 2 26'-2" 807 2 33'-2" 808 2 3'-10" 810 2 3'-10" 811 4 -1" 812 -6" -6" 813 4 -6" 814 8 4'-8" 815 2 4'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 1'-1" 819 2 1'-1"	8 33 -2" 4'-	-0" 7695	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	
802 6 25'-0" 803 2 33'-2" 804 4 33'-2" 805 4 26'-2" 806 2 26'-2" 807 2 33'-2" 808 2 3'-10" 810 2 3'-10" 811 4 11'-1" 812 16 11'-6" 813 4 11'-6" 814 8 14'-8" 815 2 14'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 11'-1" 819 2 11'-1"	I 33'-2" 4'-	-0" 7695	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	SUPPORTS PRECAST STAIR; LN 8"W X 8'-2"D
803 2 33'-2" 804 4 33'-2" 805 4 26'-2" 806 2 26'-2" 807 2 33'-2" 808 2 3'-10" 809 4 3'-10" 810 2 3'-10" 811 4 11'-1" 812 16 11'-6" 813 4 11'-6" 814 8 14'-8" 815 2 14'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 11'-1" 819 2 11'-1"	1 33'-2" 4'-	-0" 7695	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	SUPPORTS PRECAST STAIR; RN 8"W X 8'-2"D
804 4 33'-2" 805 4 26'-2" 806 2 26'-2" 807 2 33'-2" 808 2 3'-10" 809 4 3'-10" 810 2 3'-10" 811 4 11'-1" 812 16 11'-6" 813 4 11'-6" 814 8 14'-8" 815 2 14'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 11'-1" 819 2 11'-1"	6 25'-0" 4'-	-0" 5800	4-1/2"Ø @ 2"	.70 IP (28920#/Ø)	
805 4 26'-2" 806 2 26'-2" 807 2 33'-2" 808 2 3'-10" 809 4 3'-10" 810 2 3'-10" 811 4 11'-1" 812 16 11'-6" 813 4 11'-6" 814 8 14'-8" 815 2 14'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 11'-1" 819 2 11'-1"	2 33'-2" 3'-	-2" 6092	6-I/2"Ø @ 2"+2-I/2"Ø @ 4"	.65 IP (26850#/Ø)	
806 2 26'-2" 807 2 33'-2" 808 2 3'-10" 809 4 3'-10" 810 2 3'-10" 811 4 11'-1" 812 16 11'-6" 813 4 11'-6" 814 8 14'-8" 815 2 14'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 11'-1" 819 2 11'-1"	4 33'-2" 1'-1	10" 3527	6-I/2"Ø @ 2"+2-I/2"Ø @ 4"	.65 IP (26850#/Ø)	
807	4 26'-2" 4'-	-0" 6071	6-7/16"Ø @ 2"	.70 IP (21735#/Ø)	
808 2 3'-10" 809 4 3'-10" 810 2 3'-10" 811 4 11'-1" 812 16 11'-6" 813 4 11'-6" 814 8 14'-8" 815 2 14'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 11'-1" 819 2 11'-1"	2 26'-2" 3'-	-4" 5059	6-7/16"Ø @ 2"	.70 IP (21735#/Ø)	
809 4 3'-10" 810 2 3'-10" 811 4 11'-1" 812 16 11'-6" 813 4 11'-6" 814 8 14'-8" 815 2 14'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 11'-1" 819 2 11'-1"	2 33'-2" 3'-	-0" 5771	6-1/2"Ø @ 2"+2-1/2"Ø @ 4"	.65 IP (26850#/Ø)	
810 2 3'-10" 811 4 11'-1" 812 16 11'-6" 813 4 11'-6" 814 8 14'-8" 815 2 14'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 11'-1"	2 3'-10" 2'-	4" 0519	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
8 4 - 8 2 6 1 -6 8 3 4 1 -6 8 4 -6 8 4 -8 8 5 2 4 -8 8 6 5 2 4 -1 8 8 2 1 - 8 9 2 1 - 8 9 2 1 - 8 9 2 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 8 9 1 - 9 9 9 9 9	4 3'-10" 4'-	-0" 0889	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
812 16 -6" 813 4 -6" 814 8 4'-8" 815 2 4'-8" 816S 2 -10" 817 2 -1" 818 2 -1" 819 2 -1"	2 3'-10" 1'-1	10" 0408	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
813	4 4'-	-0" 2571	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
814 8 4'-8" 815 2 4'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 1'-1" 819 2 1'-1"	16 11'-6" 4'-	-0" 2668	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
815 2 4'-8" 816S 2 6'-10" 817 2 4'-1" 818 2 1'-1" 819 2 1'-1"	4 11'-6" 3'-	-4" 2223	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
816S 2 6'-10" 817 2 4'-1" 818 2 11'-1" 819 2 11'-1"	8 4'-8" 4'-	-0" 3403	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
817 2 4'-1" 818 2 11'-1" 819 2 11'-1"	2 4'-8" 3'-	-4" 2836	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
818 2 - " 819 2 - "	2 6'-10" 2'-	6" 0991	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	8" SOLID
819 2 - "	2 4'-1" 2'-	-2" 0513	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
	2	-4" I500	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
/ # FI ANK 121 0# 0F 1 0N	2 - " 2'-	-0" 1286	4-7/16"Ø @ 2"	.70 IP (21740#/Ø)	
TO BE ANK 12 -D" OR LOP	12'-0" OR LONGER M	ILIST HAVE KEY	MAYS IN EDGES		
400 2 10'-6"			6-3/8"Ø @ 1.25"	.70 IP (I6070#/Ø)	
401 2 4'-1"			4-3/8"Ø @ 1.25"	.70 IP (I6070#/Ø)	
402 2 6'-10"			4-3/8"Ø @ 1.25"	.70 IP (I6070#/Ø)	

WILL HAVE 3 STRAND REMAINING.) *ALL STRAND TO BE 270LL PULL TO 0.70 or 0.65 Fpu; f'c=6000 PSI, f'c1=3800 PSI

A PROPORTIONAL AMOUNT OF STRAND. (E.G. A 4' WIDE QUAD TEE WITH 6 STRAND, WHEN CUT TO 24" WIDTH

800'S @ 2" UP UNLESS NOTED OTHERWISE; 400'S @ 1 1/4" UP UNLESS NOTED OTHERWISE

JOB SITE PLANS This set of plans must be kept on the job site of work at all times.
per Sarasota County Ordinance
Sarasota County Construction and Greenth Standards Department

> Robert T. Haug P.E. STRUCTURAL ENGINEER 1820 East Edgewood Drive, Suite 105 Lakeland, Florida 33803 Phone 863-687-4225 Fax 863-687-4874 Email mooseh@digital.net P.E. #24575

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		REVI	SED HISTORY TABLE
REV	DATE	BY	COMMENTS
1.			
2.			
3.			
4.			
5.			·
6.			

- I.) BEARING BEAMS MUST BE SMOOTH, TRUE & LEVEL.
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	SUPERIMPOSED LC	AD TABLE	
		DEAD LOAD	LIVE LOAD
i	INTERIOR (PRIVATE) FLOORS	20 PSF	40 PSF
	PRIVATE BALCONIES (> 100 SQ.FT.)		60 PSF
	STAIRS & LANDINGS		60 PSF

GULF COAST PRECAST, INC. 2506 PRECAST CT. FORT MYERS, FL 33916 OFFICE: (239) 337-0021 FAX: (239) 337-0081

MARISOL AT BAYSTREET 7 UNIT CONDO PROJECT OSPREY, FLORIDA LOCATION ARCHITECT BSB DESIGNS CONTRACTOR DR HORTON HOMES DRAWN: 02/24/12 BY: ABBEY L. MOTISI APPROVED DATE REV. 12-25-13 RTH JOB NO.

13-09

SHEET: 2 OF 2

SCALE: 1/4" = 1'-0" SECOND FLOOR PRECAST PLANK DETAIL

Bay Street Village 7-Unit Condominium

160 East Bay Street Osprey, Florida 34229



This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasota County Construction and Freguetty Standards Department

Client:

DR Horton 13880 Treeline Ave., Suite 3 Fort Myers, FL 33913 239-225-2633

Architect:

BSB Design, Inc. 11512 Lake Mead Ave. Unit 301 Jacksonville, FL 33618 Phone: 904-732-7335 Fax: 877-283-0404

Structural Engineer:

Integral Engineering, Inc. 16704 Tobacco Rd. Lutz, Florida 33558 Phone: 813-908-0402

Mechanical Engineer:

Stepanek-Lewis and Associates 22557 Twelve Oaks Way Wesley Chapel, Florida 33544 Phone: 813-991-1248

Electrical Engineer:

Emerald Engineering 4048 Cox Drive Land O' Lakes, Florida 34639 Phone: 813-995-0300

Plumbing Engineer:

Stepanek-Lewis and Associates 22557 Twelve Oaks Way Wesley Chapel, Florida 33544 Phone: 813-991-1248 FEB 18

REVISIONS

THESE PLANS AND SPECIFICATIONS ARE PROTECTED UNDER

functions Duile 33913

Bay Street Village
7 Unit Condominium Building

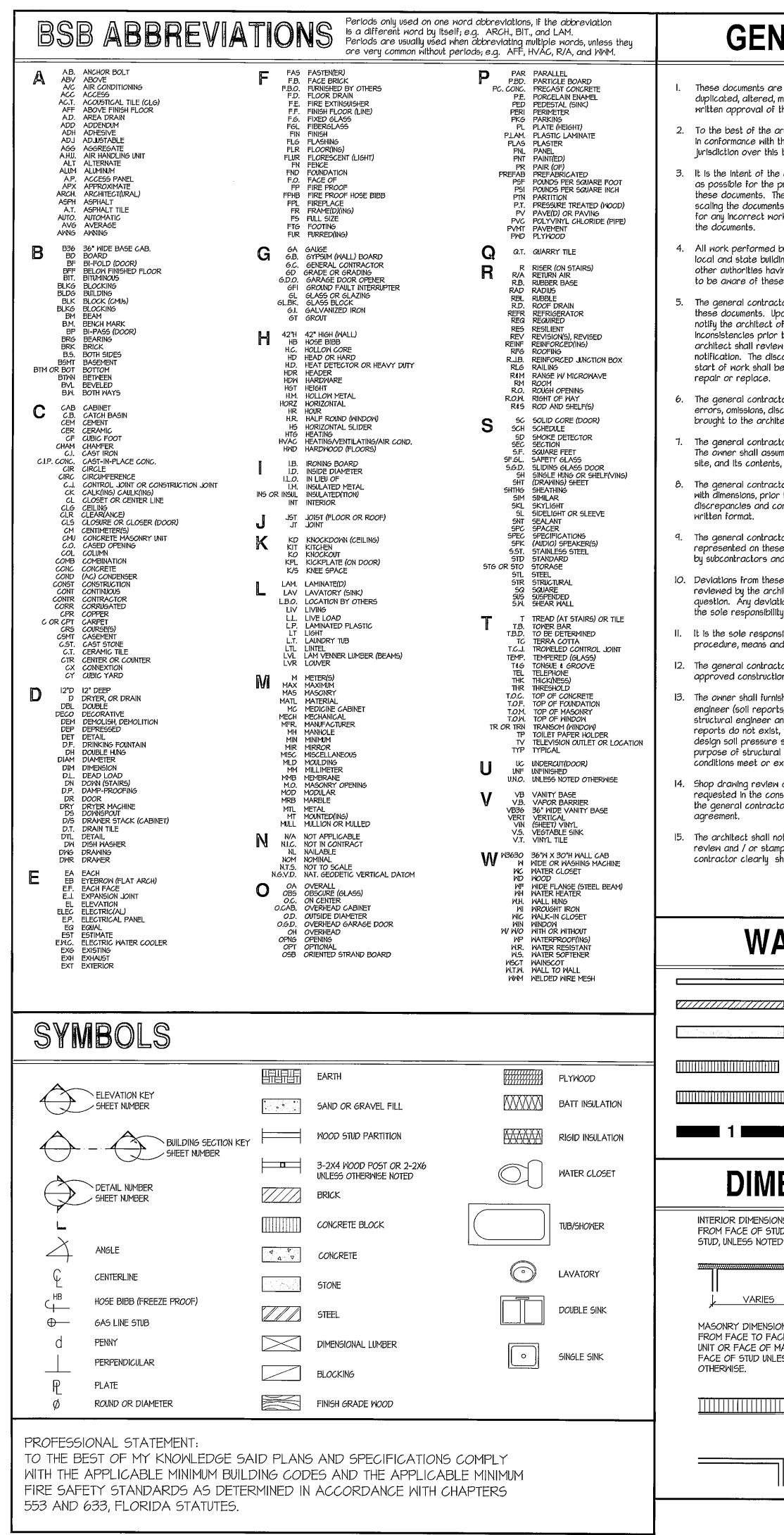
BSB DESIGN

www.bsbdesign.com 11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335

JOB NO: 02T12034 PROJ M DRAWN: JD, AM CHECKE

COVER SHEET

G1



GENERAL NOTES

PROJECT NAME:

- These documents are the property of the architect and shall not be copied, duplicated, altered, modified or revised in any way without the expressed written approval of the architect.
- 2. To the best of the architects' knowledge these construction documents are in conformance with the requirements of the building authorities having jurisdiction over this type of construction and occupancy.
- 3. It is the intent of the architect to delineate these documents as accurate as possible for the purpose of graphic representation. Do not "scale" these documents. The dimensions shown are to take precedence over scaling the documents. The general contractor shall take full responsibility for any incorrect work and any repair of sald work as a result of scaling "
- 4. All work performed by the general contractor shall comply and conform with local and state building codes, ordinances and regulations, along with all other authorities having jurisdiction. The general contractor is responsible to be aware of these requirements and governing regulations.
- 5. The general contractor shall thoroughly review and become familiar with these documents. Upon review, the general contractor shall document and notify the architect of any errors, omissions, discrepancies and / or inconsistencies prior to the start of any portion of the proposed work. The architect shall review the proposed corrections after the receipt of notification. The discovery of discrepancies and / or conflicts after the start of work shall be the full responsibility of the general contractor to
- 6. The general contractor shall be responsible for the correction of any errors, omissions, discrepancies and / or inconsistencies which have not been brought to the architects' attention.
- 7. The general contractor shall accept the premises as is, in its current state. The owner shall assume no responsibility for the condition of the existing site, and its contents, at the time of bidding or thereafter.
- 8. The general contractor shall field verify all existing site conditions, along with dimensions, prior to the start of any portion of the work. All findings, discrepancies and concerns shall be brought to the owners' attention in written format.
- 9. The general contractor shall be responsible for all work and materials represented on these documents including the work and materials furnished by subcontractors and vendors.
- 10. Deviations from these documents in the construction phase shall be reviewed by the architect and the owner prior to the start of work in question. Any deviations from these documents without prior review, shall be the sole responsibility of the general contractor.
- II. It is the sole responsibility of the general contractor to determine erection procedure, means and methods and sequence of construction.
- 12. The general contractor is responsible to produce and comply with an approved construction schedule acceptable to the owner's expectations.
- 13. The owner shall furnish any and all reports received from the geotechnical engineer (soil reports), on the study of the proposed site, to the architect, structural engineer and general contractor. In the event the geotechnical reports do not exist, the soil condition shall be assumed to be a minimum design soil pressure stated by the structural engineer of record for the purpose of structural design. General contractor shall assure the soil conditions meet or exceed this criteria.
- 14. Shop drawing review and distribution, along with product submittals, requested in the construction documents, shall be the sole responsibility of the general contractor, unless directed otherwise under a separate
- 15. The architect shall not accept, or review any request for shop drawing review and / or stamp without the review and stamp of the general contractor clearly shown on the documents.

WALL LEGEND

2x4 INTERIOR PARTITION WALL 2x6 INTERIOR PLUMBING WALL 2X8 P.T. EXTERIOR FURRED WALL W EXTERIOR SHEATHING PER STRUCTURAL 8" CMU WALL PER STRUCTURAL DWGS 8" CMU WALL W 2X P.T. FURRING AT INTERIOR FINISH SIDE OF UNITS

INDICATES LINE OF I HOUR RATED TENANT SEPARATION, SEE BUILDING SECTIONS FOR

TESTED ASSEMBLIES. **DIMENSION NOTE**

IS ARE TAKEN D TO FACE OF O OTHERWISE.	EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING TO INTERIOR FACE OF STUD, UNLESS NOTED OTHERWISE.
	VARIE5
NS ARE TAKEN E OF MASONRY ASONRY UNIT TO SS NOTED	
VARIES 15	

PROJECT INFORMATION

BAY STREET VILLAGE

PROJECT NUMBER:	O2TI2O34				
PROJECT LOCATION:	SARASOTA, FLOI	RIDA			
PROJECT JURISDICTION:	SARASOTA COU	ITY, FLORIDA			
APPLICABLE CODES:					
BUILDING	2010- FLORIDA BUILDING CODE 2010- FLORIDA BUILDING CODE / NFPA 101				
FIRE SAFETY					
ACCESSIBILITY	2010- FLORIDA	BUILDING CODE			
FAIR HOUSING	ISING ACT DESIGN MANUAL				
PLUMBING	2010- FLORIDA	BUILDING CODE - PLUMBING			
MECHANICAL	2010- FLORIDA	2010- FLORIDA BUILDING CODE - MECHANICAL			
ELECTRICAL	2008- NATIONAL ELECTRICAL CODE				
LIFE SAFETY	2012- LIFE SAFE	TY CODE (NFPA IOI)			
PROJECT DESCRIPTION:	TWO STORY STACKED FLAT CONDOMINIUM BUILDING				
]				
	•				
OCCUPANCY CLASSIFICATION:	R2				
CONSTRUCTION TYPE:	IIIB				
AUTOMATIC FIRE SPRINKLERS I	REQUIRED?:	YES - TYPE : NFPA I3R			
FIRE ALARM SYSTEM CLASSIFI	CATION:	MANUAL			
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DONSTRUCTION THE.	עווון ן	<u></u>
AUTOMATIC FIRE SPRINK	LERS REQUIRED?:	YES - TYPE : NFPA IBR
FIRE ALARM SYSTEM CL	ASSIFICATION:	MANUAL
ALLOWABLE HEIGHT & BUILDING AREAS	ALLOWED	PROVIDED (WORST CASE)
HEIGHT IN FEET:	55'-O"	30'-O"
MAX. NO. OF STORIES:	4	2
BUILDING AREA:		
IST FLOOR:	16,000	6,828
2ND FLOOR:	16,000	10,963
:		

FIRE RESISTANCE RATINGS: (FBC2010/ BUILDING TABLE 601)	
EXTERIOR LOAD BEARING WALLS -	2 HOUR
EXTERIOR NON-LOAD BEARING WALLS	SEE BELOW
STRUCTURAL FRAME - INCLUDING COLUMNS, GIRDERS, TRUSSES	— O HOUR
NONBEARING INTERIOR WALLS AND PARTITIONS	— O HOUR

O HOUR

O HOUR

l	PARTITIONS
	FLOOR CONSTRUCTION - INCLUDING SUPPORTING BEAMS AND JOISTS
	ROOF CONSTRUCTION - INCLUDING SUPPORTING BEAMS AND JOISTS

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (FBC 2010 Table 602)				
exterior bearing & non-bearing walls (horizontal separation from common property line or assumed property line)	O ft to 5 ft — 3-hour 5 ft to 10 ft — 2-hour 10 ft to 20 ft — 2-hour 20 ft to 30 ft — 1-hour over 30 ft — O-hour			

N/A = NOT ALLOWED

	Pi 000 iii									
	MAXIMUM	AREA OF	EXTERIO	OR WALL	OPENING	5 (FBC 20	010 Table	∍ 7 <i>0</i> 5.8)		
CLASSIFICATION			FIRE SE	PARATIO	N DISTAN	CE (feet)				
	OF OPENING	0 - 3	3 - 5	5 - 10	10 - 15	15 - 20	20 - 25	25 - 3 <i>0</i>	OVER 30	-
	UNPROTECTED	N/A*	N/A*	10%*	15%*	25%*	45%*	70%*	UL	
	PROTECTED	N/A	15%	25%	45%	75%	UL	UL	UL	

*Buildings whose exterior bearing wall, exterior nonbearing wall and exterior structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

UL = UNLIMITED

704.8.1 Automatic sprinkler system.
In buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1, the maximum allowable area of unprotected openings in occupancies other than Groups H-I, H-2 and H-3 shall be the same as the tabulated limitations for

SECTION 1207-SOUND TRANSMISSION

SOUND TRANSMISSION SUMMARY					
BUILDING ELEMENT	SOUND TRANSMISSION CLASS (STC) RATING FOR LAB TESTED ASSEMBLIES		FIELD TESTED (STC) REQUIREMENTS		
	REQUIRED	PROVIDED	REQUIRED		
TENANT SEPARATION WALLS -VERTICAL	50	54	45		
TENANT SEPARATION WALLS- HORIZONTAL	50	53	45		
··	IMPACT INSULATION CLASS (IIC) RATING FOR LAB TESTED ASSEMBLIES				
	REQUIRED	PROVIDED	REQUIRED		
TENANT SEPARATION HORIZONTAL	50	50	45		

SHEET INDEX

GENERAL

COVER SHEET

ARCHITECTURAL

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A-5.2 WINDOW AND DOOR DETAILS

RATED ASSEMBLY DETAILS

STRUCTURAL

FOUNDATION PLANS AND DETAILS

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S3.0 LOWER ROOF PLAN AND 2ND FLOOR FRAMING

S4.0 2ND FLOOR STRUCTURAL PLAN **S5.0 UPPER ROOF FRAMING PLAN**

S6.0 STRUCTURAL WALL SECTIONS

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SD2 STRUCTURAL DETAILS SD3 STRUCTURAL DETAILS

SD4 STRUCTURAL DETAILS

ELECTRICAL

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E0.2 **ELECTRIC PANEL DIAGRAMS AND SCHEDULES**

E1.1 **BUILDING ELECTRICAL PLANS**

E2.1 UNIT 'A' AND 'B' ELECTRIC PLANS

E3.1 UNIT 'C' AND 'D' ELECTRIC PLANS

MECHANICAL

BUILDING MECHANICAL PLAN AND NOTES

M2.1 UNIT 'A' AND 'B' MECHANICAL PLANS

M2.2 UNIT 'C' AND 'D' MECHANICAL PLANS

PLUMBING

PLUMBING NOTES AND SCHEDULES

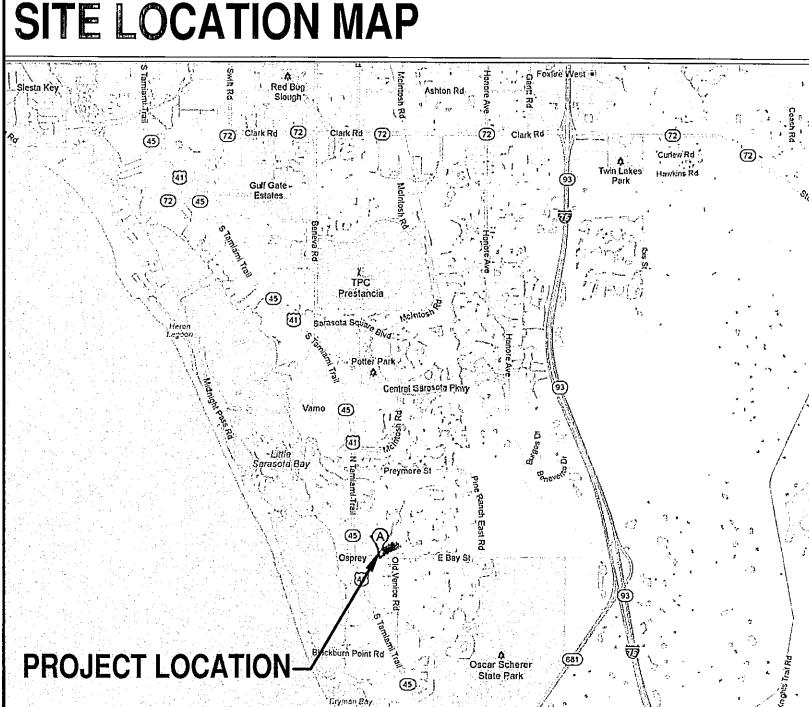
SANITARY PLANS AND RISERS P3.1

UNIT 'A' AND 'B' PLUMBING PLANS

UNIT 'C' AND 'D' PLUMBING PLANS P3.2

JOB SITE PLANS This set of plans must be kept on the ob site of work at all times. per Sarasota County Ordinance Sarasota County Construction and

rry Standards Department





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EB

Street Village Condominium Building Bay 7 Unit

160 East Bay Street Osprey, Florida 342

DESIGN

Set

02

www.bsbdesign.com 11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335

JOB NO: 02T12034 PROJ MGR; JE DRAWN: JD, AM CHECKED: CODE DATA, GENERAL NOTES, SYMBOLS & ABBREVIATIONS

A0.1

GENERAL REQUIREMENTS & PORTIONS OF FAIR HOUSING ACT GUIDELINES

GENERAL NOTE

INFORMATION PROVIDED ON THIS PAGE APPLY TO ALL FHA COVERED UNITS. REFER TO THE CURRENT FHA MANUAL FOR EXACT DETAILS & DIRECTION, NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEFINITIONS

"COVERED MULTIFAMILY DWELLINGS" ARE:

(1) ALL DWELLING UNITS IN BUILDINGS CONTAINING FOUR OR MORE DWELLING UNITS IF SUCH BUILDINGS HAVE ONE OR MORE ELEVATORS, AND

(2) ALL GROUND FLOOR DWELLING UNITS IN OTHER BUILDINGS CONTAINING FOUR OR MORE DWELLING UNITS "ADAPTABLE DWELLING UNITS" ARE:

DWELLING UNITS IN BUILDINGS CONTAINING FOUR OR MORE DWELLING UNITS THAT INCLUDE THE FEATURES OF ADAPTABLE DESIGN AS SPECIFIED IN 24 CFR 100.205(c) (2)-(3)

GENERAL REQUIREMENTS

(I) TO BE A "COVERED" MULTIFAMILY DWELLING UNIT, ALL OF THE FINISHED LIVING SPACE MUST BE ON THE SAME LEVEL. (EX. SINGLE STORY) (2) MULTI STORY DWELLING UNITS ARE NOT COVERED BY THESE GUIDELINES UNLESS LOCATED WITHIN A BUILDING THAT IS EQUIPPED WITH ONE OR MORE ELEVATORS, IN WHICH CASE, THE PRIMARY ENTRY LEVEL IS COVERED. (3) "COVERED" MULTIFAMILY DWELLINGS, AS DEFINED HEREIN, WHICH ARE INTENDED FOR FIRST OCCUPANCY AFTER MARCH 13, 1991, SHALL BE DESIGNED AND CONSTRUCTED TO HAVE AT LEAST ONE BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE UNLESS IT IS IMPRACTICAL TO DO SO BECAUSE OF THE TERRAIN OR UNUSUAL CHARACTERISTICS OF THE SITE, AS DETERMINED BY COMMISSION RULE.

(4) "COVERED" MULTIFAMILY DWELLINGS, AS DEFINED HEREIN, SHALL COMPLY WITH THE FOLLOWING SEVEN REQUIREMENTS: I. "COVERED MULTIFAMILY DWELLING UNITS MUST HAVE AT LEAST

ONE BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE 2. PUBLIC AND COMMON USE AREAS MUST BE READILY ACCESSIBLE TO AND BE USABLE BY PEOPLE WITH DISABILITIES 3. ALL DOORS SHALL BE DESIGNED AS "USABLE" TO ALLOW PASSAGE INTO AND WITHIN ALL PREMISES. DOORS SHALL BE DESIGNED TO ALLOW PASSAGE OF A WHEEL CHAIR

4. THERE SHALL BE AN ACCESSIBLE ROUTE INTO AND THROUGH THE "COVERED" DWELLING UNITS

5. ALL PREMISES WITHIN THE "COVERED" DWELLING UNITS SHALL CONTAIN LIGHTS SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIROMENTAL CONTROLS IN ACCESSIBLE LOCATIONS 6. ALL PREMISES WITHIN THE "COVERED" DWELLING UNITS SHALL CONTAIN REINFORCEMENTS IN BATHROOM WALLS TO ALLOW FOR FUTURE INSTALLATIONS OF REQUIRED GRAB BARS.

7. ALL "COVERED" DWELLING UNITS SHALL BE DESIGNED WITH USABLE KITCHENS AND BATHROOMS TO ALLOW FOR THE NECESSARY MANUEVERING SPACE FOR INDIVIDUALS WITH DISABILITIES. (5) CLEAR FLOOR SPACE FOR A STATIONARY WHEELCHAIR SHALL BE

30" X 48" MINIMUM (6) CLEAR FLOOR SPACE FOR A WHEELCHAIR TO MANUEVER OR TURN AROUND SHALL BE 60" DIAMETER MINIMUM (CLEAR OF ALL OBSTRUCTIONS)-ALTERNATIVELY, A "T"-TURN SPACE CAN BE PROVIDED IF CONDITIONS ALLOW FOR IT.

(7) ALTHOUGH THE AMERICANS WITH DISABILITIES ACT(ADA) GENERALLY DOES NOT COVER DWELLING UNITS, PUBLIC AND COMMON USE AREAS OF DEVELOPMENTS MAY BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF ADA, SUCH AS SITE ACCESSIBILITY, COMMON ENTRANCES, COMMUNITY ROOMS/AREAS, ETC. THESE AREAS SHALL COMPLY WITH THE REQUIREMENTS OF ADA AND ANSI AII7.I-1998

(8) ALL DOORS INSTALLED WITHIN A "COVERED" MULTIFAMILY DWELLING UNIT, THAT ARE REQ'D. FOR PASSAGE, SHALL COMPLY WITH ANSI AII7.I-1998 SECTION 4.13. A MINIMUM OF 32" CLEAR, UNOBSTRUCTED WIDTH, WHEN THE DOOR IS IN THE 90 DEG. OPEN POSITION, MEASURED FROM THE FACE OF THE DOOR TO THE NEAREST PROJECTION (DOOR STOP)

(9) OPENING DEPTHS OF GREATER THAN 24" SHALL BE A MINIMUM OF 36" WIDE, CLEAR OF ANY OBSTRUCTIONS

(IO) THE GUIDELINES ALLOWS THE OPTION OF SPECIFICATION "A" OR SPECIFICATION "B" FOR BATHROOMS WHEN DESIGNING FOR COMPLIANCE. THE MAIN DIFFERENCE BETWEEN SPEC "A" AND "B" IS THE PARALLEL APPROACH TO THE BATH TUB., REQUIRED FOR SPECIFICATION "B" BATHS. IF ONE BATHROOM IS SELECTED TO MEET SPECIFICATION "B", ALL OTHER BATHROOMS WITHIN THE DWELLING UNIT NEED ONLY MEET THE ACCESSIBILITY REQUIREMENTS AND NOT THE CLEAR FLOOR SPACE REQUIREMENTS. IF SPECIFICATION "A" IS SELECTED THEN ALL BATHROOMS WITHIN THE DWELLING UNIT SHALL COMPLY WITH SPECIFICATION "A"

(II) THE INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE UTILIZED AS A GUIDE TO COMPLY WITH THE "FAIR HOUSING ACT". THE FULL PRINTED DOCUMENT OF THE FAIR HOUSING GUIDE LINE MANUAL IS AVAILABLE THROUGH THE OFFICE OF DCA. THE CONTRACTOR SHALL BE AWARE OF THE REQUIREMENTS OF THE FHA. INFORMATION NOT SHOWN ON THESE DOCUMENTS DOES NOT NEGATE THE REQUIREMENT TO COMPLY.

(12) IF A POWDER ROOM IS LOCATED ON THE ACCESSIBLE LEVEL OF A MULTI-STORY DWELLING UNIT, IT SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE CLEAR FLOOR SPACE FOR FIXTURES AND THE REINFORCED WALLS FOR INSTALLATION OF GRAB BARS

(13) TOTAL NUMBER OF PARKING SPACES PROVIDED SHALL INCLUDE 2% OF THE TOTAL NUMBER TO BE MADE ACCESSIBLE AND BE ON AN ACCESSIBLE ROUTE. IF MORE THAN ONE TYPE OF PARKING SPACE IS PROVIDED THEN EACH OF THE TYPES OF PARKING SHALL COMPLY.

(14) THRESHOLDS AT PRIMARY ENTRANCE DOORWAYS SHALL NOT EXCEED 3/4 IN (I9MM), INCLUDING THE THRESHOLD HIEGHT. MAXIMUM OF 1/2" DIFFERENCE IN FLOOR LEVELS.

SECONDARY EXTERIOR DOORS MAY HAVE A 4" STEP TO THE OUTSIDE. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2

(15) A MINIMUM OF 30" X 48" CLEAR FLOOR SPACE SHALL BE PROVIDED AND CENTERED ON ALL KITCHEN APPLIANCES, SEE LATEST EDITION OF THE FHA DESIGN MANUAL FOR APPLICABLE FORWARD & PARALLEL APPROACHES ALLOWED.

(16) A MINIMUM OF 40" CLEARANCE SHALL BE PROVIDED BETWEEN ALL CABINET COUNTER TOP EDGES. A MINIMUM OF 40" SHALL BE PROVIDED BETWEEN ALL FACES OF APPLIANCES AND CABINETS COUNTER TOPS. (17) ALTHOUGH THESE GUIDELINES DO NOT REQUIRE CLEAR FLOOR SPACE AT THE WASHER AND DRYER EQUIPMENT, IT IS RECOMMENDED THAT SUFFICIENT CLEAR FLOOR SPACE BE PROVIDED FOR THE USE BY PERSONS

WITH DISABILITIES.

(18) REFER TO THE "FAIR HOUSING ACT GUIDELINES MANUAL" FOR CONDITIONS THAT MAY NOT BE COVERED BY THESE DRAWINGS AND INFORMATION

(19) WALK-IN TYPE PANTRIES THAT ALLOW A PERSON TO PASS THROUGH THE DOOR OPENING SHALL COMPLY WITH THESES GUIDELINES. PANTRIES AND OTHER SHALLOW TYPE CLOSETS ARE NOT COVERED BY THESE GUIDELINES SINCE PASSAGE ISN'T REQUIRED.

(20) THE DIAGRAMS SHOWING THE SPECIFICATIONS FOR AN "A" AND "B" BATHROOM ARE INTENDED AS GUIDES FOR THE DESIGN. THEY ARE NOT INTENDED TO LIMIT THE DESIGN POSSIBILITIES. THIER INTENT IS TO SHOW THE MINIMUM REQUIREMENTS NECESSARY TO COMPLY WITH THE FAIR HOUSING ACT GUIDELINES.

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ne Ave, Florida

13880 Treelin Fort Myers, F

DESIGN www.bsbdesign.com 11602Math & Meatd Swite, 20001

ACCESSIBILITY

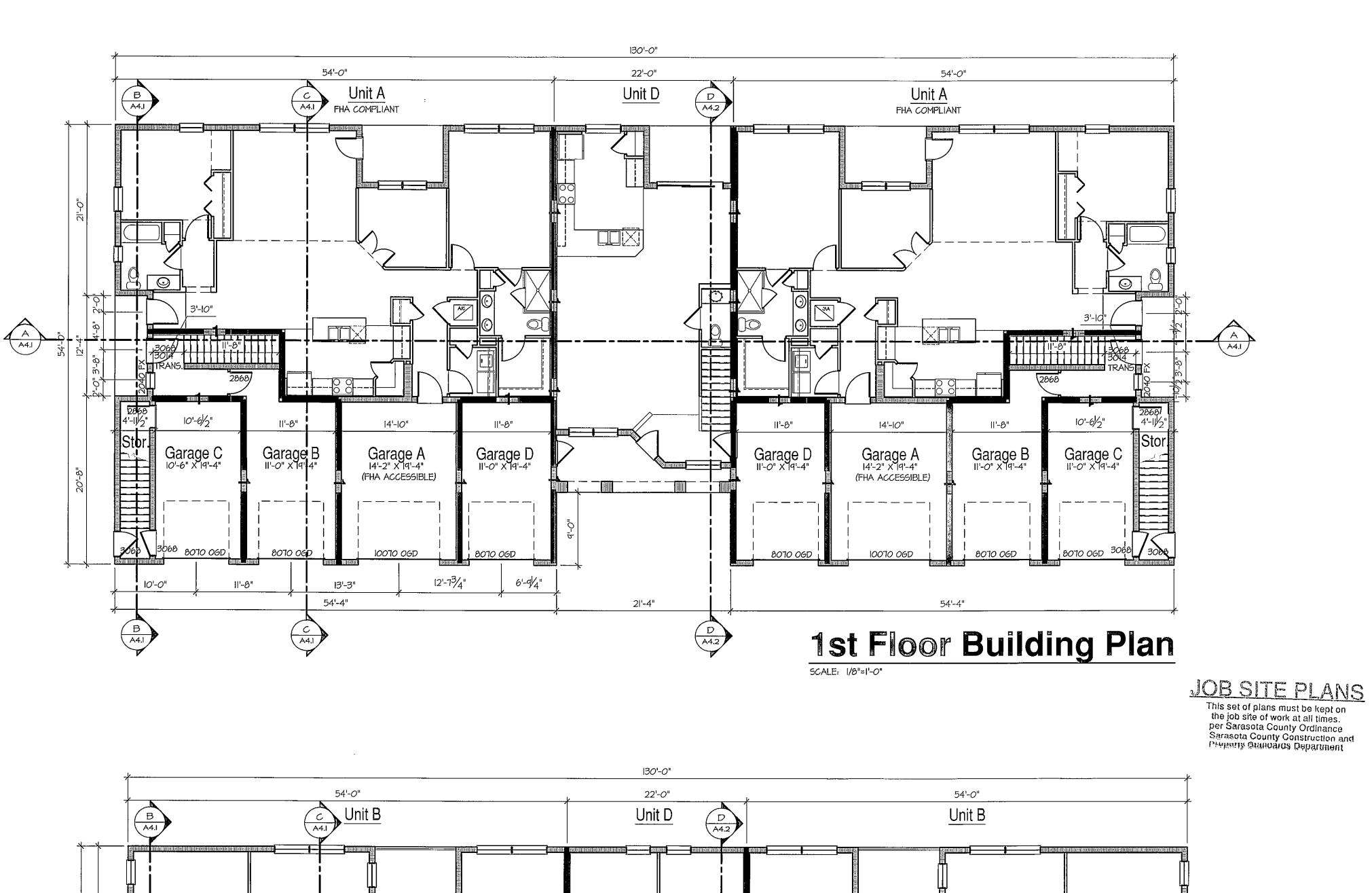
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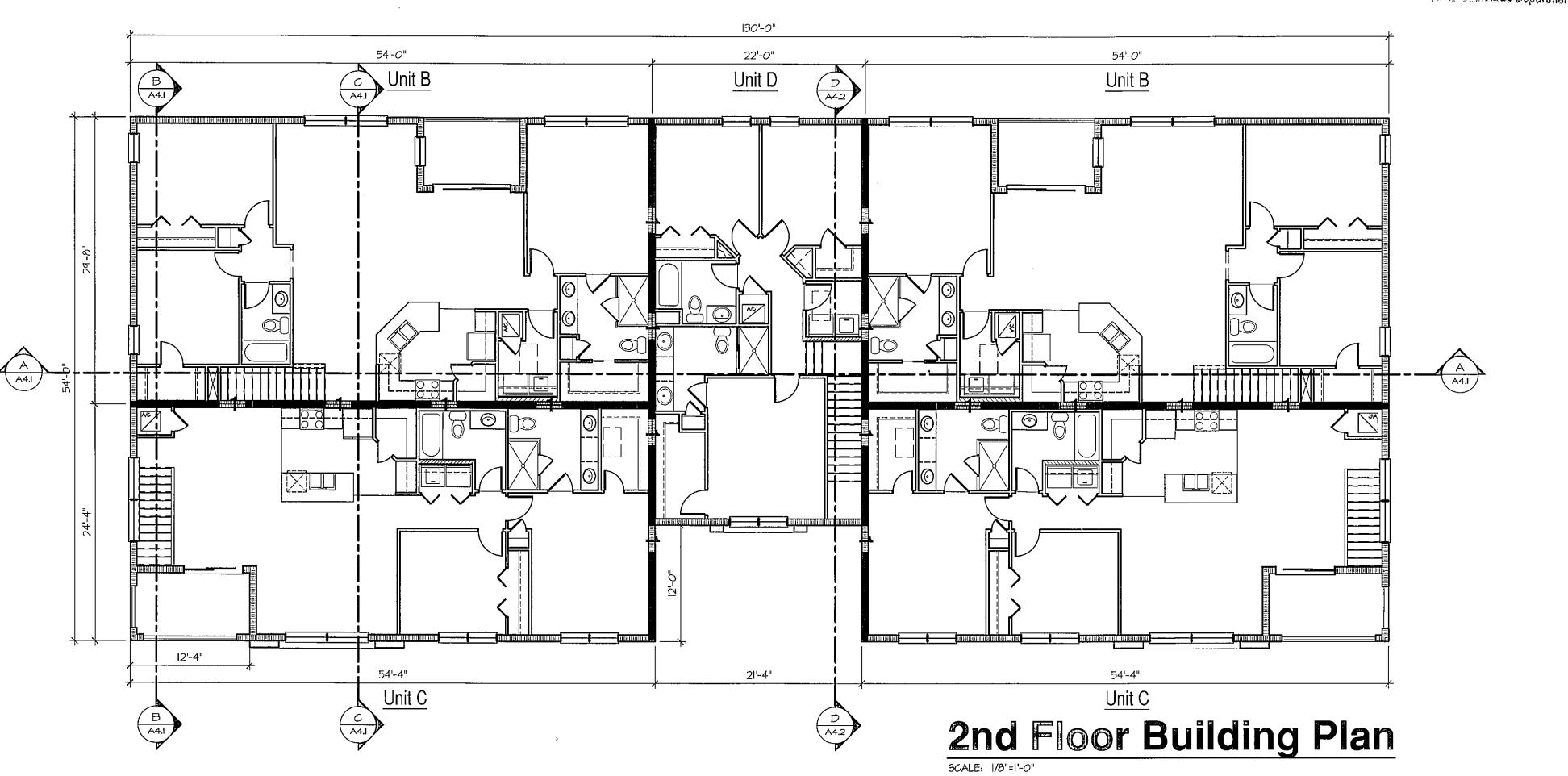
FHA GUIDELINES

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The job site of work at all times.
Per Sarasota County Ordinance
Sarasota County Construction and Propurty Standards Department

MIN. 36" FROM CORNER

8 THRESHOLD CONDITIONS 9 OUTLET MOUNTING @ CABINETS





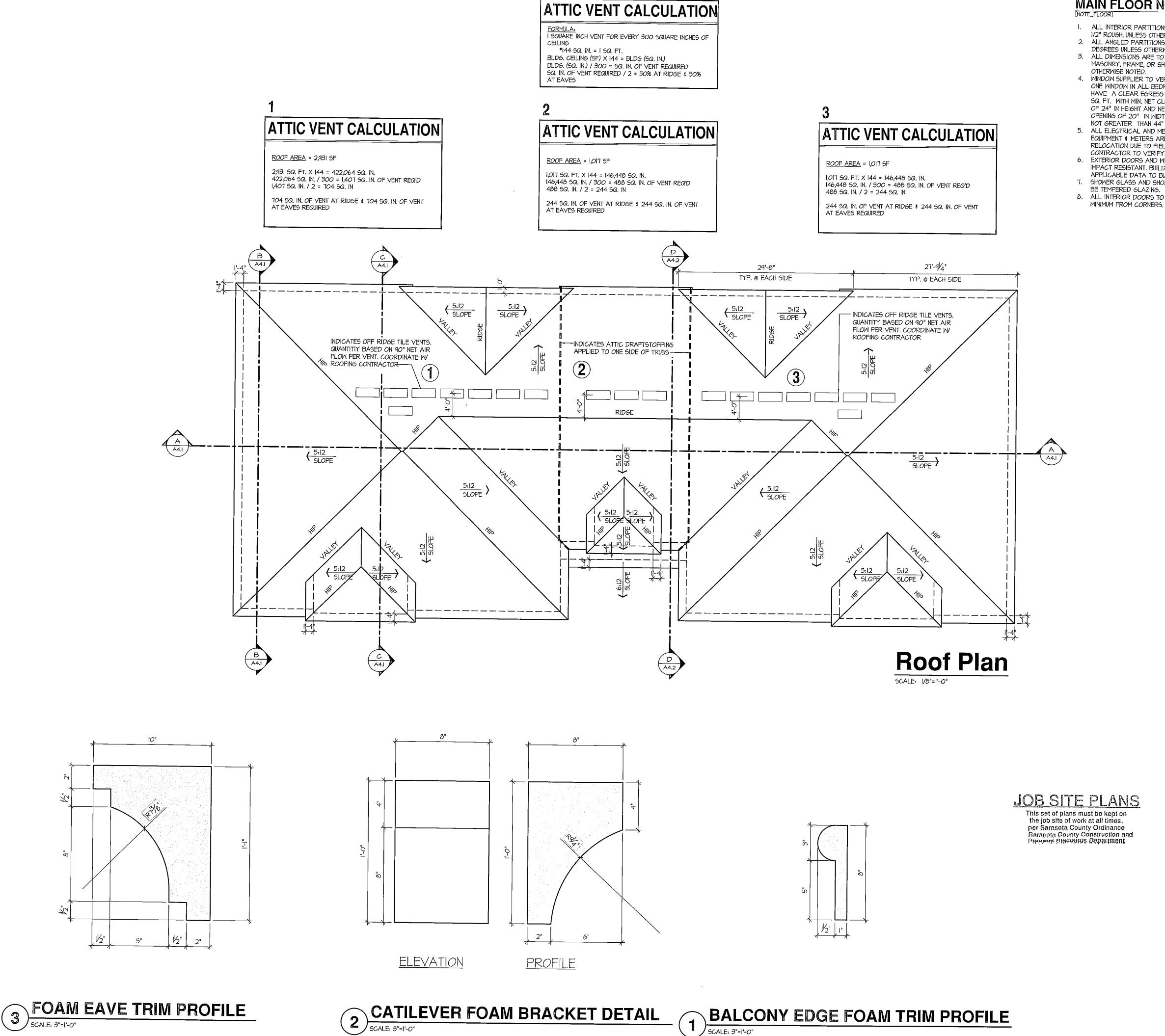
Bay Street Village 7 Unit Condominium Building

11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335 JOB NO: 02T12034 PROJ MGR: JD DRAWN: JID),AMM CHECKED: 7-UNIT FIRST FLOOR BUILDING PLAN

160 East Bay Street Osprey, Florida 34229

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A2.1



MAIN FLOOR NOTES

I. ALL INTERIOR PARTITIONS (十十) ARE 3

1/2" ROUGH, UNLESS OTHERWISE NOTED. 2. ALL ANGLED PARTITIONS ARE 45

DEGREES UNLESS OTHERWISE NOTED. 3. ALL DIMENSIONS ARE TO FACE OF MASONRY, FRAME, OR SHEATHING UNLESS

4. WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. NET CLEAR OPENING OF 24" IN HEIGHT AND NET CLEAR OPENING OF 20" IN WIDTH; SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR.

5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS; CONTRACTOR TO VERIFY.

6. EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT, BUILDER TO SUBMIT APPLICABLE DATA TO BUILDING DEPT.

7. SHOWER GLASS AND SHOWER DOORS TO

BE TEMPERED GLAZING. 8. ALL INTERIOR DOORS TO BE FRAMED 4" 5

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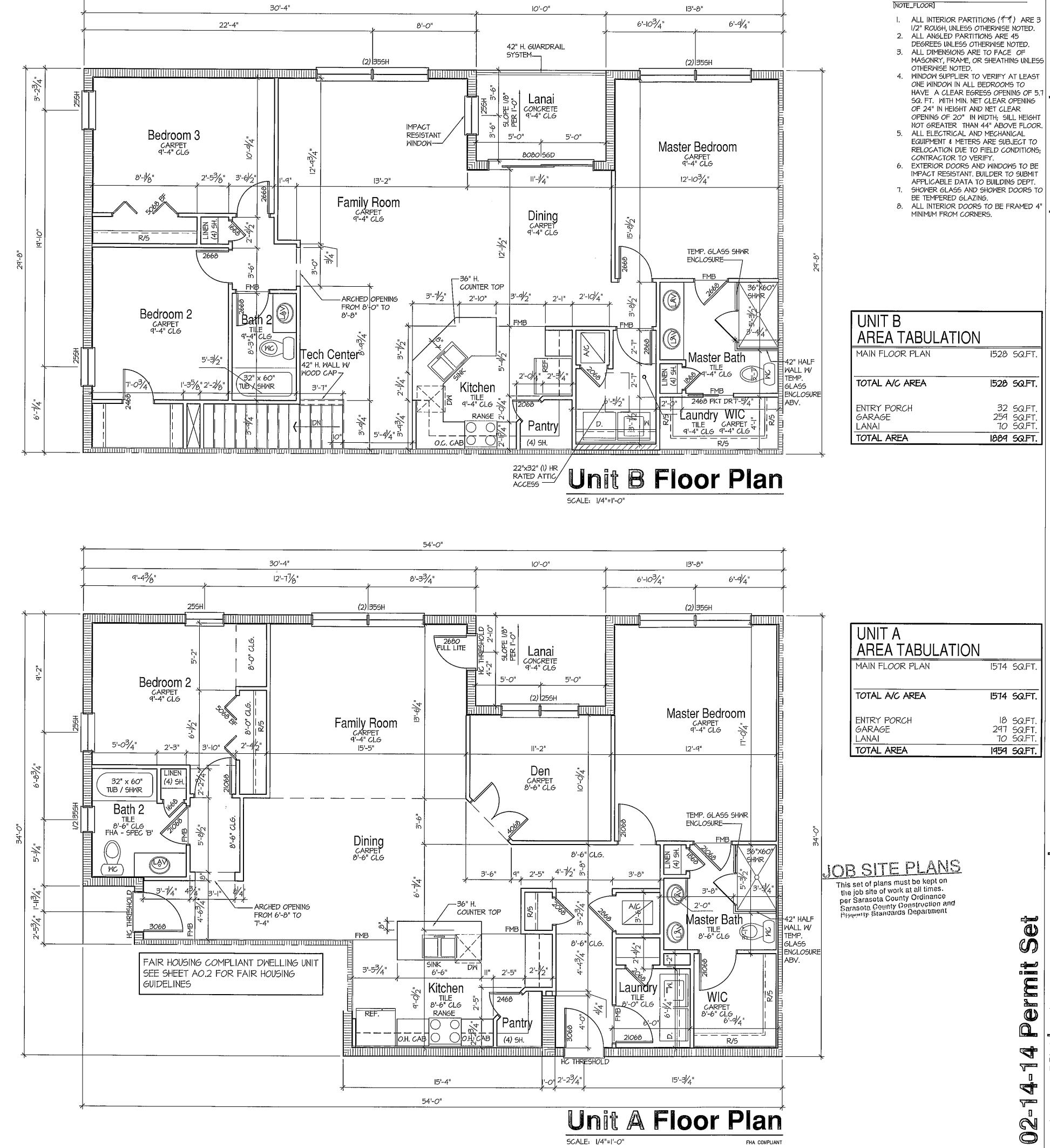
Bay Street Village 7 Unit Condominium Building

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JOB NO: 02T12034 PROJ MGR: JD DRAWN: JID, AMM CHECKED: 7-UNIT BUILDING ROOF PLAN, WALL SECTION, AND TRIM PROFILES

A2.2



54'-0"

MAIN FLOOR NOTES

- 1. ALL INTERIOR PARTITIONS (ギギ) ARE 3 1/2" ROUGH, UNLESS OTHERWISE NOTED.2. ALL ANGLED PARTITIONS ARE 45
- DEGREES UNLESS OTHERWISE NOTED.

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M.H.H.OIRION.

- 4. WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. NET CLEAR OPENING OF 24" IN HEIGHT AND NET CLEAR OPENING OF 20" IN WIDTH; SILL HEIGHT
- NOT GREATER THAN 44" ABOVE FLOOR. 5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS;
- 6. EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT. BUILDER TO SUBMIT
- 8. ALL INTERIOR DOORS TO BE FRAMED 4"

1528 SQ.FT 1528 SQ.FT. 32 SQ.FT. 259 SQ.FT 70 SQ.FT

Bay Street Village 7 Unit Condominium Building

160 East Bay Street Osprey, Florida 34229

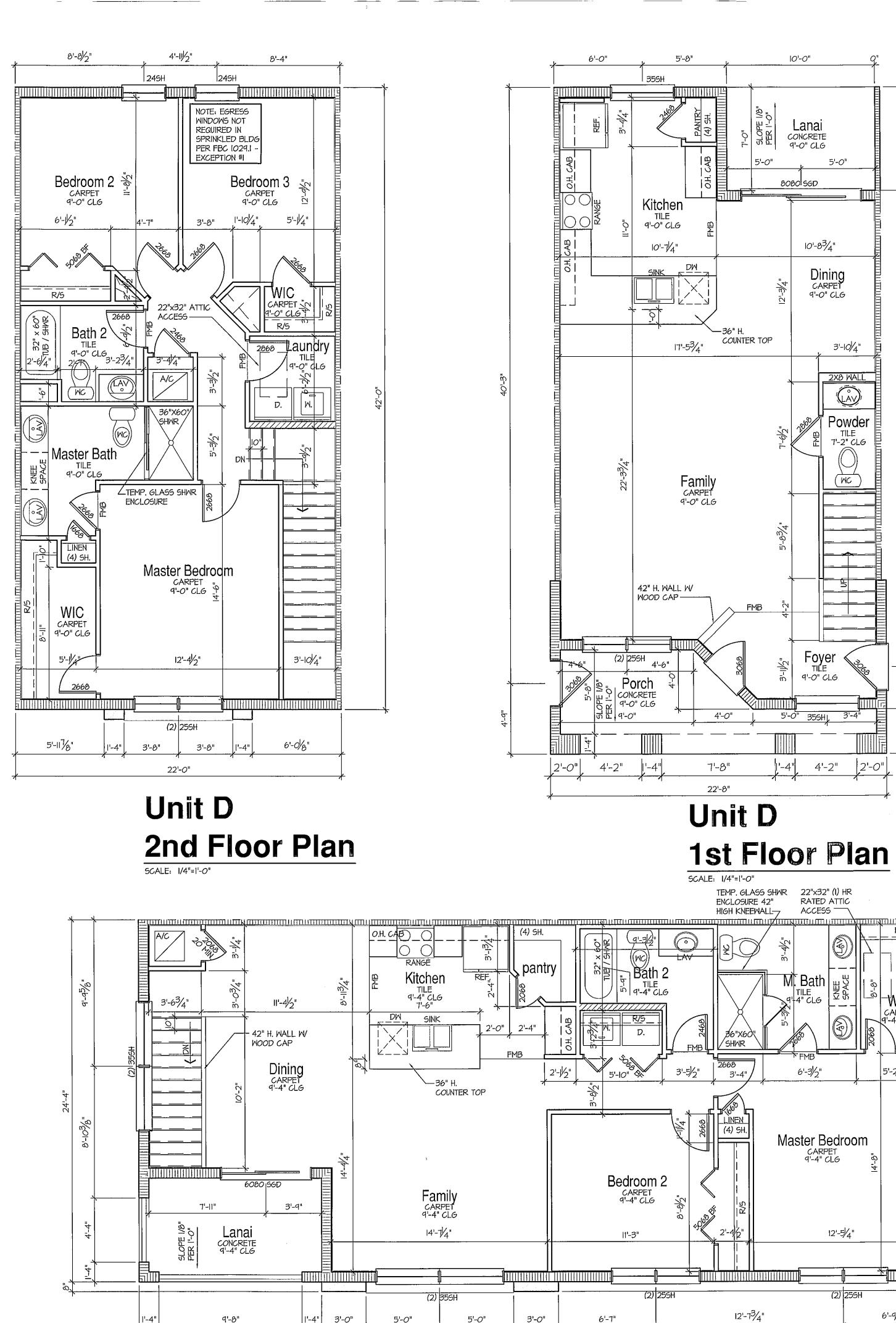


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UNIT A AND UNIT B FLOOR PLANS

A2.3



3'-*0*"

9'-8"

5'-*0*"

3'-0"

54'-4"

6'-7"

MAIN FLOOR NOTES

- ALL INTERIOR PARTITIONS (首首) ARE 3 I/2" ROUGH, UNLESS OTHERWISE NOTED.
 ALL ANGLED PARTITIONS ARE 45
- DEGREES UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF MASONRY, FRAME, OR SHEATHING UNLESS
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- OPENING OF 20" IN WIDTH; SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. 5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS;
- CONTRACTOR TO VERIFY. 6. EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT. BUILDER TO SUBMIT APPLICABLE DATA TO BUILDING DEPT. 7. SHOWER GLASS AND SHOWER DOORS TO
- BE TEMPERED GLAZING.

 8. ALL INTERIOR DOORS TO BE FRAMED 4" MINIMUM FROM CORNERS.

ISSUE DATE: REVISIONS	FEDERAL COPYRIGHT LAWS. © BSB DESIGN MAIN	The state of the s
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Suite 3 33913 D.R.HORION.

UNIT D AREA TABULATION		
MAIN FLOOR PLAN UPPER FLOOR PLAN		SQ.FT. SQ.FT.
TOTAL A/C AREA	1655	SQ.FT.
ENTRY PORCH GARAGES LANAI	480	SQ.FT. SQ.FT. SQ.FT.
TOTAL AREA	2317	SQ.FT.

UNIT C

MAIN FLOOR PLAN

TOTAL A/C AREA

GARAGE LANAI

TOTAL AREA

JOB SITE PLANS

This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasota Gentry Construction and frequency Standards Department

6'-9/4"

Unit C Floor Plan

SCALE: 1/4"=1'-0"

AREA TABULATION

1244 SQ.FT.	Street
1244 5Q.FT.	Str
230 SQ.FT. 86 SQ.FT. 1560 SQ.FT.	>

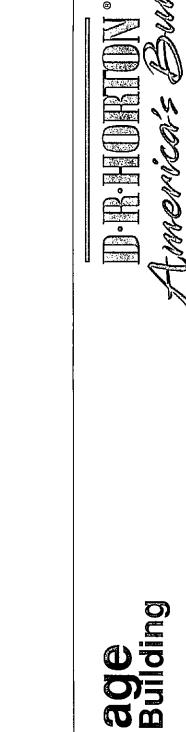
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160 East Bay Street Osprey, Florida 34229

11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335 JOB NO: 02T12034 PROJ MGR: JD

DRAWN: JID), AND CHECKED: UNIT C AND UNIT D FLOOR PLANS

A2.4



Suite 3 33913

EXTERIOR

BUILDING DEPT.

ELEVATION NOTES

GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
 EXTERIOR DOORS AND WINDOWS ARE TO BE PROTECTED WITH METAL STORM PANELS. CONTRACTOR TO SUBMIT APPLICABLE DATA TO BUILDING DEPARTMENT AS NECESSARY.

3. ALL EXTERIOR COMPONENTS MUST BE FLORIDA APPROVED PRODUCTS. BUILDER TO SUBMIT APPLICABLE DATA TO

4. PROVIDE ROOF AND SOFFIT VENTS AS

VENTILATION REQUIREMENTS.

-8" TRIM BANDS, TYP.

- CEMENT PLASTER FINISH OVER MASONRY

WALLS, TYP.

REQUIRED BY CODE AND MANUFACTURERS SPECIFICATIONS. SEE SHEET A2.2 FOR

Bay Street Village
7 Unit Condominium Building

160 East Bay Street Osprey, Florida 342

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JOB NO: 02T12034 PROJ MGR: JD
DRAWN: JID), AMM CHECKED;

BUILDING ELEVATION

A21

SCALE: 3/16"=1'-0"



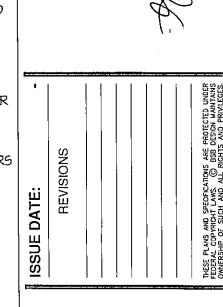


EXTERIOR ELEVATION NOTES [NOTE_EXTELEY]

- I. GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN.
 BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- PER ACTUAL SITE CONDITIONS.

 2. EXTERIOR DOORS AND WINDOWS ARE TO BE PROTECTED WITH METAL STORM PANELS. CONTRACTOR TO SUBMIT APPLICABLE DATA TO BUILDING DEPARTMENT AS NECESSARY.
- 3. ALL EXTERIOR COMPONENTS MUST BE FLORIDA APPROVED PRODUCTS. BUILDER TO SUBMIT APPLICABLE DATA TO BUILDING DEPT.

 4. PROVIDE ROOF AND SOFFIT VENTS AS
- 4. PROVIDE ROOF AND SOFFIT VENTS AS REQUIRED BY CODE AND MANUFACTURERS SPECIFICATIONS. SEE SHEET A2.2 FOR VENTILATION REQUIREMENTS.



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Bay Street Village 7 Unit Condominium Building

160 East Bay Street Osprey, Florida 34229

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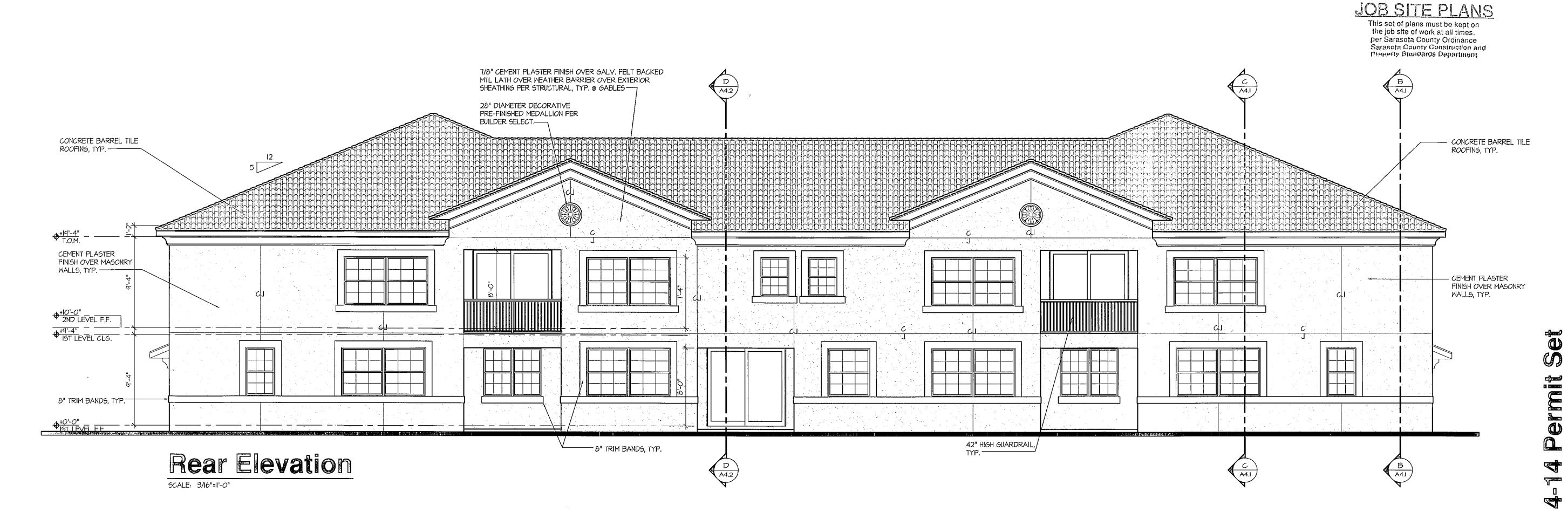
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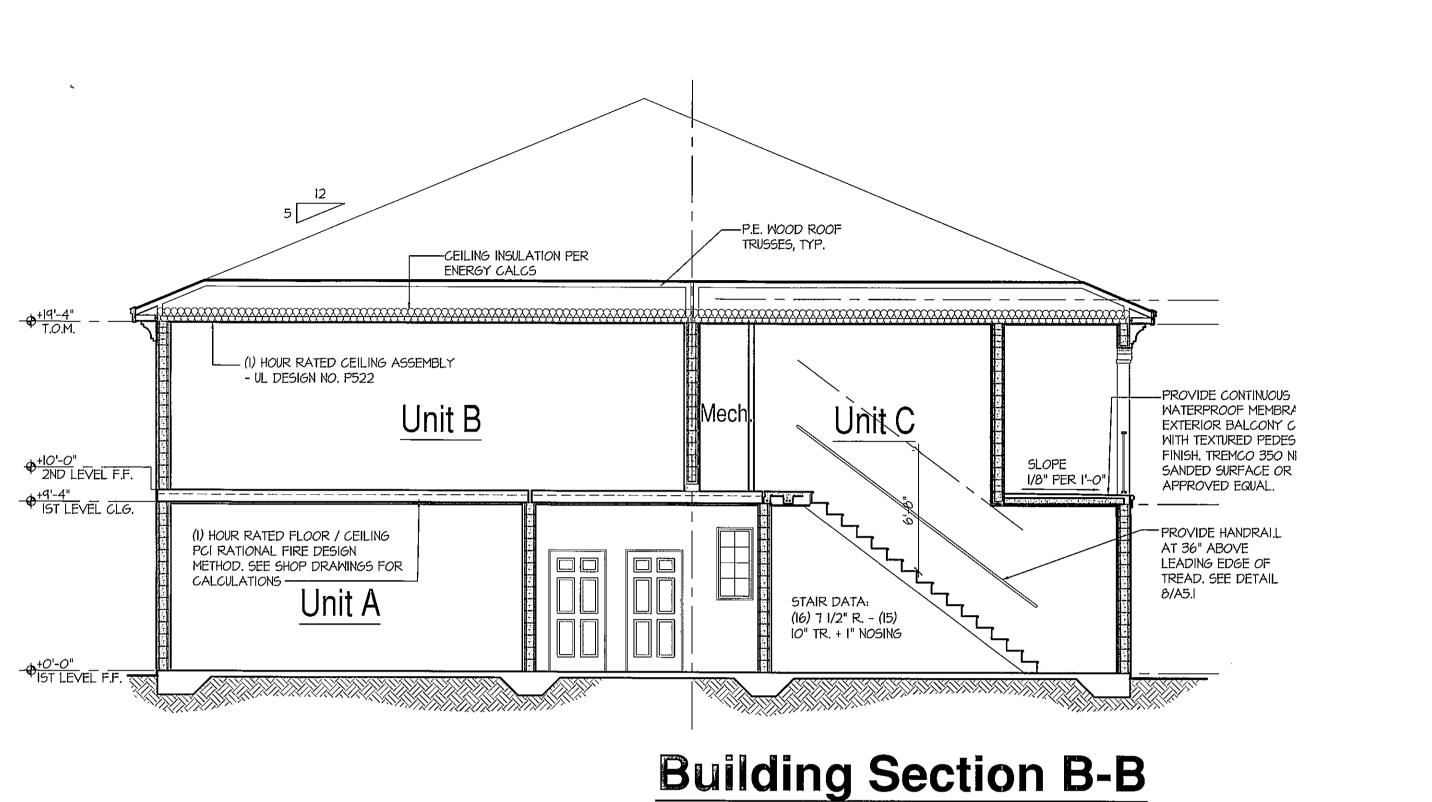
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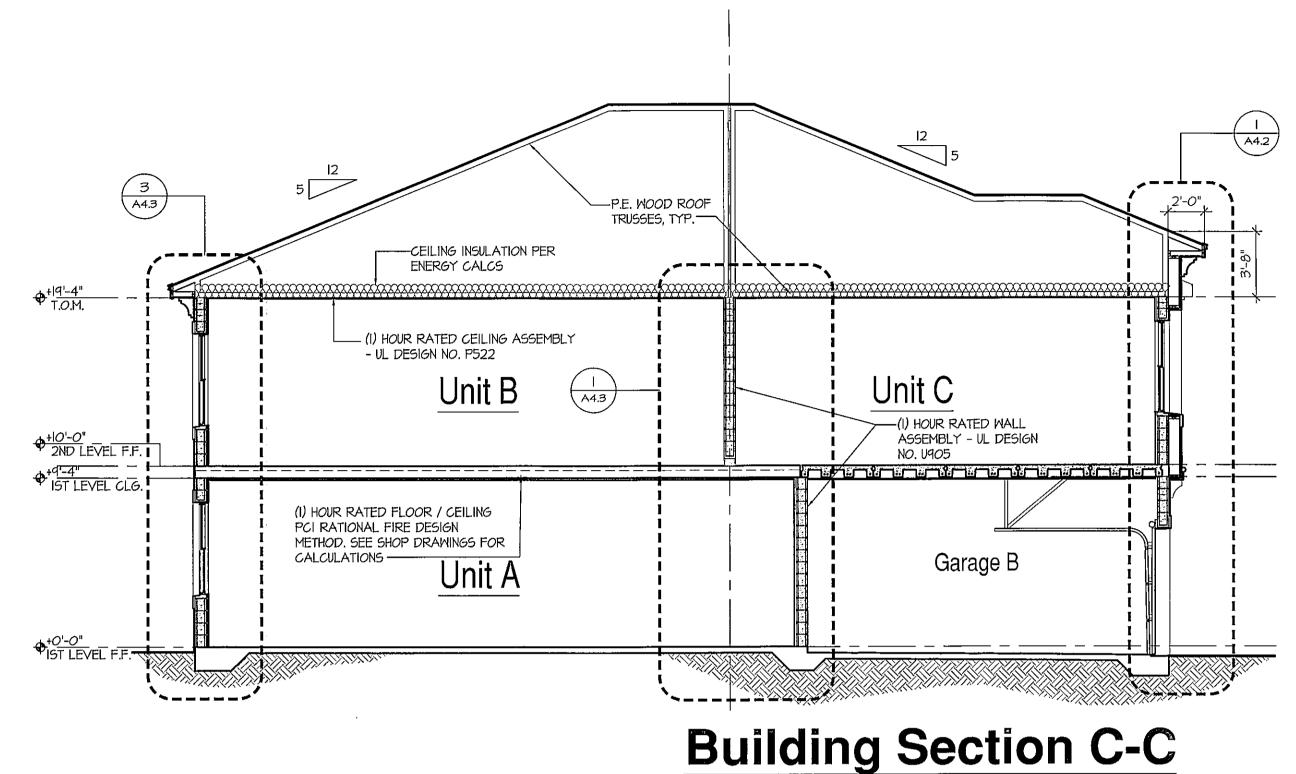
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904 732 7335

JOB NO: 02T12034 PROJ MGR: JD DRAWN: JJD, ANM CHECKED: SIDES AND REAR ELEVATIONS

A3.

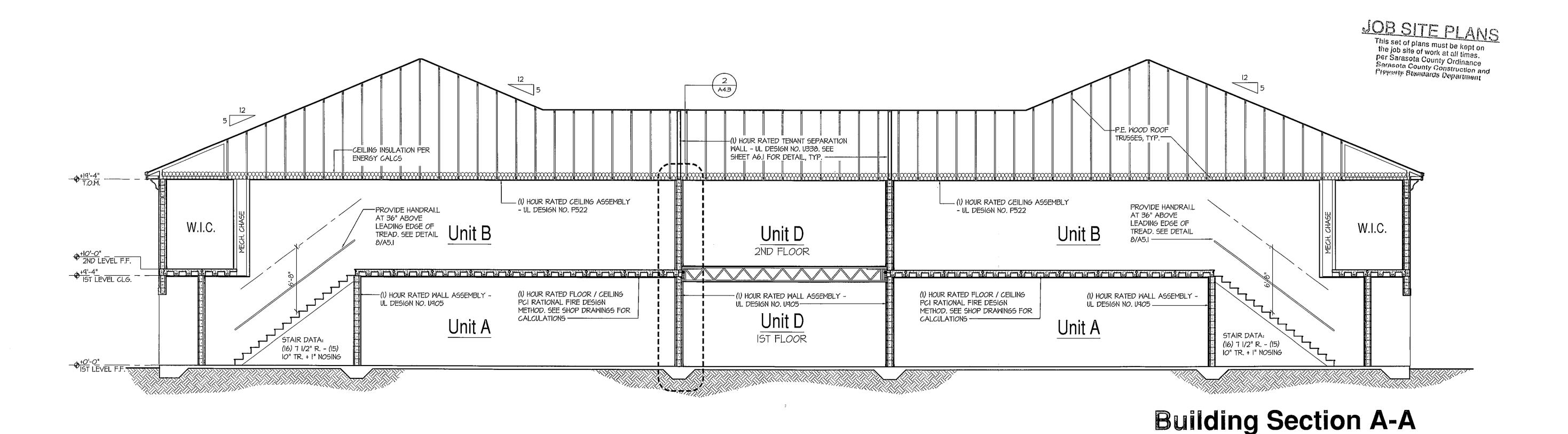






SCALE: 3/16"=1'-0"

SCALE: 3/16"=1'-0"



Set JOB NO: 02T12034 PROJ MGR: DRAWN: JID, ANN CHECKED: BUILDING SECTIONS

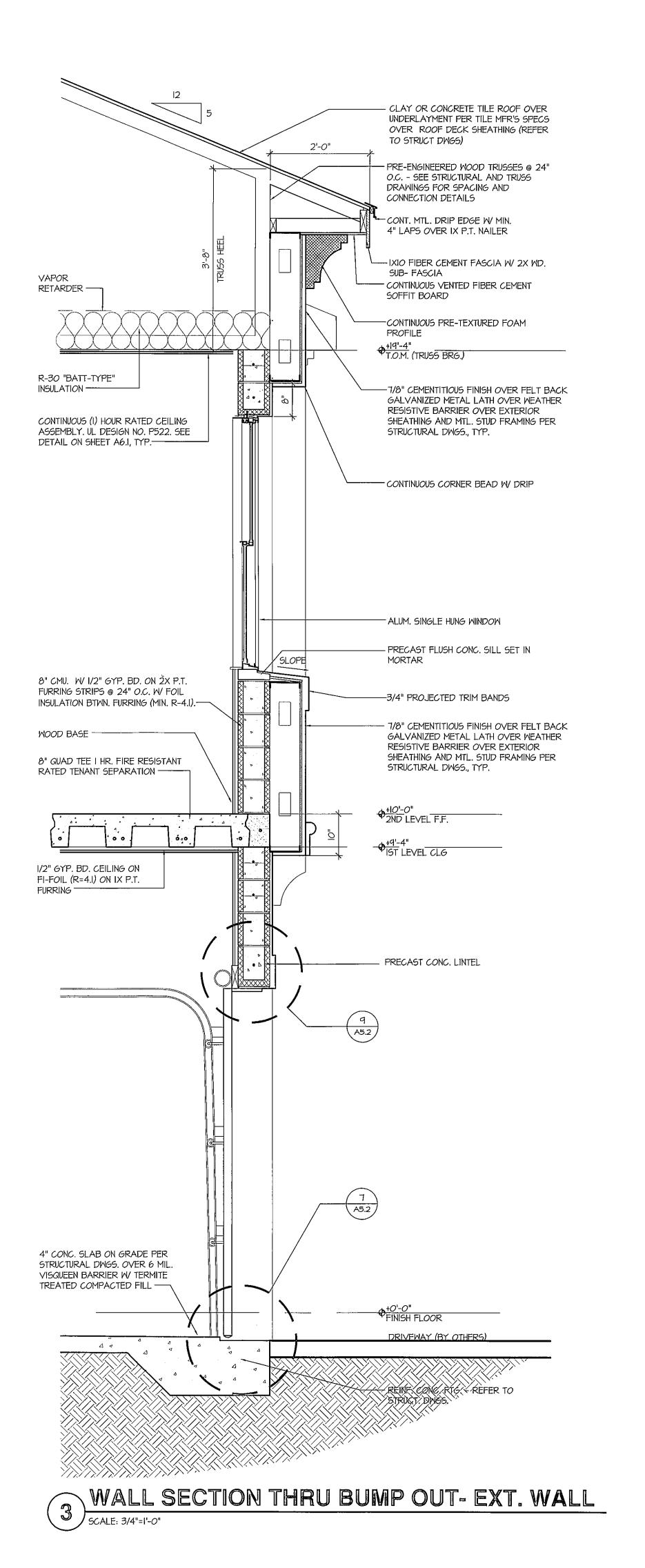
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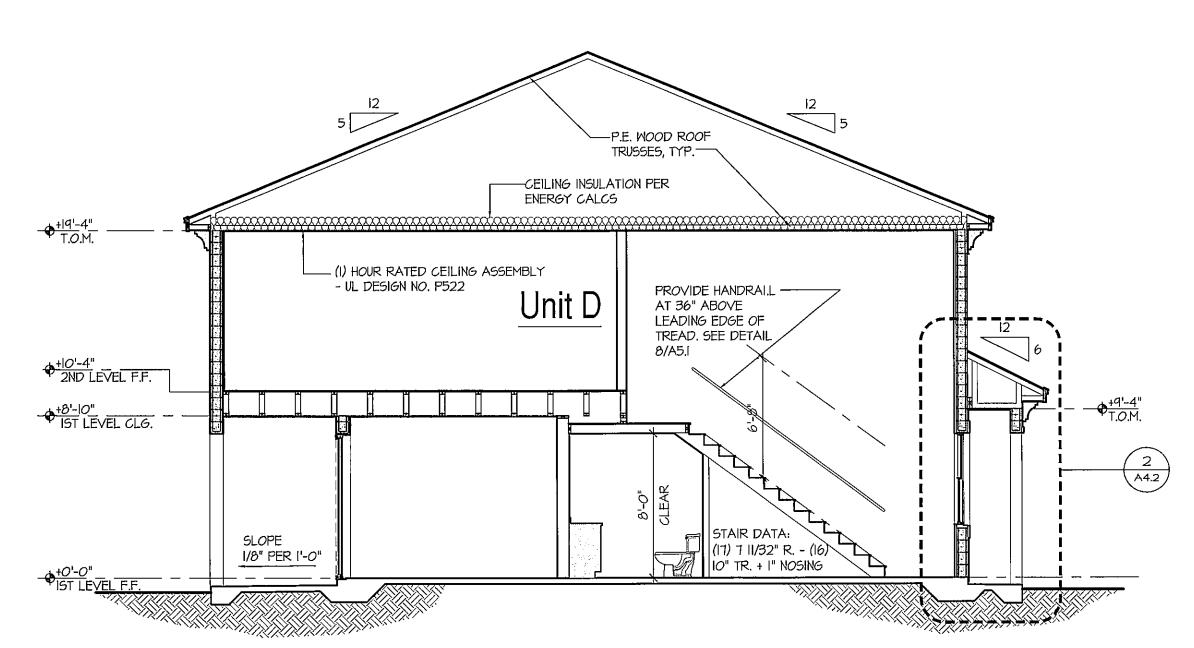
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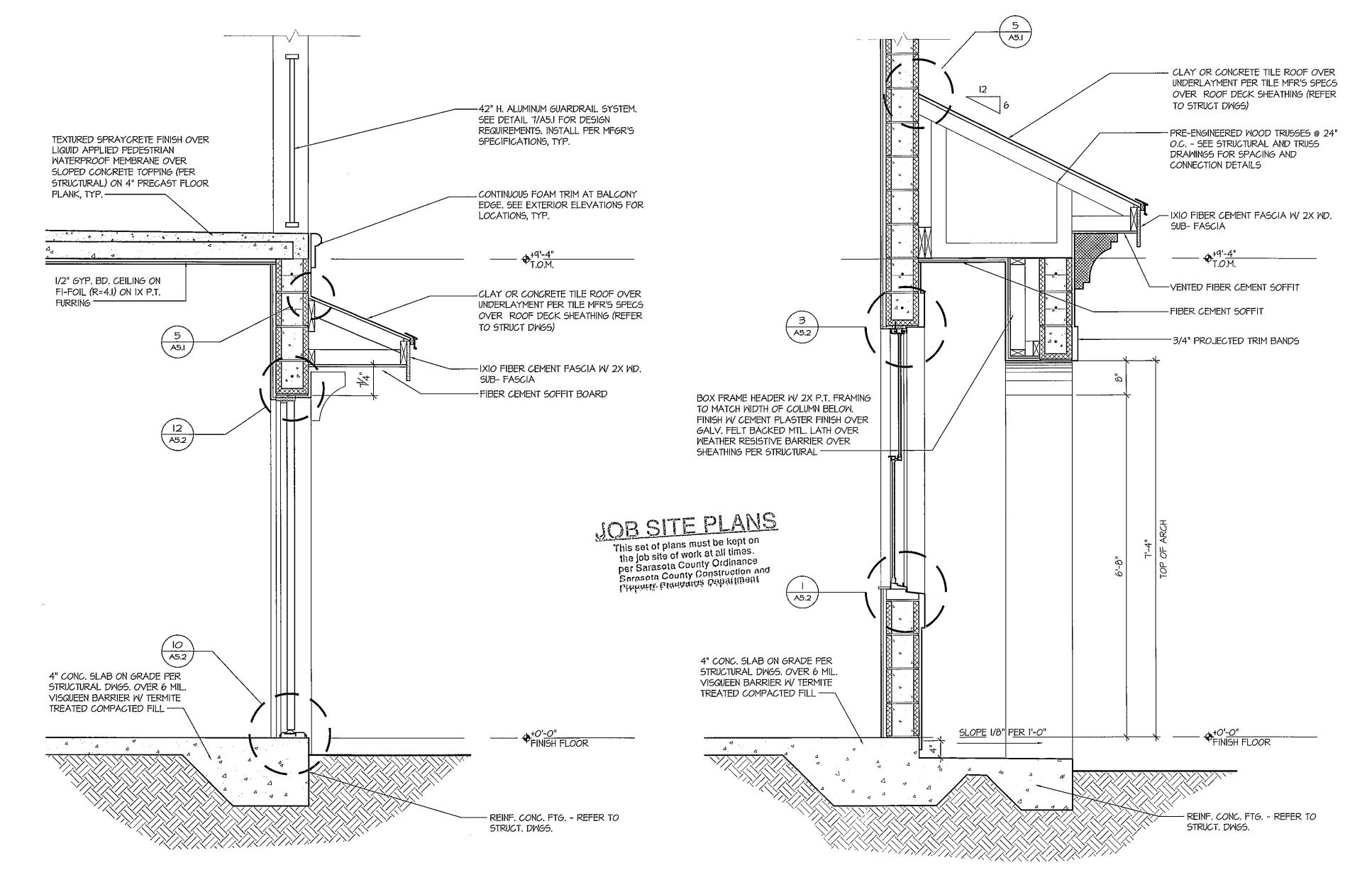
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Bay Street Village
7 Unit Condominium Building





Building Section D-D SCALE: 3/16"=1'-0"



WALL SECTION THRU UNIT C ENTRY

WALL SECTION THRU UNIT D PORCH

02-14-14 Permit Set

A4.2

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BUILDING SECTIONS

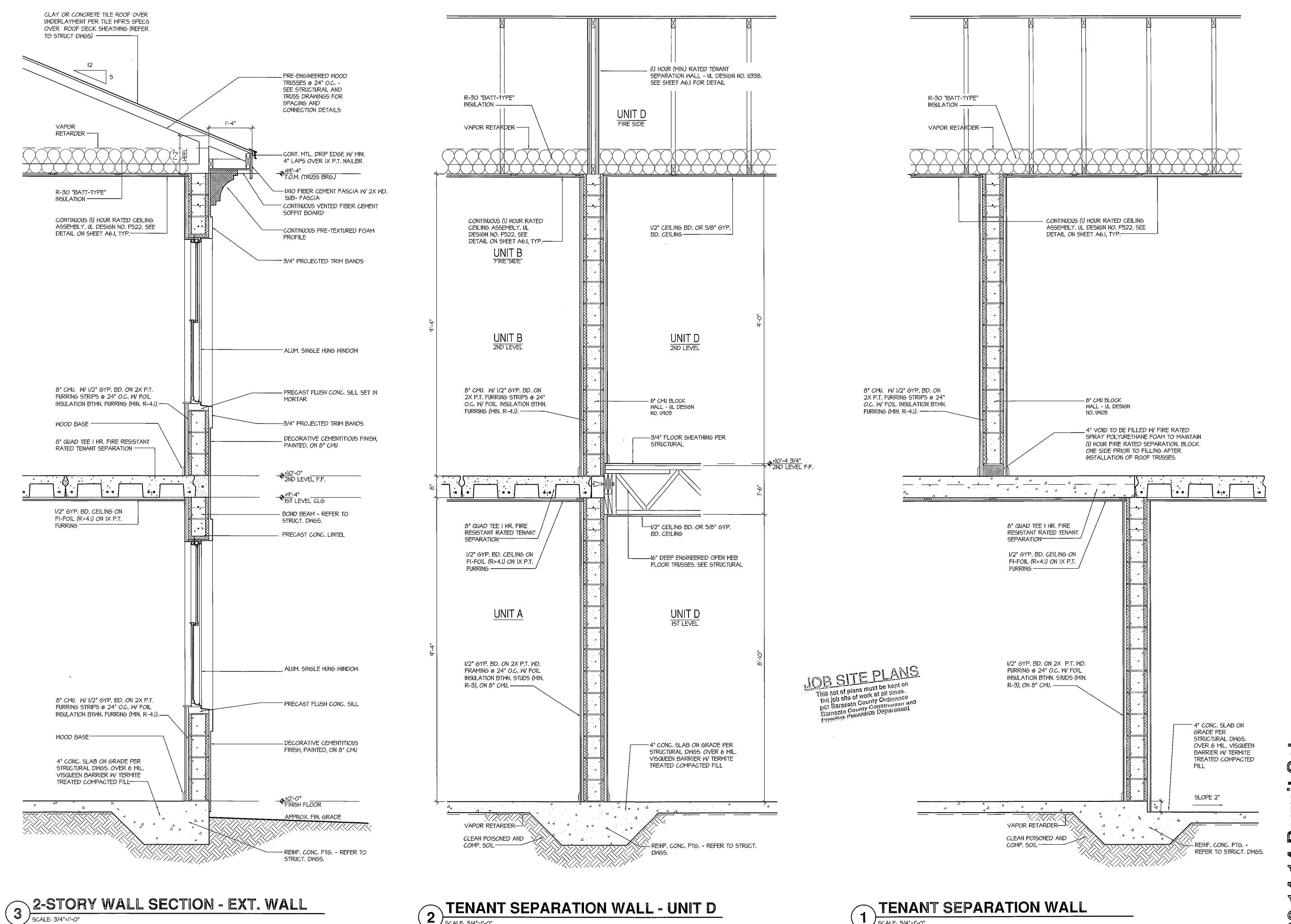
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Bay Street Village 7 Unit Condominium Building

160 East Bay Street Osprey, Florida 34229



Set 0

A4.3

BSB

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11512 Lake Mead Ave., #301

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JOB NO: 02T12034 PROJ MGR: JD

DRAWN: JID),AMM CHECKED:

WALL SECTIONS

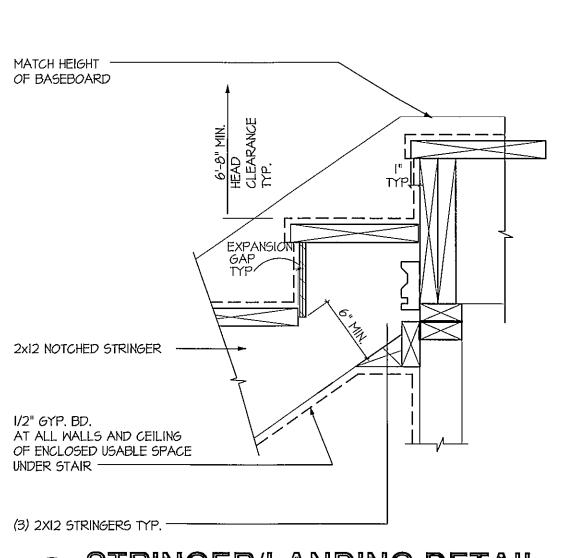
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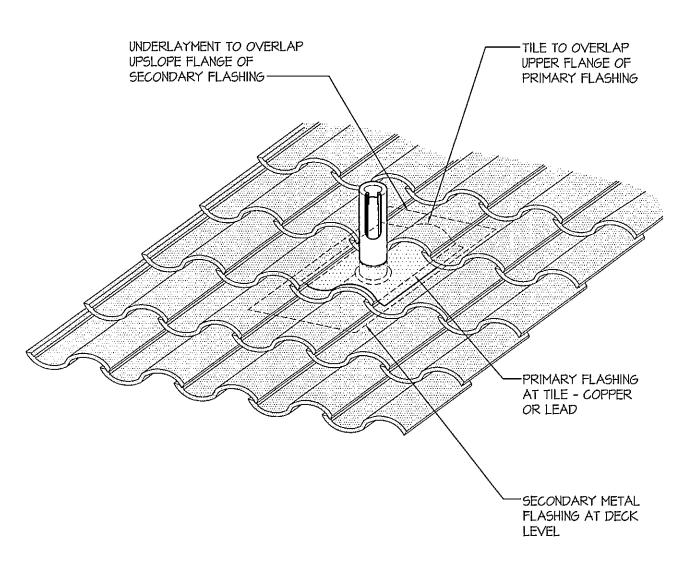
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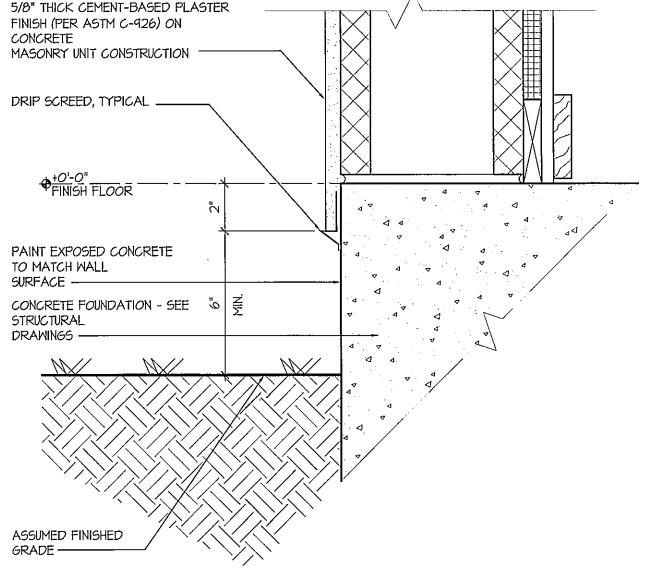
D. H. H. OK. B. B. W.

Bay Street Village
7 Unit Condominium Building

160 East Bay Street Osprey, Florida 34229







DRIP SCREED - PLASTER

5/8"THK CEMENT-BASED PLASTER FINISH

METAL OR VINYL PLASTER DRIP SCREED

- INSTALL PER MANUFACTURER'S

MIN. 26 GA. CORROSION RESISTANT

INSTALLATION INSTRUCTIONS -

CONCRETE BARREL TILE ROOF

OVER 90# MINERAL SURFACED

FELT HOT MOPPED ON 30# FELT

UNDERLAYMENT ANCHORED AND

6"x6" CORROSION RESISTANT BASE FLASHING (TYP) ----

PRE-ENGINEERED WOOD TRUSSES SEE STRUCTURAL

AND TRUSS DRAWINGS

FOR SPACING AND

CONNECTION DETAILS

TYPICAL EXTERIOR WALL

CAPPED. INSTALL PER

MANUFACTURERS SPECIFICATIONS.

FLEXIBLE METAL FLASHING -

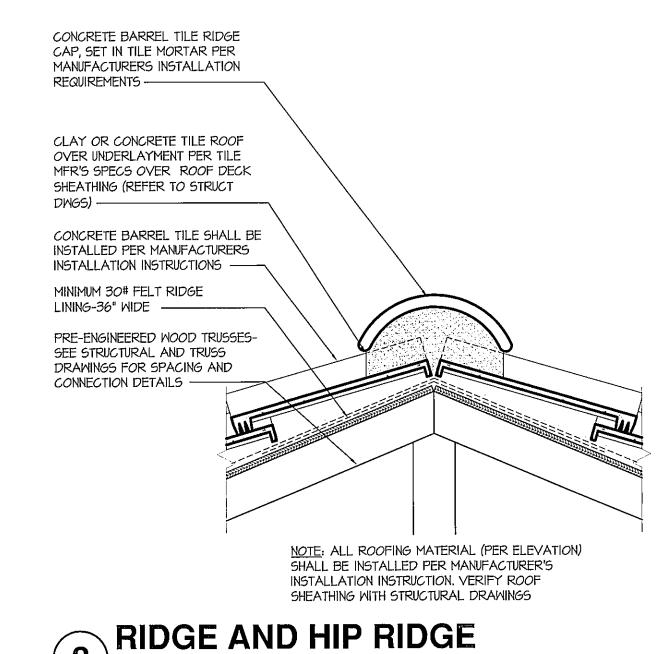
(PER ASTM C-926) ON CONCRETE

MASONRY UNIT CONSTRUCTION.

PROVIDE CONTROL JOINTS AT

ELEVATIONS, TYP. 7

LOCATIONS INDICATED ON EXTERIOR



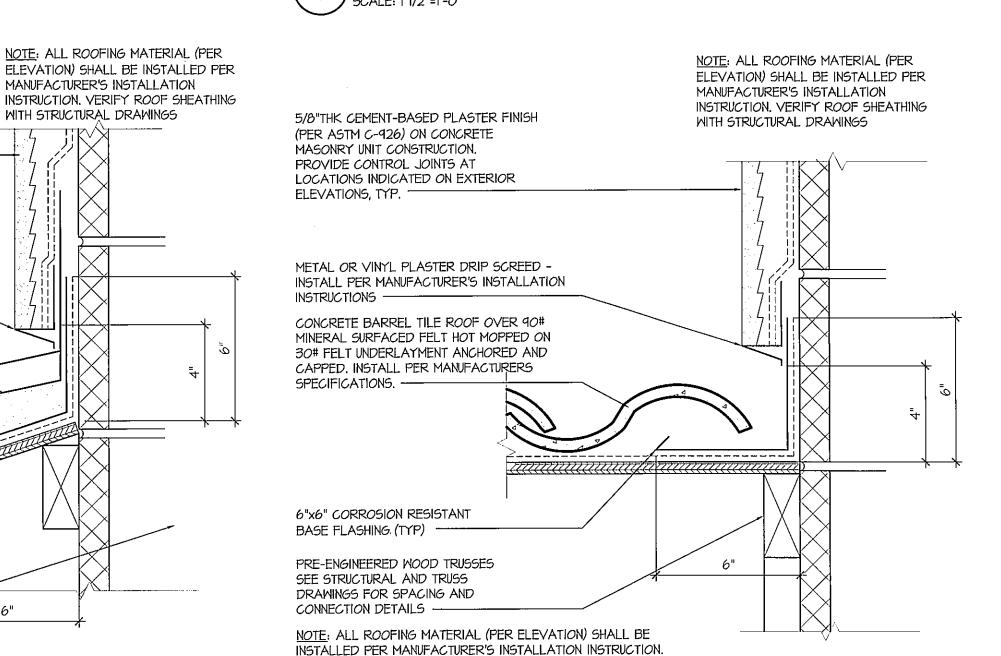


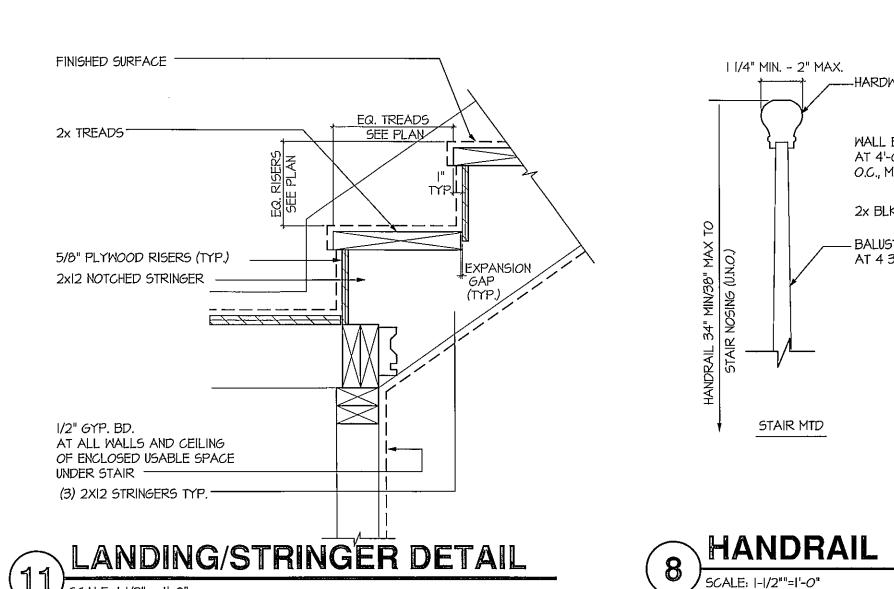
9 PIPE PENETRATION - TILE

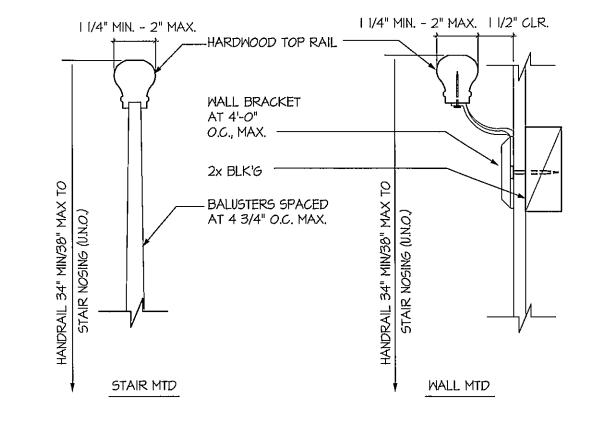
NOTE: ALL ROOFING MATERIAL (PER

MANUFACTURER'S INSTALLATION

WITH STRUCTURAL DRAWINGS







NOTE: HEIGHTS REFERENCED IN THIS DETAIL ARE FOR

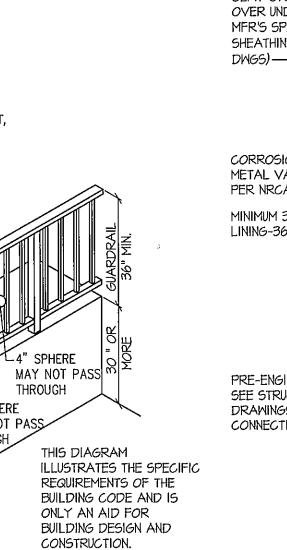
GUARDRAILS ARE 42" HIGH PER EXTERIOR ELEVATIONS.

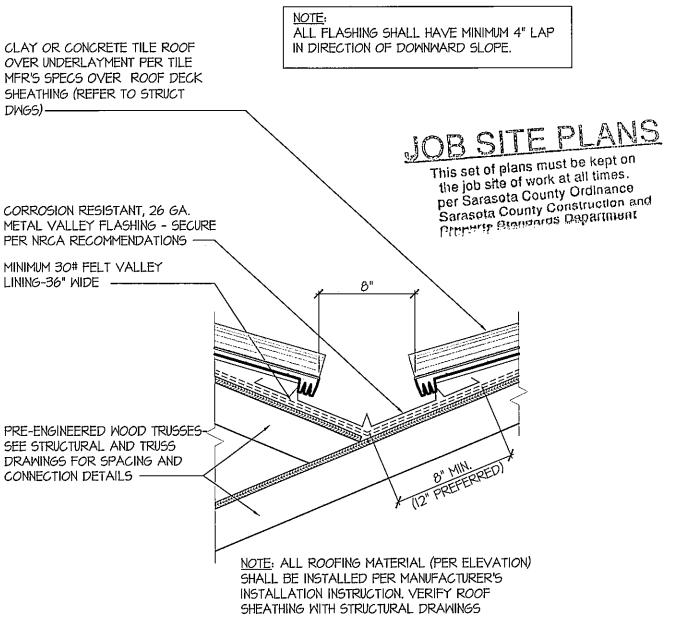
INTERIOR OF DWELLING UNITS ONLY. EXTERIOR

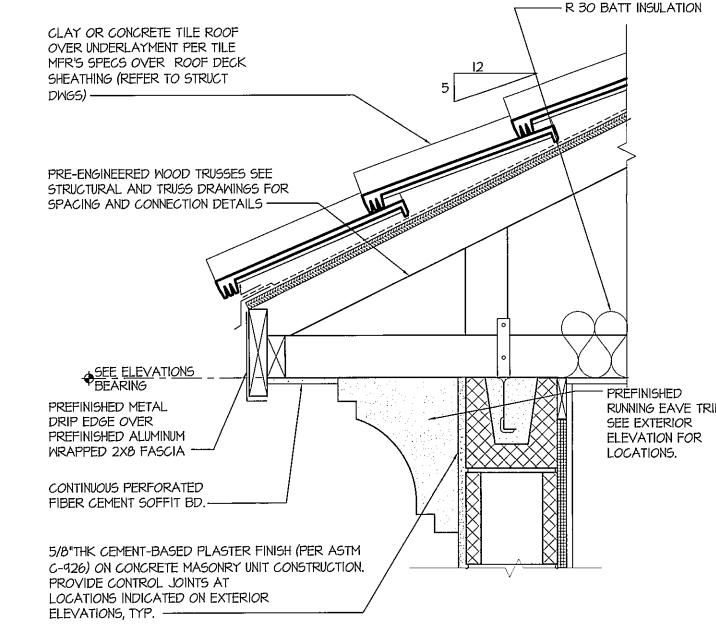
ROOF TO WALL-TILE

ASSEMBLY - SEE STRUCTURAL DRAWINGS

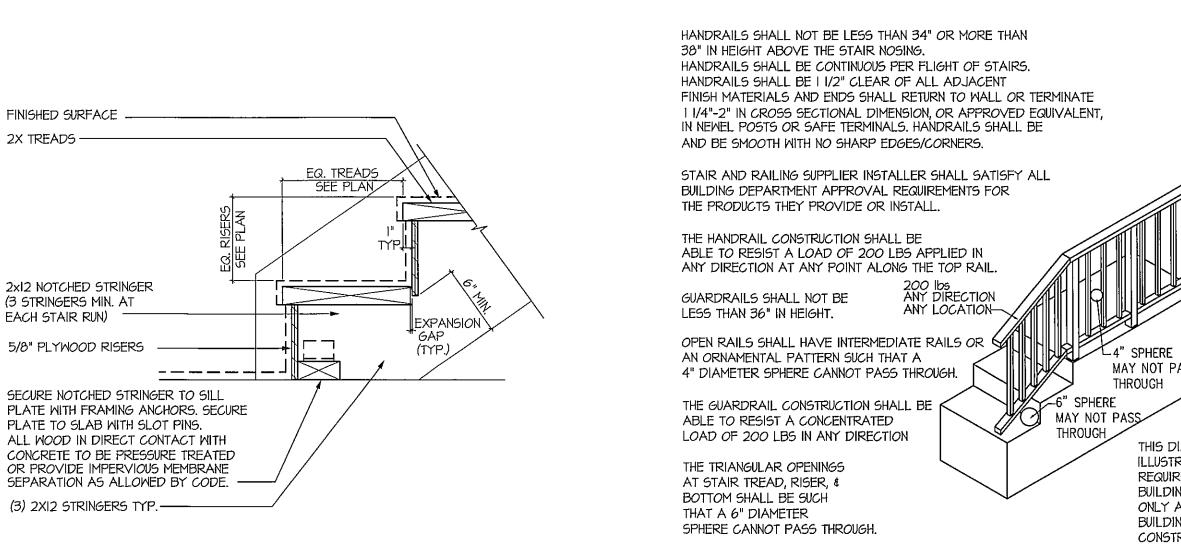
VERIFY ROOF SHEATHING WITH STRUCTURAL DRAWINGS **ROOF TO WALL-TILE** / SCALE: 3"=1'-0"







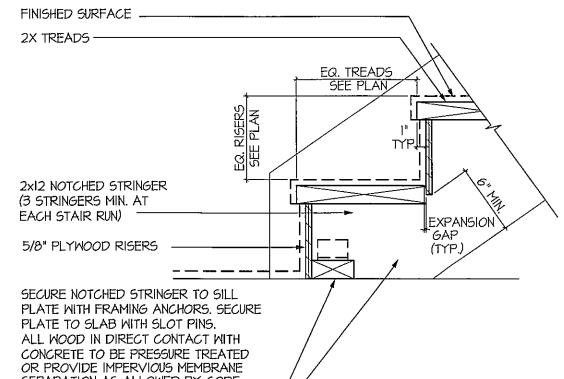




HANDRAIL/GUARDRAIL CODE DATA

ROOF DETAILS

TYPICAL EAVE - PLASTER



FLOOR/STRINGER DETAIL

Street Village Condominium Building

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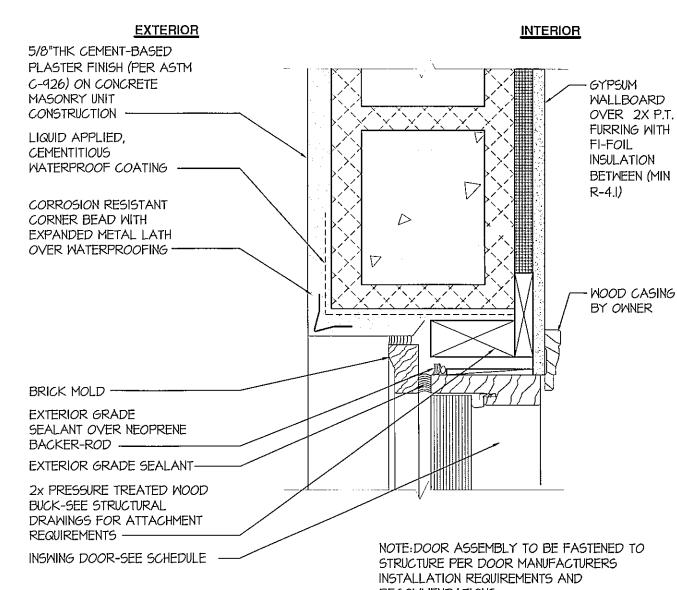
160 East Bay Street Osprey, Florida 342

DESIGN

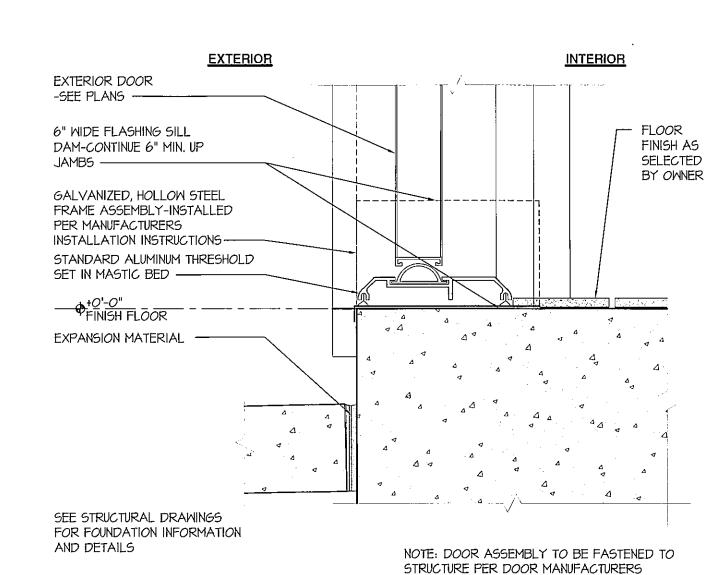
www.bsbdesign.com 11512 Lake Mead Ave., #301 904 732 7335

Jacksonville, Florida 32256 JOB NO: 02T12034 PROJ MGR: JD DRAWN: JD, AM CHECKED:

HEAD AT MASONRY WALL 12) SCALE: 3"=1'-0"



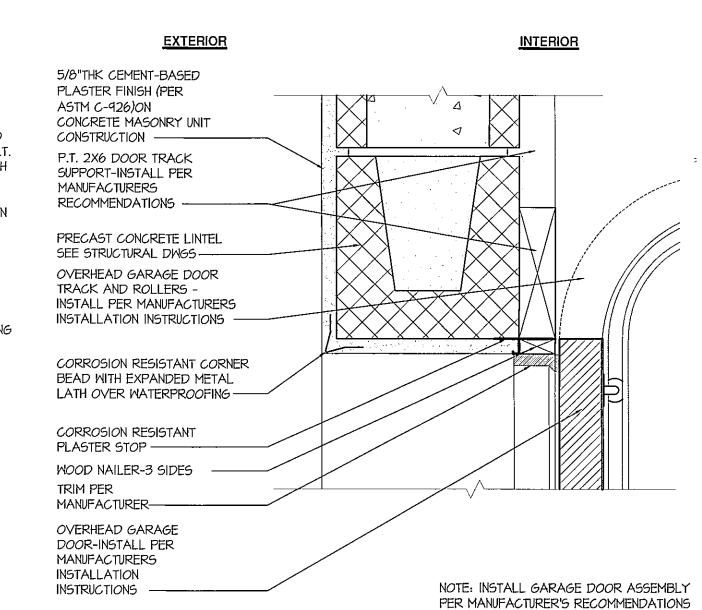
RECOMMENDATIONS **EXTERIOR DOOR** 5CALE: 3"=1'-0"



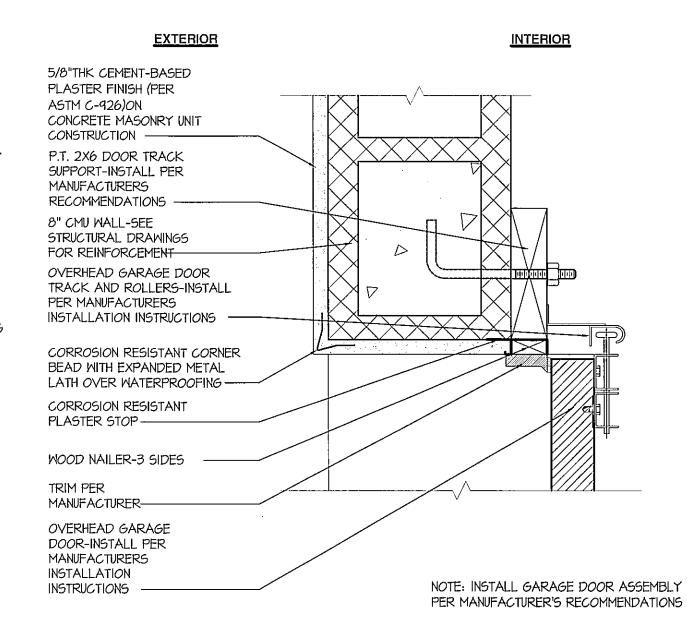
INSTALLATION REQUIREMENTS AND

RECOMMENDATIONS

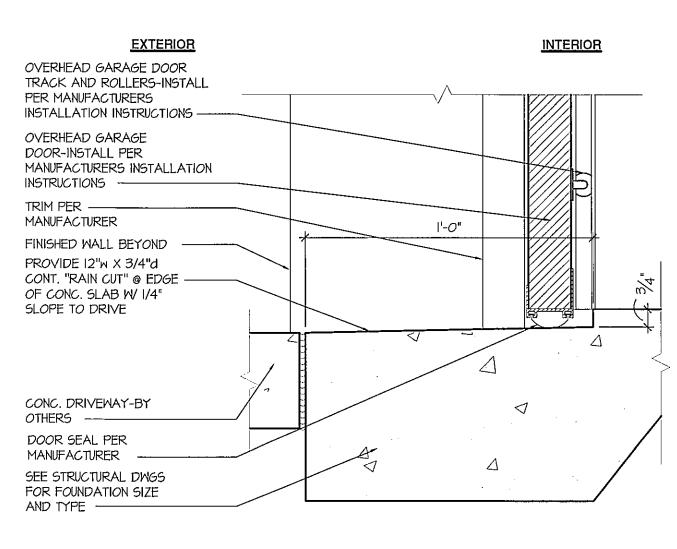




OVERHEAD GARAGE DOOR HEAD



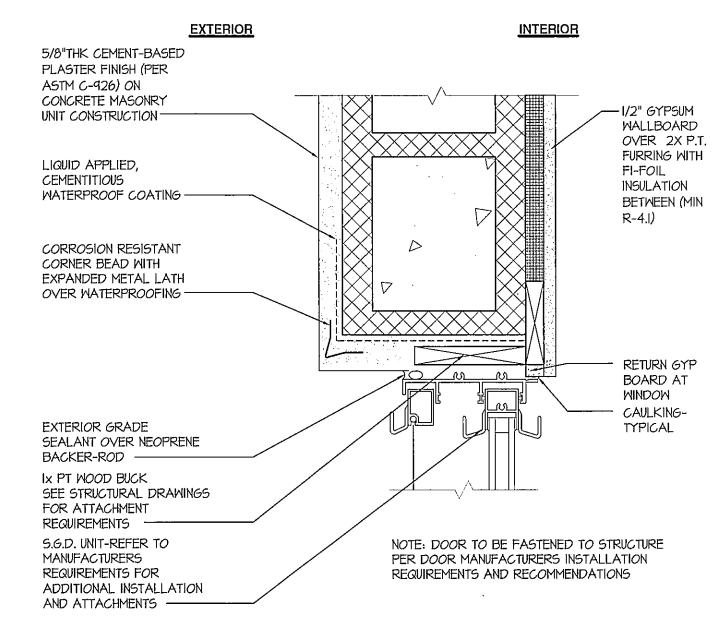
OVERHEAD GARAGE DOOR JAMB



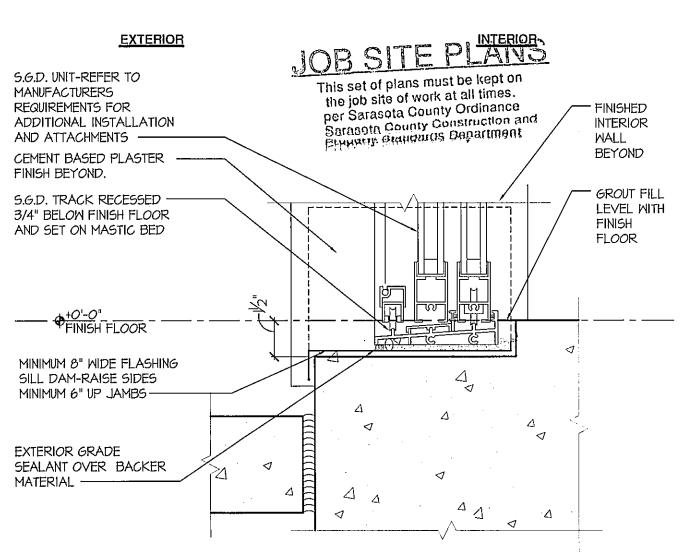
NOTE: INSTALL GARAGE DOOR ASSEMBLY PER MANUFACTURER'S RECOMMENDATIONS

EXTERIOR INTERIOR 5/8"THK CEMENT-BASED PLASTER FINISH (PER ASTM C-926) ON CONCRETE MASONRY 5/8"THK, CEMENT-BASED PLASTER - I/2" GYPSUM UNIT CONSTRUCTION -FINISH (PER ASTM C-926) ON **WALLBOARD** CONCRETE MASONRY UNIT MASONRY REINFORCED OVER 2X P.T. CONSTRUCTION ---CONTINUOUS TIE BEAM-FURRING WITH SEE STRUCTURAL DRAWINGS -INSULATION BETWEEN (MIN LIQUID APPLIED, CEMENTITIOUS LIQUID APPLIED, WATERPROOF COATING **CEMENTITIOUS** WATERPROOF COATING -CORROSION RESISTANT CORNER BEAD WITH EXPANDED METAL LATH OVER WATERPROOFING -RETURN GYP BOARD AT MINDOM CAULKING-EXTERIOR GRADE TYPICAL EXTERIOR GRADE SEALANT-SEALANT OVER NEOPRENE BACKER-ROD -EXTERIOR GRADE SEALANT OVER NEOPRENE IX PT WOOD BUCK BACKER-ROD -SEE STRUCTURAL DRAWINGS FOR ATTACHMENT REQUIREMENTS IX PT WOOD BUCK S.G.D. UNIT-REFER TO SEE STRUCTURAL DRAWINGS NOTE: DOOR TO BE FASTENED TO STRUCTURE MANUFACTURERS FOR ATTACHMENT PER DOOR MANUFACTURERS INSTALLATION REQUIREMENTS FOR REQUIREMENTS REQUIREMENTS AND RECOMMENDATIONS ADDITIONAL INSTALLATION AND ATTACHMENTS

SLIDING GLASS DOOR HEAD



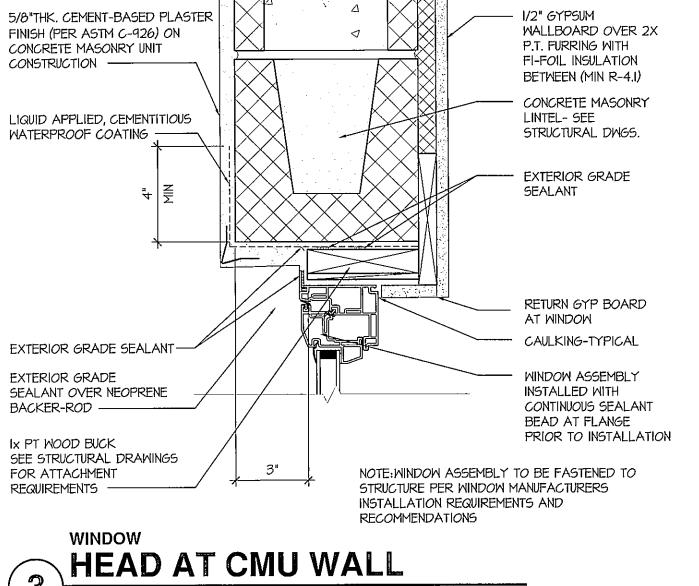
SLIDING GLASS DOOR JAMB

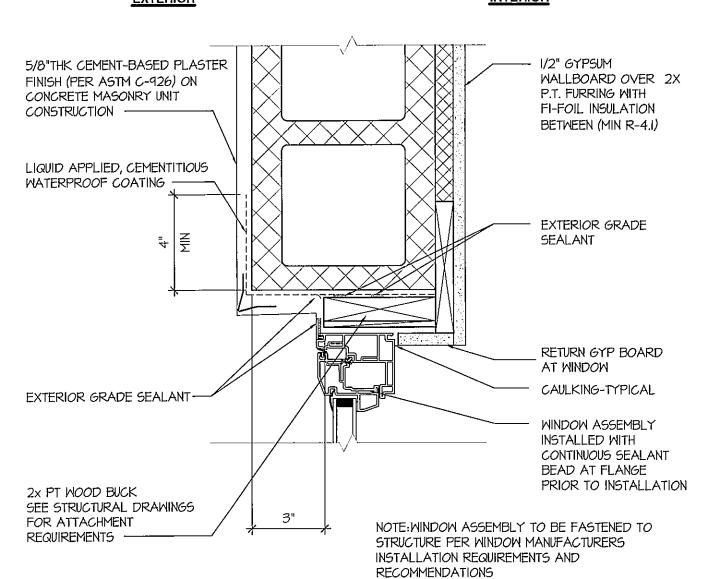


NOTE: DOOR TO BE FASTENED TO STRUCTURE PER DOOR MANUFACTURERS INSTALLATION REQUIREMENTS AND RECOMMENDATIONS

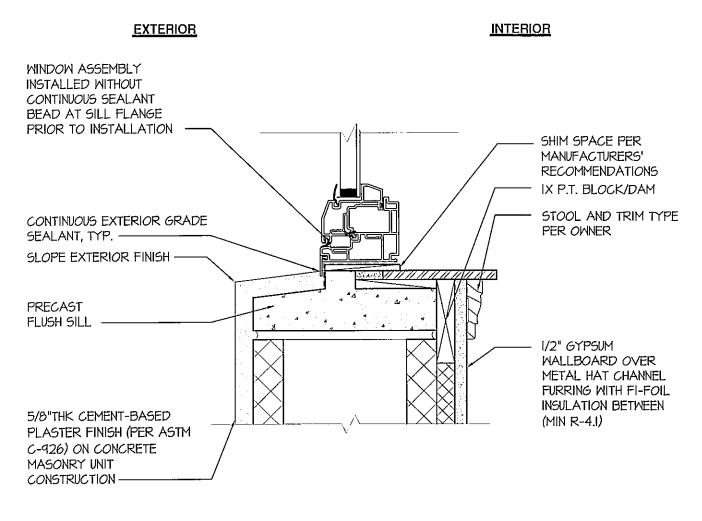
OVERHEAD GARAGE DOOR RAIN CUT SCALE: 3"=1'-0" SCALE: 3"=1'-0" SCALE: 3"=1'-0"







JAMB AT CMU WALL



NOTE: WINDOW ASSEMBLY TO BE FASTENED TO STRUCTURE PER WINDOW MANUFACTURERS INSTALLATION REQUIREMENTS AND



Street Village Condominium Buldi

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Suite 3 33913

3880 Treeline Ave, Fort Myers, Florida

DESIGN

www.bsbdesign.com 11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335

JOB NO: 02T12034 PROJ MGR: JD DRAWN: JD, AM CHECKED:

7

A5.2

- ① CONCRETE BLOCKS*--VARIOUS DESIGNS. CLASSIFICATION D-2 (2 HR.). SEE CONCRETE BLOCK CATEGORY FOR LIST OF ELIGIBLE MANUFACTURERS.
- (2) MORTAR--BLOCKS LAID IN FULL BED OF MORTAR NOM. 3/8 IN. THICK, OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO I PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THEN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME), VERTICAL JOINTS STAGGERED.

HORIZONTAL SECTION

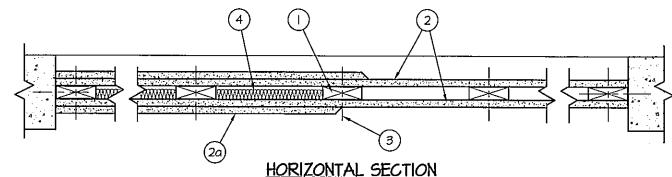
- (3) PORTLAND CEMENT STUCCO OR GYPSUM PLASTER -- ADD 1/2 HR TO CLASSIFICATION IF USED, WHERE COMBUSTIBLE MEMBERS ARE FRAMED IN WALL, PLASTER OR STUCCO MUST BE APPLIED ON THE FACE OPPOSITE FRAMING TO ACHIEVE A MAX. CLASSIFICATION OF 1-1/2 HR. ATTACHED TO CONCRETE BLOCK
- 4 LOOSE MASONRY FILL--IF ALL CORE SPACES ARE FILLED WITH LOOSE DRY EXPANDED SLAG, EXPANDED CLAY OR SHALE (ROTARY KILN PROCESS), WATER REPELLANT VERMICULITE MASONRY FILL INSULATION, OR SILICONE TREATED PERLITE LOOSE FILL INSULATION ADD 2 HR TO CLASSIFICATION.
- 5 FOAMED PLASTIC* -- (OPTIONAL-NOT SHOWN)-- 1-1/2 IN. THICK MAX. 4 FT. WIDE SHEATHING ATTACHED TO CONCRETE BLOCKS (ITEM I) CELOTEX CORP.---TYPE THERMAX

2 HR. MASONRY WALL

SCALE: NOT TO SCALE



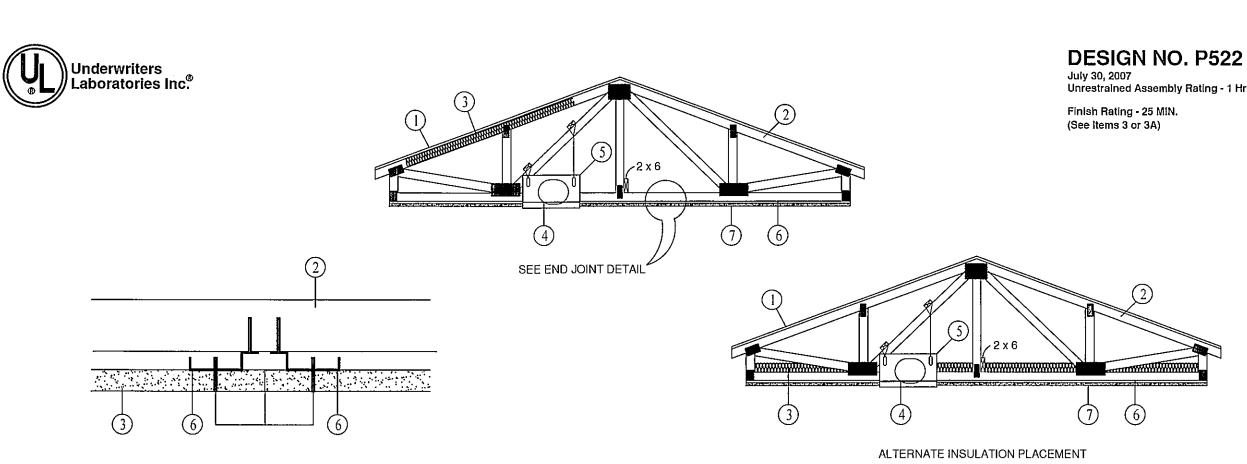
NONBEARING OR BEARING WALL RATING -- I HR. (SEE ITEMS 2 AND 2A) FINISH RATING -- ONE LAYER OF WALLBOARD -- MIN. 20 MIN TWO LAYERS OF WALLBOARD -- MIN. 59 MIN



- (I) WOOD STUDS --- NOM. 2x3 OR 2x4 IN., FLAT WISE, SPACED 24 IN. O.C. MAX, EFFECTIVELY FIRESTOPPED.
- 2 WALLBOARD, GYPSUM* --- FOR NONBEARING WALL RATING --- ONE LAYER OF 5/8 IN. THICK, 4 FT. WIDE WALLBOARD EACH SIDE OF STUDS. WALLBOARD OR LATH APPLIED HORIZONTALLY OR VERTICALLY WITH VERTICAL JOINTS CENTERD ON STUDS, AND NAILED TO STUDS AND BEARING PLATES 7 IN. O.C. WITH 6d CEMENT COATED NAILS, I 7/8 IN. LONG, O.0915 IN. SHANK DIA. AND I/4 IN. DIA. HEAD. AS AN ALTERNATE NO. 6 BUGLE HEAD DRYWALL SCREWS, I 7/8 IN. LONG, MAY BE SUBSTITUTED FOR THE 6d CEMENT COATED
- SEE WALLBOARD, GYPSUM* (CKNX) CATEGORY FOR NAMES OF CLASSIFIED COMPANIES. A. WALLBOARD, GYPSUM* --- SAME AS ITEM 2. FOR BEARING WALL RATING --- ADDITIONAL LAYER OF 5/8 IN. THICK, 4 FT. WIDE WALLBOARD EACH SIDE OF STUDS. ATTACHED TO STUDS OVER INNER LAYER 8 IN. O.C. MAX, WITH 8d CEMENT COATED NAILS, 2-3/8 IN. LONG, O.113 IN. SHANK DIA. AND 9/32 IN. DIA.
- (3) JOINTS AND NAIL HEADS --- WALLBOARD JOINTS OF OUTER LAYER COVERED WITH TAPE AND JOINT COMPOUND. NAIL HEADS OF OUTER LAYER COVERED WITH JOINT COMPOUND. AS AN ALTERNATE, NOM 3/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD.
- 4 BATTS AND BLANKETS* --- (OPTIONAL) --- MAX I IN. THICKNESS GLASS OR MINERAL FIBER BATT
 - SEE BATTS AND BLANKETS* (BZJZ) CATEGORY FOR NAMES OF CLASSIFIED COMPANIES. * BEARING THE UL CLASSIFICATION MARKING

1 HR. RATED WALL (BEARING OR NONBEARING)

SCALE: NOT TO SCALE



1. Roofing System* --- Any UL Class A, B or C Roofing System (TGFU) or Prepared Roof Covering (TFWZ) acceptable for use over nom 15/32 in. thick wood structural panels, min. grade "C-D" or "Sheathing". Nom 15/32 in. thick wood structural panels secured to trusses with No. 6d ringed shank nails spaced 12 in. OC along each truss. Staples having equal or greater withdrawal and lateral resistance strength may be substituted for the 6d nails. Construction adhesive may be used with either the nails or staples.

2. Trusses — Pitched or parallel chord wood trusses, spaced a max of 24 in. OC, fabricated from nom 2 by 4 lumber, with lumber oriented vertically or horizontally. Truss members secured together with min. 0.0356 in, thick galv steel plates. Plates have 5/16 in. long teeth projecting perpendicular to the plane of the plate. The teeth are in pairs facing each other (made by the same punch), forming a split tooth type plate. Each tooth has a chisel point on its outside edge. These points are diagonally opposite each other for each pair. The top half of each tooth has a twist for stiffness. The pairs are repeated on approximately 7/8 in. centers with four rows of teeth per inch of plate width. Where the truss intersects with the interior face of the exterior walls, the min truss depth shall be 5-1/4 in. with a min roof slope of 3/12 and a min. area in the plane of the truss of 21 sq/ft. Where the truss intersects with the interior face of the exterior walls, the min truss depth may be reduced to 3 in, if the batts and blankets (Item 3) are used as shown in the above illustration (Alternate Insulation Placement) and are firmly packed against the intersection of the bottom chords and the

3. Batts and Blankets* — (Optional) - Required when Item 6B is used — Glass fiber insulation, secured to the wood structural panels with staples spaced 12 in. OC or to the trusses with 0.090 in. diam galv steel wires spaced 12 in. OC. Any glass fiber insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance, having a min density of 0.5 pcf. As an option, the insulation may be fitted in the concealed space, draped over the resilient channel/gypsum board ceiling membrane when resilient channels and gypsum board attachment is modified as specified in Items 6 and 7. When Steel Framing Members (Item 6B) are used, max 3-1/2 in. thick insulation shall be draped over the furring channels (Item 6Ba) and gypsum board ceiling membrane, and friction-fitted between trusses and Steel Framing Members (Item 6Bd). The finished rating has only been determined when the insulation is secured to the decking.

3A. Fiber,Sprayed* — As an alternate to Item 3 (not evaluated for use with Item 6B) — Any thickness of spray-applied cellulose insulation material, having a min density of 0.5 pcf, applied within the concealed space, over the resilient channel/gypsum board ceiling membrane when resilient channels and gypsum board attachment is modified as specified in Items 6 and 7. The finished rating when Fiber, Sprayed is used has not been determined. The fiber is applied with water within the concealed space, over the resilient channel/gypsum board ceiling membrane, in accordance with the application instructions supplied with the product. Alternate application method: The fiber is applied with U.S. Greenfiber LLC Type AD100 hot melt adhesive at a nominal ratio of one part adhesive to 6.6 parts fiber in accordance with the application instructions supplied with the product. Alternate application method: The fiber is applied without water or adhesive in accordance with the application instructions supplied with the product.

US GREENFIBER LLC — Cocoon2 Stabilized or Cocoon-FRM (Fire Rated Material).

4. Air Duct* — Any UL Class 0 or Class 1 flexible air duct installed in accordance with the instructions provided by the damper

5. Celling Damper* — Max nom area, 324 sq in. Max square size, 18 in. by 18 in. rectangular sizes not to exceed 324 sq in. with a max width of 18 in. Max damper height is 14 in, Installed in accordance with manufacturers installation instructions provided with the damper. Max damper openings not to exceed 162 sq in. per 100 sq ft of ceiling area

C&S AIR PRODUCTS - Model RD-521 POTTORFF - Model CFD-521

5A. Alternate Ceiling Damper* -- Max nom area, 196 sq in. Max square size, 14 in. by 14 in. Rectangular sizes not to exceed 196 sq in. with a max width of 24 in. Max overall damper height is 7 in. Installed in accordance with the manufacturers installation instructions provided with the damper. Max damper openings not to exceed 98 sq in. per 100 sq ft of ceiling area.

C&S AIR PRODUCTS - Model RD-521-BT

POTTORFF - Model CFD-521-BT.

6. Furring Channels -- Resilient channels, nom. 1/2 in. deep by 2-3/8 in. wide at the base and 1-3/8 in. wide at the face, formed from 0.020 in. thick galv steel. Installed perpendicular to the trusses (Item 2), spaced a max of 16 in. OC when no insulation (Item 3 or 3A) is fitted in the concealed spaced, or a max of 12 in. OC when insulation (Item 3 or 3A) is fitted in the concealed space, draped over the resilient channel/gypsum board ceiling membrane. Two courses of resilient channel positioned 6 in. OC at wallboard butt-joints (3 in. from each end of wallboard). Channels oriented opposite at wallboard butt-joints. Channel splices overlapped 4 in. beneath wood trusses. Channels secured to each truss with 1-1/4 in. long Type S screws.

6A. Steel Framing Members — (Not Shown)* — As an alternate to Item 6, furring channels and Steel Framing Members as described

a. Furring Channels — Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to trusses when no insulation (Items 3 or 3A) is fitted in the concealed space or 12 in. OC when insulation (Items 3 or 3A) is fitted in the concealed space, draped over the furring channel/gypsum board ceiling membrane or 24 in. OC when insulation (Items 3 or 3A) is fitted in the concealed space, draped over the furring channel/gypsum board ceiling membrane and a second layer of gypsum board is attached as described in Item 7 for steel framing members. Channels secured to joists as described in Item b. Ends of adjoining channels overlapped 6 in, and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap.

b. Steel Framing Members — Used to attach furring channels (Item a) to trusses (Item 2). Clips spaced 48 in. OC and secured to alternating trusses with No. 8 x 2-1/2 in. coarse drywall screw through the center grommet. Furring channels are friction fitted into clips. Adjoining channels are overlapped as described in Item a. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping #6 framing screws, min. 7/16 in, long at the midpoint of the overlap, with one screw on each flange of the channel. Additional clips required to hold furring channel that supports the gypsum board butt joints, as described

PAC INTERNATIONAL INC - Type RSIC-1.

6B. Steel Framing Members* — (Not Shown) - As an alternate to Items 6 and 6A.

a. Furring Channels - Hat-shaped furring channels, 7/8 in. deep by 2-5/8 in. wide at the base and 1-1/4 in. wide at the face, formed from No. 25 ga. galv steel, spaced max. 16 in. OC perpendicular to trusses and Cold Rolled Channels (Item 6Bb). Furring channels secured to Cold Rolled Channels at every intersection with a 1/2 in. pan head self-drilling screw through each furring channel leg. Ends of adjoining channels overlapped 4 in. and tied together with two double strand No. 18 SWG galv steel wire ties, one at each end of overlap. Supplemental furring channels at base layer and outer layer gypsum board butt joints are not required. Batts and Blankets draped over furring channels as described in Item 3. Two layers of gypsum board attached to furring channels as described

b. Cold Rolled Channels — 1-1/2 in. by 1/2 in., formed from No. 16 ga. galv steel, positioned vertically and parallel to trusses, friction-fitted into the channel caddy on the Steel Framing Members (Item 6Bd). Adjoining lengths of cold rolled channels lapped min. 6 in. and wire-tied together with two double strand 18 SWG galv steel wire ties, one at each end of overlap.

c. Blocking — Where truss design does not permit direct, full contact of the hanger bracket, a piece of nominal 2 by 4 in. lumber (blocking), min. 6 in. long to permit full contact of the hanger bracket, to be secured vertically to the side of the truss (Item 2) at the top and bottom of the blocking at each Steel Framing Member (Item 6Bd) location.

d. Steel Framing Members* — Hangers spaced 48 in. OC. max along truss, and secured to the Blocking (Item 6Bc) on alternating trusses with a single 5/16 in. by 2 in. hex head lag bolt or four #6 1-1/4 in. drywall screws through mounting hole(s) on the hanger bracket. The two 1/4 in. long steel teeth on the hanger are embedded in the side of the blocking. Hanger positioned on blocking and leveling bolt height adjusted such that furring channels are flush with bottom of trusses before gypsum board installation. Spring gauge of hanger chosen per manufacturer\'s instructions

KINETICS NOISE CONTROL INC -- Type ICW.

7. Gypsum Board* — One layer of nom 5/8 in. thick by 48 in. wide boards, installed with long dimension parallel to trusses. Attached to the resilient channels using 1 in. long Type S bugle-head screws. Screws spaced a max of 12 in. OC along butted end-joints and in the field when no insulation (Item 3 or 3A) is fitted in the concealed spaced, or a max of 8 in. OC along butted end-joints and in the field when insulation (Item 3 or 3A) is fitted in the concealed space, draped over the resilient channel/gypsum board ceiling

When Steel Framing Members* (Item 6A) are used, sheets installed with long dimension perpendicular to furring channels and side joints of sheet located beneath trusses. Gypsum board screws are driven through channel spaced 12 in, OC in the field when no insulation (Item 3 or 3A) is fitted in the concealed space, or 8 in. OC in the field when insulation (Item 3 or 3A) is fitted in the concealed space, draped over the furring channel/gypsum board ceiling membrane. Gypsum board butt joints shall be staggered min. 2 ft. within the assembly, and occur between the main furring channels. At the gypsum board butt joints, each end of the gypsum board shall be supported by a single length of furring channel equal to the width of the wallboard plus 6 in. on each end. The furring channels shall be spaced approximately 3-1/2 in. OC, and be attached to the trusses with one RSIC-1 clip at each end of the channel. Screw spacing along the butt joint to attach the gypsum board to the furring channels shall be 8 in. OC. Second (outer) layer of gypsum board required when furring channels (Item 6A, a) are spaced 24 in. OC and insulation is fitted in the concealed space, draped over the furring channel/gypsum board ceiling membrane. Outer layer of gypsum board attached to the furring channels using 1-5/8 in. long Type S bugle-head screws spaced 8 in. OC at butted joints and 12 in. OC in the field, Butted end joints of outer layer to be offset a minimum of 8 in. from base layer end joints. Butted side joints of outer layer to be offset minimum 18 in. from

When Steel Framing Members (Item 6B) are used, two layers of nom 5/8 in. thick, 4 ft wide gypsum board are installed with long dimensions perpendicular to furring channels (Item 6Ba). Base layer attached to the furring channels using 1 in. long Type S bugle head steel screws spaced 8 in. OC along butted end joints and 12 in. OC in the field of the board. Butted end joints centered on the continuous furring channels. Butted base layer end joints to be offset a min of 16 in. in adjacent courses. Outer layer attached to the furring channels using 1-5/8 in. long Type S bugle head steel screws spaced 8 in. OC at butted end joints and 12 in. OC in the field. Butted end joints centered on the continuous furring channels and offset a min of 16 in. from butted end joints of base layer. Butted side joints of outer layer to be offset min 16 in. from butted side joints of base layer.

CANADIAN GYPSUM COMPANY --- Types C, IP-X2, IPC-AR

UNITED STATES GYPSUM CO — Types C, IP-X2, IPC-AR.

USG MEXICO S A DE C V — Types C, IP-X2, IPC-AR.

8. Finishing System — (Not Shown) — Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads; paper tape, 2 in. wide, embedded in first layer of compound over all joints. As an alternate, norn 3/32 in. thick veneer plaster may be applied to the entire surface of gypsum board. Alternate Ceiling Membrane — Not Shown.

runners hung a min of 2 in. from bottom chord of trusses with 12 SWG galv steet wire. Wires located a max of 48 in. OC. b. Cross tees or channels — Nom 4 ft long, 15/16 in. or 1-1/2 in. wide face or cross channels, nom 4 ft long, 1-1/2 wide face, installed perpendicular to the main runners, spaced 16 in. OC. Additional cross tees or channels used at 8 in. from each side of butted gypsum board end joints. The cross tees or channels may be riveted or screw-attached to the wall angle or channel to facilitate the ceiling

c. Wall angles or channels — Used to support steel framing member ends and for screw-attachment of the gypsum wallboard — Min 0.016 in. thick painted or galvanized steel angle with 1 in. legs or min. 0.016 in. thick painted or galvanized steel channel with a 1 by 1-1/2 by 1 in. profile, attached to walls at perimeter of ceiling with fasteners 16 in. OC,

CGC INC - Type DGL or RX.

USG INTERIORS INC - Type DGL or RX.

10. Gypsum Board* - For use with Steel Framing Members (Item 9) when Batts and Blankets* (Item 6) are not used - One layer of nom 5/8 in, thick by 48 in, wide boards, installed with long dimension parallel to the main runners. Gypsum board fastened to each cross tee or channel with five wallboard screws, with one screw located at the midspan of the cross tee or channel, one screw located 12 in, from and on each side of the cross tee or channel mid span and one screw located 1-1/2 in, from each gypsum board side joint. Except at wallboard end joints, wallboard screws shall be located on alternating sides of cross tee flange. At gypsum board end joints, gypsum board screws shall be located 1/2 in. from the joint. Gypsum board fastened to main runners with wallboard screws 1/2 in. from side joints, midway between intersections with cross tees or channels (16 in. OC). End joints of adjacent gypsum board sheets shall be staggered not less than 32 in. Gyosum board sheets screw attached to leg of wall angle with wallboard screws spaced 12 in. OC. Joints treated as described in Item 7. For use with Steel Framing Members* (Item 9) when Batts and Blankets* (Item 6) are used - Ratings limited to 1 Hour - 5/8 in. thick, 4 ft wide; installed with long dimension perpendicular to cross tees with side joints centered along main runners and end joints centered along cross tees. Fastened to cross tees with 1 in. long steel gypsum board screws spaced 8 in. OC in the field and 8 in. OC along end joints. Fastened to main runners with 1 in. long gypsum board screws spaced midway between cross tees. Screws along sides and ends of boards spaced 3/8 to 1/2 in. from board edge. End joints of the sheets shall be staggered with spacing between joints on adjacent boards not less than 4 ft OC.

CANADIAN GYPSUM COMPANY — Type C or IP-X2.

UNITED STATES GYPSUM CO - Type C or IP-X2.

USG MEXICO S A DE C V — Type C or IP-X2.

<u>JOB SITE</u> PLANS This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Spreadta County Construction and

Property Standards Department

Du

et Village ominium Buildin

60 East Bay Street Sprey, Florida 342

DESIGN www.bsbdesign.com 11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335

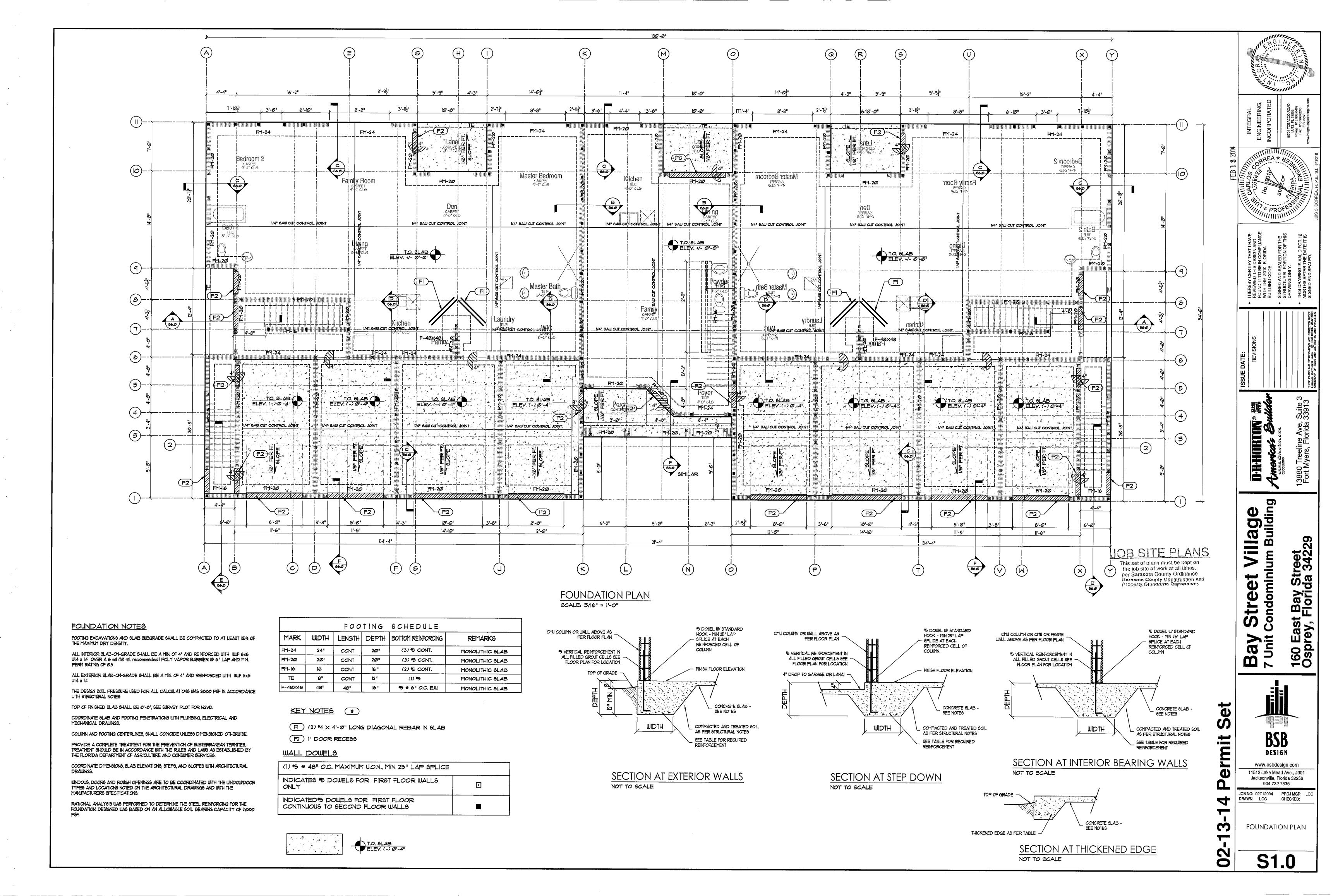
JOB NO: 02T12034 PROJ MGR: JD DRAWN: JD, AM CHECKED: WALL SECTIONS & ASSEMBLIES

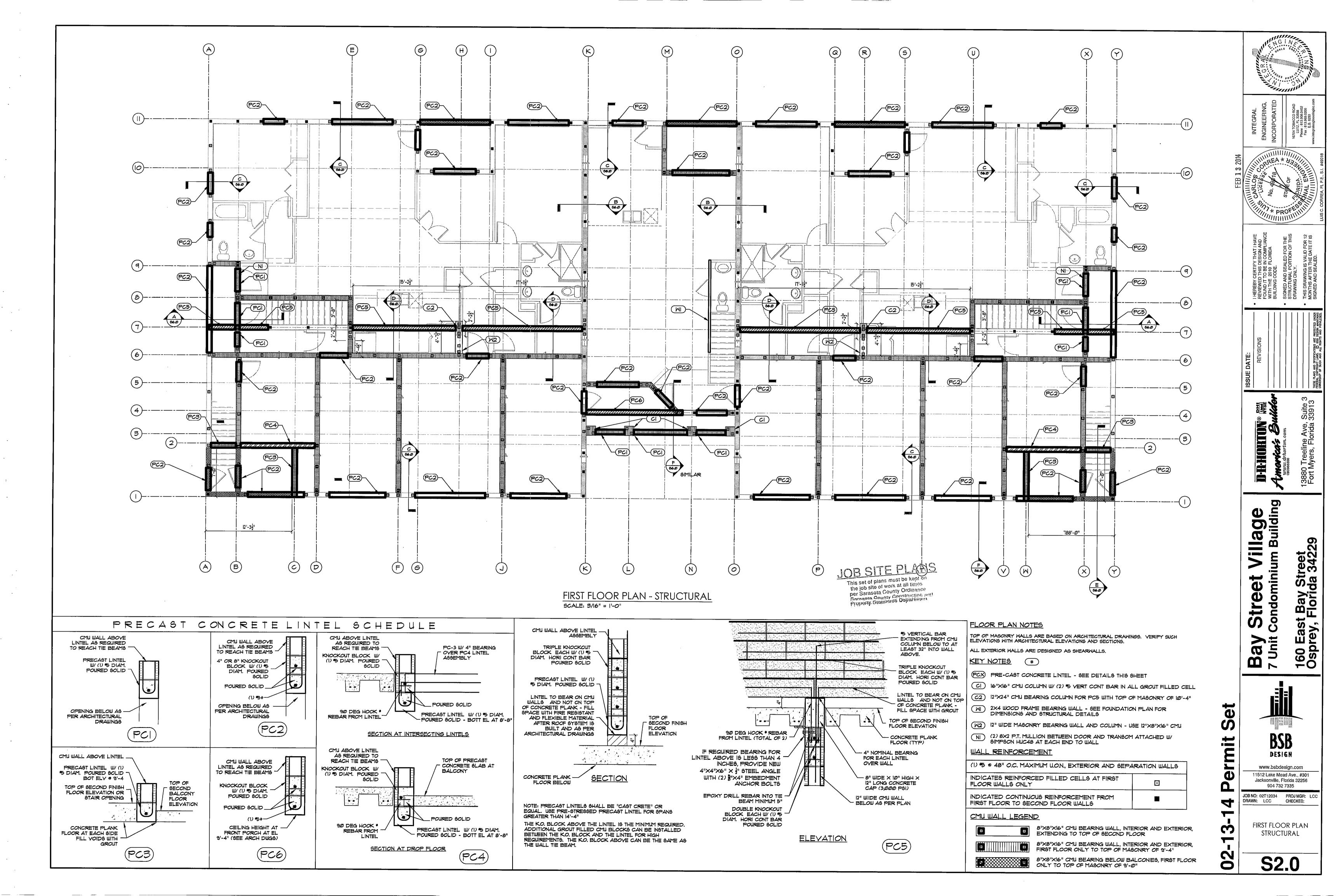
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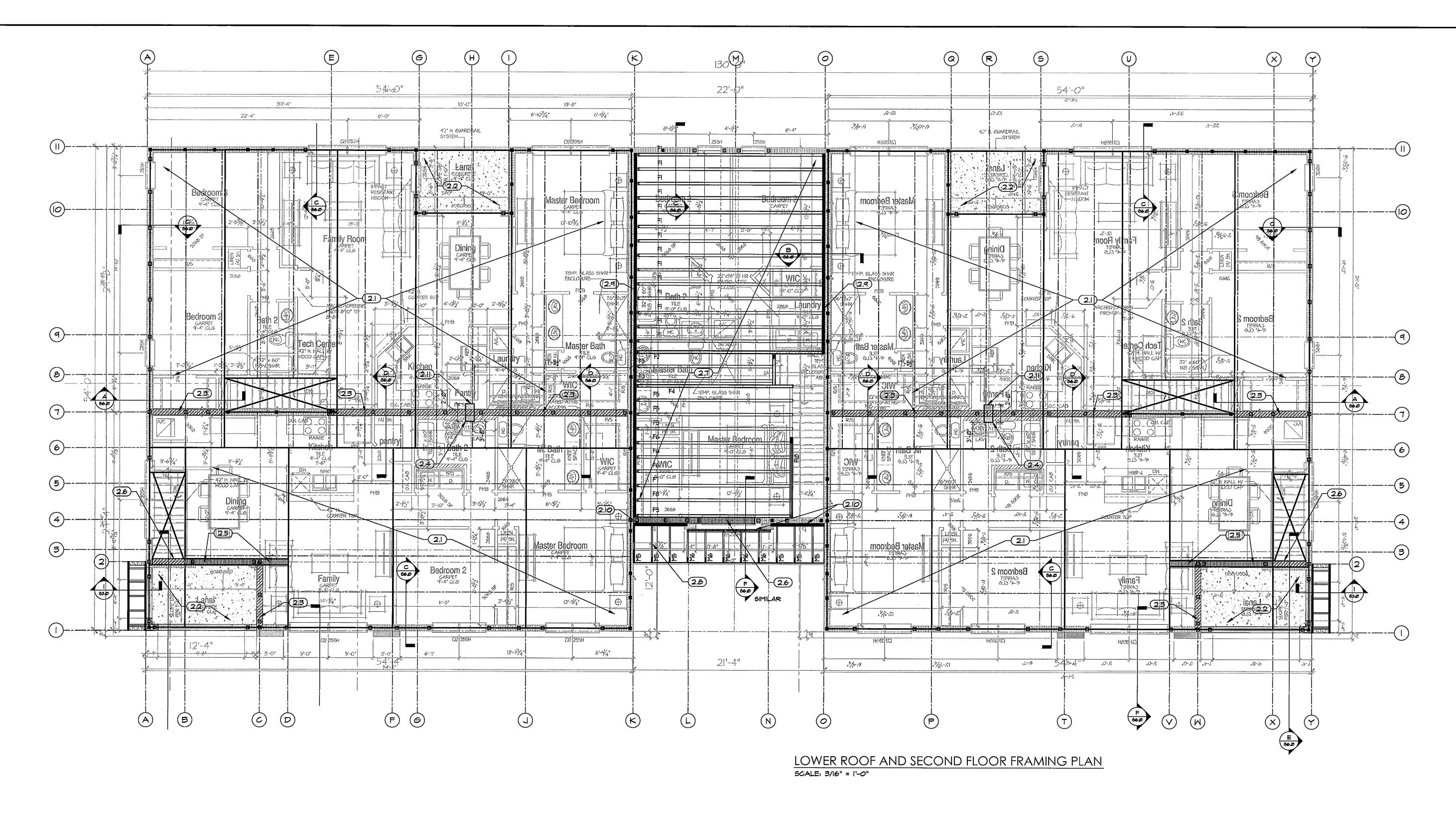
*Bearing the UL Classification Mark

1 HOUR RATED - UNRESTRAINED CEILING

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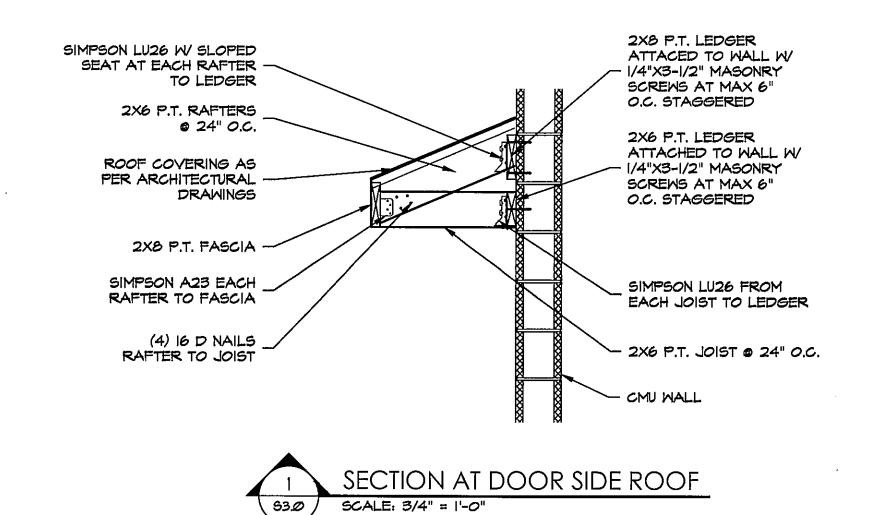






KEY NOTES

- 2.1 8" DEEP PRE-CAST PRE-ENGINEERED CONCRETE QUAD TEE FLOOR SYSTEM SEE SHOP DRAWINGS TOP AT 10'-0" AFF.
- 4" DEEP PRE-CAST PRE-ENGINEERED CONCRETE QUAD TEE FLOOR SYSTEM SEE DETAILS TOP AT 9'-8" AFF.
- CMU WALL ABOVE SUPPORTED BY LINTEL NOT BEARING ON QUAD TEE SLAB BOTTOM AT 9'-4" AFF., SEE SHEET S2.0
- 12"x24" PENETRATION IN CONCRETE QUAD TEE FLOOR SLAB FOR CMU WALL SUPPORTING UPSET LINTELS - TOP AT 10'-4".
- CMU WALL ABOVE SUPPORTED BY LINTEL WITH BOTTOM ELEV AT 8'-8". SEE SHEET S2.0.
- CMU WALL ABOVE SUPPORTED BY LINTEL WITH BOTTOM ELEV AT 9'-4". SEE SHEET 92.0.
- PRE-MANUFACTURED WOOD FLOOR TRUSSES. SEE SHOP DRAWINGS. PRE-MANUFACTURED ROOD ROOF TRUSSES. SEE SHOP DRAWINGS.
- (2) 2XI2 P.T. LEDGER ATTACHED TO CMU TIE BEAM AS PER WALL SECTIONS.
- (1) 2X8 P.T LEDGER ATTACHED TO CMU WALL W/ 1/4"X3" TAPCONS ® 6" O.C. STAGGERED.
- SEE PC-5 ON SHEET 52.0 FOR BEARING OF PRECAST SLAB OVER COLUMN



WALL REINFORCEMENT DOWELS

(1) #5 @ 48" O.C. MAXIMUM U.O.N., 25" MIN LAP SPLICE	
INDICATES #5 DOWELS FOR SECOND FLOOR WALLS ONLY	•
INDICATED CONTINUOUS #5 REINFORCEMENT FROM FIRST FLOOR TO SECOND FLOOR WALLS	

JOB SITE PLANS This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasota County Construction and Property Standards Department

Set rmit 0

Jacksonville, Florida 32256 904 732 7335 JOB NO: 02T12034 PROJ MGR: LCC DRAWN: LCC CHECKED:

www.bsbdesign.com

11512 Lake Mead Ave., #301

Village ium Building

Condominium

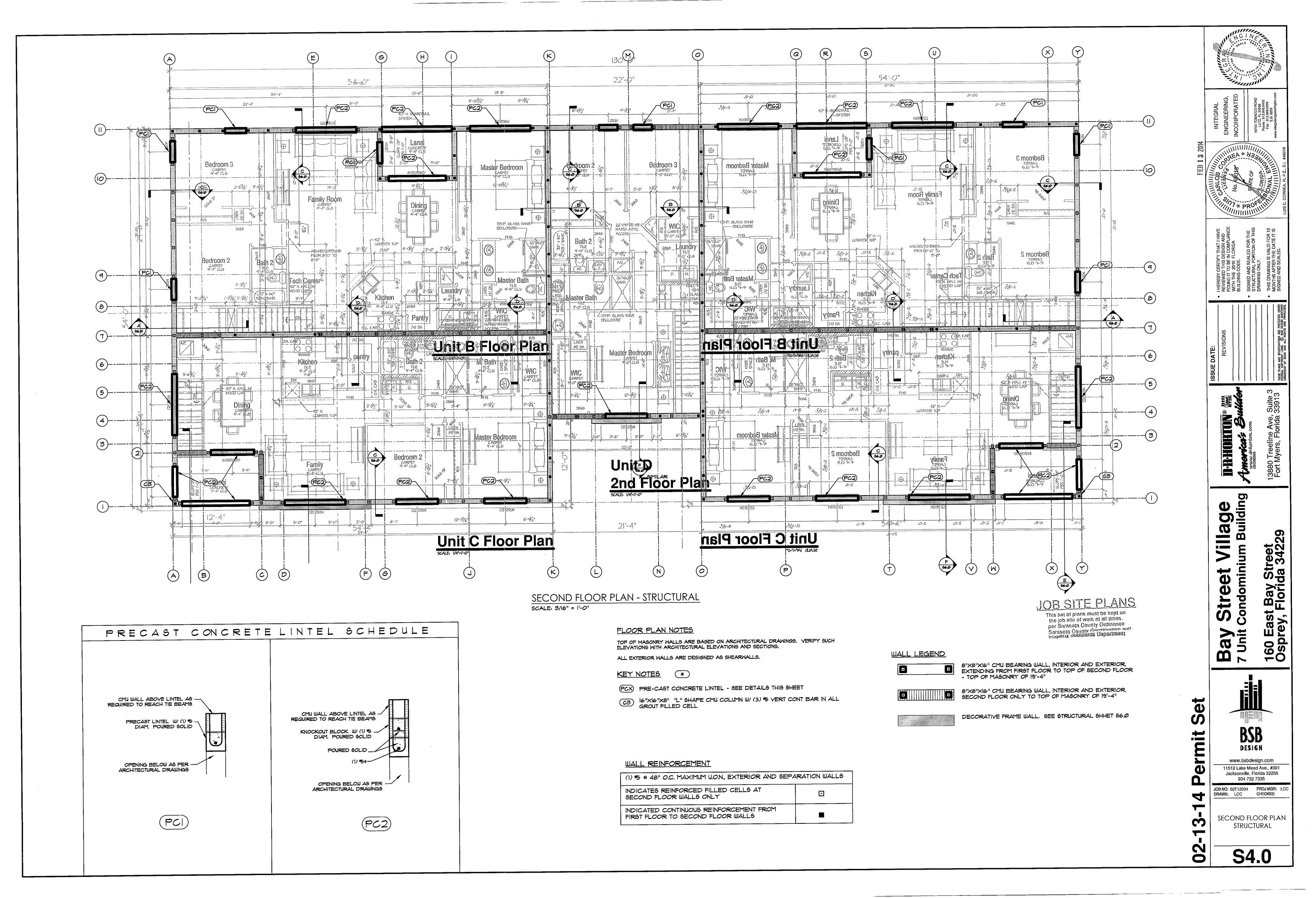
Street

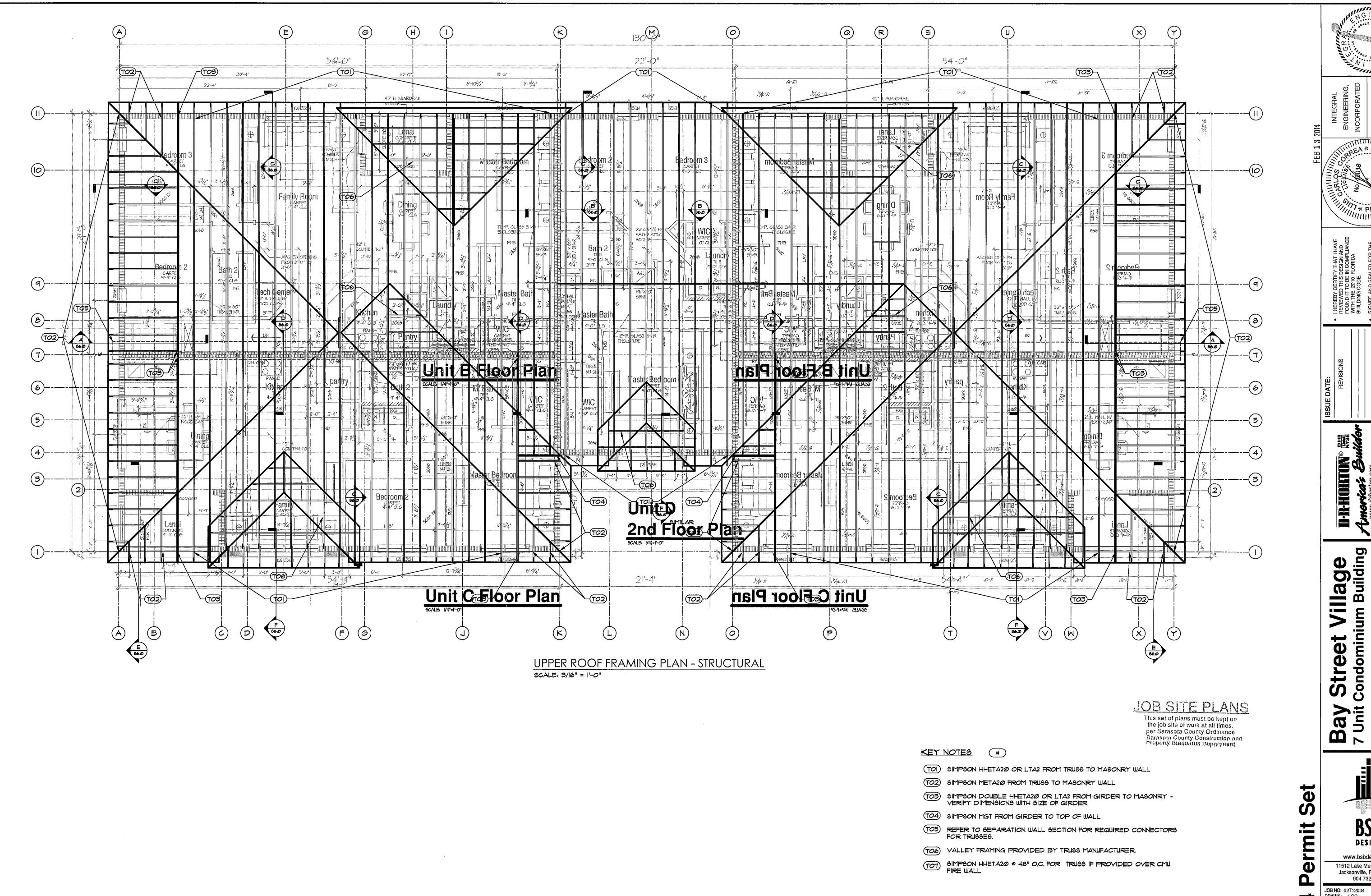
Bay 7 Unit

Street da 342

LOWER ROOF AND SECOND FLOOR FRAMING PLAN

S3.0





02

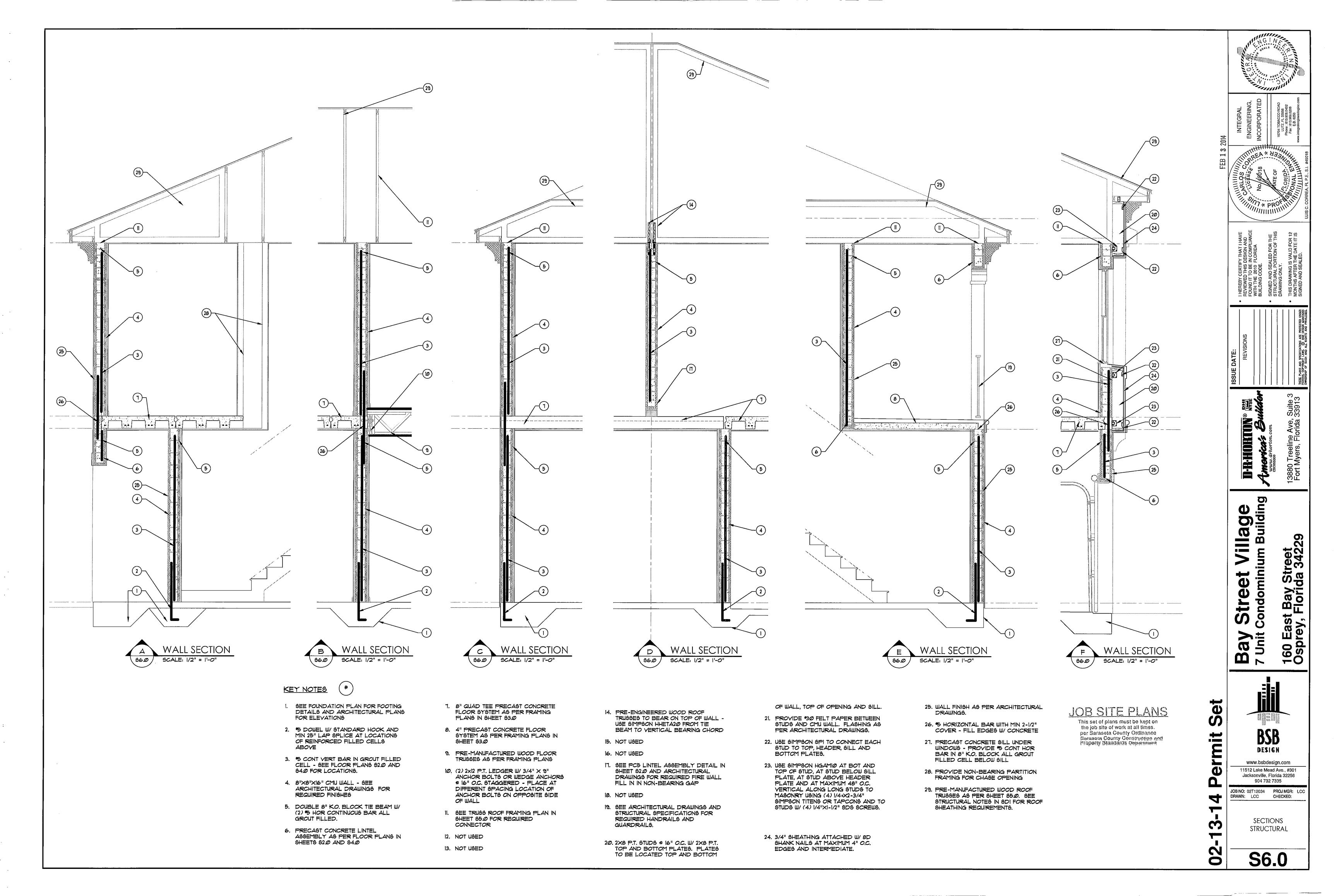
DESIGN www.bsbdesign.com 11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335

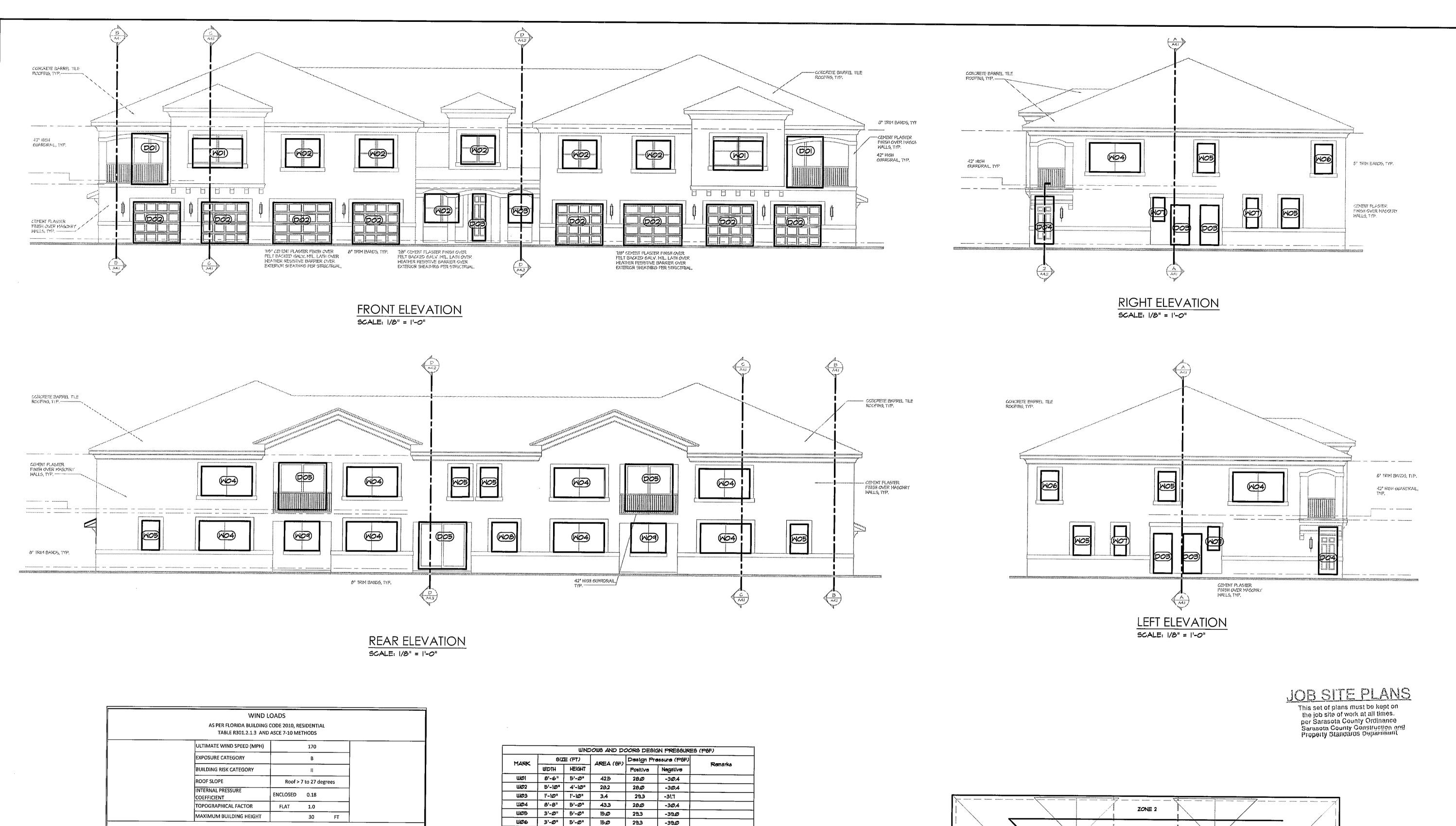
JOB NO: 02T12034 PROJ MGR: LCC DRAWN: LCC CHECKED:

160 East Bay Street Osprey, Florida 34229

UPPER ROOF FRAMING PLAN - STRUCTURAL

S5.0





 WOT
 2'-0"
 5'-0"
 100
 293
 -31.7

 WO8
 4'-4"
 5'-0"
 21.7
 280
 -30.4

 WO9
 6'-0"
 5'-0"
 300
 280
 -30.4

DØI 6'-0" 8'-0" 48Ø 28Ø -36A

DØ4 3'-Ø" 8'-Ø" 24Ø 28Ø -36A

DØ3 3'-Ø" 8'-Ø" 24Ø 28Ø

DØ5 8'-0" 8'-0" 64Ø 26.3

3 2 3 3 2 3

Roof

-54.3

-48.8

OPENING PROTECTION REQUIRED

Walls

Area of C&C (SF)

20

50 100 WIDTH OF EDGE

STRIPS (a)

COMPONENT & CLADDING DESIGN PRESSURE (PSF)

 ZONE 1
 ZONE 2
 ZONE 3
 ZONE 4
 ZONE 5

 Positive
 Negative
 Positive
 Negative
 Positive
 Negative
 Positive
 Negative

31.1 -47.7 30.1 -83.2 30.1 -122.9 52.2 -56.6 52.2

-46.5 27.4 -76.5 27.4 -114.9 49.9

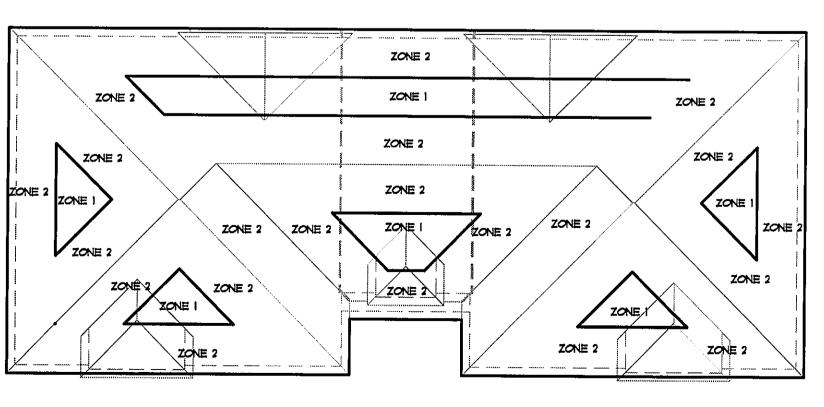
23.9 -44.7 23.9 -67.7 23.9 -104.4 46.7 -51.1

21.2 -43.3 21.2 -61.1 21.2 -96.4 44.4

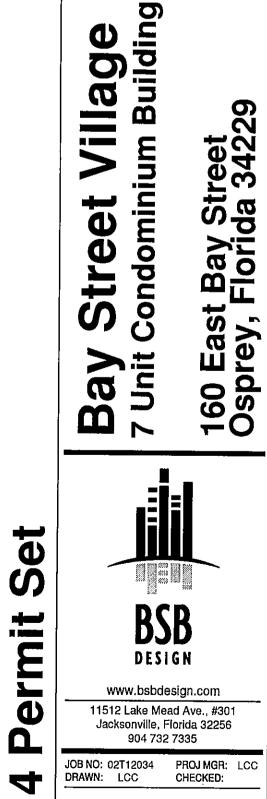
24.1 -28.1 GARAGE DOOR

-304

-28.7







I HEREBY CERTIFY THAT I HAVE REVIEWED THIS DESIGN AND FOUND IT TO BE IN COMPLIANC WITH THE 2010 FLORIDA BUILDING CODE.

> NO: 02T12034 PROJ MGR: LC: WN: LCC CHECKED: WIND DESIGN PRESSURES

S7.0

STRUCTURAL SPECIFICATIONS

I. GENERAL

I. BUBCONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION TO ENSURE THE SAFETY OF THE BUILDING UNTIL STRUCTURAL SYSTEM IS COMPLETED. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, GUYS TO TIE-DOWNS THAT MAY BE NECESSARY 2. SUBCONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF HIS WORK DURING CONSTRUCTION. 3. APPLICABLE BUILDING CODES: - 2010 FLORIDA BUILDING CODE

4. DESIGN LOADS: A ROOF: LIVE LOAD_ 20 PSF(MINIMUM). DEAD LOAD_ 1 PSF (SHINGLES) + 10 PSF CEILING.

B. FLOOR: LIVE LOAD_ 60 PSF BALCONIES, 40 FOR ALL OTHER ROOMS DEAD LOAD_100 PSF (QUAD TEE PLANKS) C. 80IL PRE88URE: 2000 PSF .

6. ALL CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND FABRICATORS SHALL BE RESPONSIBLE FOR THE CONTENT OF DRAWINGS, AND FOR THE SUPPLY AND DESIGN OF APPROPRIATE MATERIALS AND WORK

1. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED, USED, CLEANED, AND CONDITIONED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

II. SITE WORK

1. FOUNDATION DESIGN IS BASED ON A MINIMUM SOIL PRESSURE OF 2000 PSF. IF A SOILS REPORT WAS NOT PREPARED, THE CONTRACTOR IS RESPONSIBLE TO RETAIN A GEOTECHNICAL ENGINNEER TO CONFIRM THE SOIL CONDITIONS. SHOULD FIELD CONDITIONS INDICATE THIS MINIMUM CONDITION DOES NOT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF RECORD

2. THE SUBGRADE UNDER THE NEW CONCRETE FOUNDATIONS SHALL BE COMPACTED TO 95% OPTIMUM DENSITY. SOIL COMPACTION TESTS TO BE TAKEN BY A QUALIFIED SOILS LAB PRIOR TO POURING ANY CONCRETE.

3. FOOTINGS SHALL BE NEAT EXCAVATED WHERE POSSIBLE WITH SIDES AND TOP EDGES FREE OF LOOSE OR WET MATERIALS. WHERE NEAT EXCAVATION IS NOT POSSIBLE, FOOTINGS EXCAVATION SHALL BE OPEN OUT WITH EDGES FORMED AND BRACED. ALL FOOTINGS WITH FORMED EDGES SHALL BE BACKFILLED FROM BOTTOM TO TOP OF FOOTING WITH SELECT FILL. THE BOTTOM EXCAVATION SHALL BE CLEAN AND DRY WITH ALL LOOSE MATERIAL REMOVED FOR AN ESSENTIALLY FLAT BEARING SURFACE.

4. PROVIDE SOIL TREATMENT FOR TERMITES PER THE 2010 FBC, RESIDENTIAL.

III. CAST IN PLACE CONCRETE

1. CONCRETE TO BE NORMAL WEIGHT WITH THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS AT 28 DAYS:
a.) FOOTINGS, SLAB-ON-GRADE, SLAB FILL... 2500 PSI

b) MASONRY WALL TIE BEAMS, TIE COLUMNS_2500 PSI 2. CONCRETE SHALL BE READYMIX PER ASTM C94:

a.) PORTLAND CEMENT - ASTM CISØ b.) AGGREGATES - ASTM C33 (3/4" MAX.)

C) NO CALCIUM CHLORIDE d) AIR ENTRAINING - ASTM C260 a.) WATER REDUCING - ASTM C494

F) FLYASH - ASTM C618-78 CLASS F (20 % MAX) g.) WATER - CLEAN AND POTABLE

3. REINFORCING STEEL: ASTM AGIS GRADE 40, DEFORMED BARS.

4. REQUIRED SLUMP RANGE = 3" TO 5". 5. WELDED WIRE FABRIC: ASTM A185

6. MOISTURE BARRIER: 6 MIL POLYETHYLENE.

1. CODES AND STANDARDS: a.) ACI 301 "SPEC FOR STRUCTURAL CONCRETE FOR BUILDINGS." b.) ACI 305 "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING." c.) ACI 318 "BLDG, CODE REQUIREMENTS FOR REINF, CONCRETE

d) ACT 315 "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT." 8. MINIMUM LAP SPLICE . 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

9. CONCRETE FINISHES SHALL BE PER CONTRACTOR'S SPEC'S. 10. BUBCONTRACTOR 18 RESPONSIBLE FOR THE PROPER DESIGN AND CONSTRUCTION

OF ALL FORMWORK, SHORING, AND RESHORING. II. REINFORCING BAR COVER:

a) FOOTINGS 31 b.) COLUMNS 1 1/2" C.) BEAMS AND WALLS 1 1/2"

d.) 8LABS 3/4" (INTERIOR), 1 1/2" (EXTERIOR)

12. CONCRETE SHALL BE PLACED WITHIN 90 MINUTES OF BATCH TIME.

13. PROVIDE CORNER BARS AT ALL WALL FOOTING CORNERS TO MATCH HORIZONTAL BARS. (25" MINIMUM LAP).

14. ALL BUILDING SLABS-ON-GRADE SHALL BE NOMINAL 4" THICK, FIBER-MESH CONC. OR REINFORCED WITH 6X6-WIA WWF. ON 6 MIL VAPOR BARRIER SEE PLANS FOR OTHER CONDITIONS.

15. ANCHOR BOLTS FOR WOOD PLATES TO CONCRETE OR MASONRY (ALTERNATIVES):

a. J BOLTS - USE 1/2" X 8" "J" BOLTS WITH 6" EMBEDMENT AND 2" PROJECTION WHEN INSTALLED TO PLACING CONCRETE, AS SHOWN ON DRAWINGS.

b. EXPANSION ANCHORS - USE 1/2" \times 4" EMBED, HILTI KWIK BOLT II, OR EQUAL, AT LOCATIONS (OTHER THAN EDGE CONDITIONS) IN LIEU OF 1/2" \times 8" "J" BOLTS.

C. EPOXY ANCHORS IN CONCRETE - USE 1/2" X 4-1/4" IMBED, WITH HILTI C1000), OR ANCHOR

BOND BY CELTITE, INC., AT EDGE OF SLAB CONDITION WHERE BOLT IS LESS THAN 6" TO

d. EPOXY ANCHORS IN TOP OF BLOCK WALLS - USE THREADED ROD (3/4" X A6-5/8" IMBED) ON TOP OF 8" MASONRY WALLS WITH HILTI HIT C-100 ADHESIVE OR ANCHOR BOND, WHEN 1/2" X 8"

16. FOOTING SIZES SHOWN ARE TYPICAL ONLY FOR STATED SOIL BEARING PRESSURE AND CONSISTED COMPACTION. CONTRACTOR SHALL BE RESPONSIBLE FOR FOOTINGS COMPLYING WITH THE DESIGN REQUIREMENTS OF SPECIFIC SOIL CONDITIONS.

17. PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS AND ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED AREAS.

L HOLLOW LOAD BEARING UNITE (CMU) SHALL CONFORM TO ASTM CSQ, NORMAL WEIGHT, TYPE I, GRADE N. MINIMUM NET COMPRESSIVE STRENGTH = 1900 PSI. 2. MORTAR SHALL BE TYPE M OR S AND CONFORM TO ASTM C270.

3. CONCRETE GROUT SHALL CONFORM TO ASTM C416:

a) 3000 P81 AT 28 DAY6 b.) 3/8" MAXIMUM AGGREGATE c) 8" - 11" 8LUMP.

4. BARS SHALL HAVE MINIMUM CLEARANCE OF 1/2" FROM MASONRY. THE CLEAR DISTANCE BETWEEN BARS SHALL NOT BE LESS THAN ONE BAR DIAMETER, NOR LESS THAN I".

5. VERTICAL REINFORCING SHALL BE AT ALL CORNERS, EACH JAMB OF OPENINGS OVER 4 FT. WIDE, UNDER ALL GIRDER LOADS, AND NOT TO EXCEED 8'0" O/C FOR STRAIGHT WALLS, OR AS SHOWN ON THE DRAWINGS. FILL CELLS WITH CONCRETE GROUT AS SPECIFIED. PROVIDE ACI 30 DEGREE STANDARD HOOKS INTO FOOTING, AND TIE BEAMS.

6. REINFORCING BARS SHALL BE STRAIGHT EXCEPT FOR BENDS AROUND CORNERS AND WHERE BENDS OR HOOKS ARE DETAILED ON THE PLANS,

1. REINFORCING BARS SHALL BE LAPPED 40 BAR DIAMETERS WHERE SPLICED AND SHALL

8. WHEN A FOUNDATION DOUBL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL. DOUBLE SHALL BE GROUTED INTO A CORE IN VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL

9. CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY IN EACH GROUT POUR WHEN THE POUR HEIGHT EXCEEDS 5'. PROVIDE 4" X 4" OBSERVATION HOLE TO VERIFY CONCRETE GROUT PLACEMENT.

10. PLACE ALL MASONRY IN RUNNING BOND WITH 3/8" MORTAR JOINTS. PROVIDE COMPLETE COVERAGE FACE 8HELL MORTAR BEDDING, HORIZONTAL AND VERTICAL. FULLY MORTAR WEBS IN ALL COURSES OF PIERS, COLUMNS, AND PILASTERS AND AND ADJACENT TO GROUTED CELLS.

II. PROVIDE 8" X 8" PRECAST REINFORCED CONCRETE LINTELS OVER ALL MASONRY OPENINGS NOT SHOUN TO HAVE A STRUCTURAL BEAM. MINIMUM END BEARING ... 4" REFER TO LINTEL SCHEDULE (MINIMUM CAPACITY OF 1000 PLF).

12. PROVIDE METAL CAVITY CAPS, 6" WIRE MESH, OR DUR-0-STOP BY DUR-A-WALL, INC., WHERE REQUIRED TO RETAIN GROUT IN VERTICAL CELLS.

1. DIMENSIONED LUMBER SHALL BE DRESSED \$45, AND SHALL BEAR THE GRADE STAMP

2. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP. 3. ALL STRUCTURAL BEAMS AND HEADERS SHALL BE SOUTHERN YELLOW PINE (SYP.) NO. I GRADE OR BETTER, WITH SINGLE MEMBER (UNFACTORED) STRESSES AS FOLLOWS:

Fc = 915 PSI E • 1600000 P81

19% MAXIMUM MOISTURE CONTENT

A FRAMING LUMBER SHALL BE 12 SPRUCE-PINE-FIR OR BETTER. B. INTERIOR NON-LOAD BEARING WALLS MAY BE UTILITY GRADE.

4. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. 5. PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.S. TT-W-5TI AND BEAR THE AMERICAN WOOD PRESERVERS INSTITUTE EQUALITY MARK LP- 2.

6. SHEATHING FOR ROOFS AND WALLS SHALL BE APA RATED (EXPOSURE 1) SHEATHING WITH EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCLIPS. MAXIMUM 24" O/C). SEE DETAILS FOR SHEATHING THICKNESSES.

7. NAILING FOR 08B ROOFS AND WALL SHEATHING SHALL BE SIDE RING SHANK
4" O.C. • PANEL EDGES, AND 6" O.C. INTERMEDIATE, FOR 1/2" SHEATHING OR LESS. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL SHEATHING SPECIFICATIONS AS PER U.L. REQUIREMENTS IN FIRE WALLS.

8. ALL FLOORING MATERIAL TO BE 3/4" T4G 08B, NAILED AND GLUED TO FLOOR JOISTS. FLOOR NAIL WITH 10'D NAILS AT 3" O/C AT PANEL EDGES, 6" O/C IN THE FIELD. STAGGER NAILS AT 2" O/C AT BUTT ENDS OF OSB SHEATHING.

9. INSTALL BRIDGING IN ALL (2X) FLOOR OR ROOF JOISTS AT 8'-0" MAXIMUM STALL BLOCKING IN ALL BEARING WALLS AND PARTITIONS OVER 9'-0" MID-HEIGHT. BRACE GABLE END WALLS AT 4'0" O/C WHERE WALL FRAMING IS

10. ALL NAILING AND BOLTING CHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS. ALL NAILS EXPOSED TO THE EXTERIOR SHALL BE GALYANIZED. II. ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONGTIE CO., OR EQUIVALENT. SUBMIT CUT SHEETS FOR ALL CONNECTION HARDWARE TO CONTRACTOR FOR APPROVAL. ALL NAIL HOLES SHALL BE FILLED

OR AS PRESCRIBED BY THE MANUFACTURER 12. PROVIDE A SINGLE PLATE AT THE BOTTOM AND DOUBLE PLATE AT THE TOP OF ALL LOAD BEARING STUD WALLS. STAGGER END JOINTS IN DOUBLE PLATES AT LEAST 4'-0" PER DETAIL. 2 X 4 SILL PLATES FOR BEARING WALLS SHALL BE BOLTED TO

13. LOAD BEARING STUDS SHALL BE DOUBLED AT ALL ANGLES AND AROUND ALL OPENINGS AND AT STRUCTURALLY APPROVED ARCHITECTURAL WALL PANEL JOINTS. STUDS SHALL

14. WOOD LINTELS OVER OPENINGS SHALL BE DOUBLED 2x12 HEADERS UNLESS NOTED OTHERWISE ON PLANS, WITH CONTINUOUS 1/2" PLYWOOD FILLER OUT TO FULL DEPTH OF BEAM BETWEEN 2x MEMBERS.

15. RAFTER SCHEDULE FOR CONVENTIONAL FRAMED AREAS.

NDATION AS PER BEARING WALL DETAIL.

Maximum Maximum 8Pan (8YP 2) 8Pan (8PF2)

ANGER WHERE APPLICABLE.

NOTE I: RAFTERS MUST BE BRACED LATERALLY BY A CONTINUOUS NAILING OF SHEATHING OR BRACED AT 24" O/C, WITH MINIMUM IX4. NOTE 2: RAFTER SPACING NOT TO EXCEED 24" O/C.

NOTE 3: RIDGE BOARDS TO BE ONE SIZE LARGER THAN RAFTER UNLESS HERWISE NOTED ON PLANS. NOTE 4. CONNECTOR SCHEDULE

A. SIMPSON MT820 (OR EQUAL) BETWEEN CAT BLOCKING AND ROOF TRUBSES. B. SIMPSON HB (OR EQUAL) BETWEEN RAFTER TAILS TO CAT BLOCKING. C. SIMPSON HB (OR EQUAL) BETWEEN THE RAFTERS AND RIDGE BOARD. D. SIMPSON CS20 AT ENDS OF RIDGE BOARD, OR SIMPSON JOIST

VI. PRE-ENGINEERED WOOD TRUSSES

1. THIS SECTION DEFINES PRE-ENGINEERED, PREFABRICATED, METAL PLATE CONNECTED WOOD ROOF AND FLOOR TRUSSES AS "WOOD TRUSSES".

2. TRUSS LAYOUTS SHOUN ON PLANS ARE SCHEMATIC ONLY. TRUSS MANUFACTURER AND/OR ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND SPACING OF ALL TRUSSES AND SHALL SUBMIT SHOP DRAWINGS TO THE BUILDER FOR APPROVAL.

3. THE WOOD TRUGG MANUFACTURER MUST PARTICIPATE IN A CODE APPROVED THIRD PARTY QUALITY ASSURANCE PROGRAM SUCH AS THE TRUSS PLATE INSTITUTE'S "QUALITY CONTROL

INSPECTION PROGRAM" OR EQUIVALENT. 4. LLOOD TRUSS MEMBERS AND CONNECTIONS SHALL BE DESIGNED FOR ALL LOADS SHOUN ON THE CONTRACT DOCUMENTS INCLUDING: LIVE, DEAD, AND CONCENTRATED LOADS, PLUS

5. REFER TO THE FLOOR PLAN AND OTHER STRUCTURAL DETAIL SHEETS FOR IMPORTANT INFORMATION NOT SPECIFICALLY ADDRESSED BY THE TRUSS FRAMING LAYOUT SUCH AS BEARING WALL HEIGHTS AND CEILING VAULT DETAILS.

6. WOOD TRUSS DESIGN SHOP DRAWINGS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING INFORMATION: a.) SPAN LENGTH, OVERHANG AND EAVE DIMENSIONS, SLOPE AND SPACING OF THE WOOD TRUSSES b) ALL DESIGN LOADS AND THEIR POINTS OF APPLICATION, VALLEY AND CONVENTIONAL

FRAMING MUST BE CONSIDERED a) ADJUSTMENTS TO ALLOWABLE VALUES. d) REACTIVATE FORCES AND THEIR LOCATIONS.

a) BEARING TYPE AND MINIMUM BEARING LENGTH. () DEFLECTIONS. g.) METAL CONNECTOR PLATE TYPE, GALGE, SIZE, AND LOCATION. IN LUMBER SIZE, SPECIES, GRADE AND MOISTURE CONTENT.

I) LOCATION AND CONNECTION DESIGN OF REQUIRED CONTINUOUS LATERAL BRACING. NET UPLIFT LOADS BASED ON ACTUAL BUILDING DEAD LOAD. WILLEY SETS FOR OVER-BUILD CONDITIONS.

7. LIMIT DEFLECTIONS FOR LIVE LOAD TO SPAN/360 (ROOF), SPAN/480 (FLOOR), AND LIMIT TOTAL LOAD DEFLECTIONS TO SPAN/240 (ROOF), SPAN/360 (FLOOR) UNLESS SPECIFICALLY NOTED OTHERWISE.

8. FIRE RETARDANT WOOD IS NOT ALLOWABLE FOR USE AS TRUSS CHORDS OR WEBS.

9. WOOD TRUSSES SHALL BE DESIGNED SO THAT MINIMAL HORIZONTAL REACTIONS ARE IMPOSED ON THE SUPPORTING STRUCTURE UNDER VERTICAL LOADS. NO SLIP CONNECTIONS ARE ALLOWED UNLESS OTHERWISE NOTED. CONTACT CONTRACTOR AS REQUIRED.

10. WOOD TRUSSES MUST BE CHECKED FOR WIND. WIND VELOCITY, DESIGN VELOCITY PRESSURES, AND MEAN ROOF HEIGHT MUST BE SHOWN ON THE SUBMITTED SHOP DRAWINGS, 11. CONTINUOUS BOTTOM CHORD LATERAL BRACING 16 REQUIRED AT A MINIMUM SPACING OF 10' O.C. UNLESS NOTED OTHERWISE. BOTTOM CHORD BRACING IS CONTINUOUS FROM ONE END OF THE BUILDING TO THE OTHER END. OVERLAP Continuous bracing at least one truss space. Use a minimum of 2×4 ROOF), 2X6 (FLOOR) GRADE MARKED LUMBER AT LEAST 10' LONG, WITH 2-16d

NAILS AT INTERMEDIATE AND 3-16d NAILS AT END CONNECTIONS. 12. CROSS BRACING 18 REQUIRED AT MINIMUM 10' O.C. UNLESS NOTED OTHERWISE. LOCATE CROSS BRACING AT OR NEAR THE BOTTOM CHORD BRACING. INSTALL CROSS BRACING AT EACH END AND AT 20' O.C. ALONG THE LENGTH OF THE LATERAL BRACING. CROSS BRACING IS ACCOMPLISHED BY ATTACHING DIAGONAL WEB BRACING TO OPPOSITE SIDES OF THE SAME GROUP OF SIMILAR WEB MEMBERS, SLOPE CROSS BRACING IN OPPOSITE DIRECTIONS AT APPROXIMATELY 45 DEGREES FORMING A CROSS "X". USE A MINIMUM OF 2X4 GRADE MARKED LUMBER WITH AT LEAST 3-16d NAILS AT EACH CONNECTION.

13. TRUSS ERECTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING OF TRUSS SYSTEM DURING CONSTRUCTION.

14. HANDLING, INSTALLATION, AND BRACING OF WOOD TRUSSES SHALL BE IN ACCORDANCE WITH "HIB-91", PUBLISHED BY THE TRUSS PLATE INSTITUTE.

15. ALL WOOD TRUSSES SHALL BE FASTENED TO THEIR SUPPORTS WITH APPROVED HURRICANE ANCHORS, RATED TO CARRY UPLIFT LOADS SPECIFIED BY TRUSS MANUFACTURER.

16. ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG-TIE, OR APPROVED EQUIVALENT MANUFACTURER. ALL NAIL HOLES SHOULD BE FILLED, OR AS PRESCRIBED BY THE MANUFACTURER. 17. TRUBSES ARE TO BE DESIGNED TO ALLOW FOR THE PROPER ROUTING OF A/C DUCT WORK AND PLUMBING. CHASES SHALL NOT BE BLOCKED BY WOOD TRUSSES.

18. PILING OF PLYWOOD ON WOOD TRUBSES IS NOT ALLOWED. 19. INSTALLATION OF BROKEN, DAMAGED, WARPED, OR IMPROPERLY REPAIRED WOOD TRUBBEG IS NOT ALLOWED.

20. IMPROPER OR UNAUTHORIZED FIELD ALTERATIONS OF WOOD TRUSSES IS NOT ALLOWED. 21. GABLE ENDWALL TRUSSES MUST TRANSFER LATERAL LOADS TO THE SHEAR WALLS AND/OR

22. WOOD TRUSSES THAT DO NOT MEET INTERIOR LOAD BEARING WALLS MUST BE SHIMMED. DO NOT PULL WOOD TRUSSES DOWN TO INTERIOR BEARINGS.

23. SUBMITTALS: ALL SUBMITTALS SHALL BEAR THE EMBOSSED SEAL OF A LICENSED STRUCTURAL ENGINEER IN THE STATE OF FLORIDA AND SHALL BE SUBMITTED TO CONTRACTOR FOR REVIEW PRIOR TO WOOD TRUBS FABRICATION. a.) BUBMIT BEALED WOOD TRUSS DESIGN CALCULATIONS AND PROFILES FOR EACH TYPE OF 36 WITH PERMANENT BRIDGING REQUIREMENTS. b.) SUBMIT LLOOD TRUBS ERECTION PLAN, INCLUDING CONNECTION DETAILS AND UPLIFT

C.) SUBMIT WOOD TRUSS TEMPORARY ERECTION BRACING PLAN. C.) MAINTAIN COPY OF SUBMITTAL ON JOBSITE.

PROTECTION AGAINST TERMITES

RI Termite Protection. Termite protection shall be provided by registered termiticides, including soil applied posticides, baiting systems and posticides applied to wood, or other approved methods of termite protection labeled for use as a preventative treatmen to new construction. See Section 202, Registered termiticide. Upon completion of the application of the termite protective treatment, a Certificate of Compilance shall be issued to the building department by the licensed pest control company that contains the following statement: The building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services.

RII if soil treatment is used for subterranean termite prevention, the initial chemical soil treatment inside the foundation perimeter shall be done after all excavation, backfilling and compaction is complete.

R12 If soil treatment is used for subterranean termite prevention, soil area disturbed after initial chemical soil treatment shall be retreated with a chemical soil treatment, including spaces boxed or formed.

RL3 If soil treatment is used for subterranean termite prevention, space in concrete floors boxed out or formed for the subsequent installation of plumbing traps, drains or any other purpose shall be created by using plastic or metal permanently placed forms of sufficient depth to eliminate any planned soil disturbance after initial chemical soil treatment.

RIA If soil treatment is used for subterranean termits prevention, chemically treated soil shall be protected with a minimum 6 mil vapor retarder to protect against rainfall dilution. If rainfall occurs before vapor retarder placement, retreatment is required. Any work, including placement of reinforcing steel, done after chemical treatment until the concrete floor is poured, shall be done in such marner as to avoid penetrating or disturbing treated soil.

RIB if soil treatment is used for subterranean termite prevention, concrete overpour or mortar accumulated along the exterior foundation perimeter shall be removed prior to exterior chemical soil treatment, to enhance vertical penetration of the chemicals.

RI6 If soil treatment is used for subterranean termits prevention, chemical soil treatments shall also be applied under all exterior concrete or grade within I foot (305 mm) of the primary structure eldewalls. Also, a vertical chemical barrier shall be applied promptly after construction is completed, including initial landscaping and irrigation/sprinkler installation. Any soil disturbed after the chemical vertical barrier is applied shall be promptly retreated. RLT If a registered termiticide formulated and registered as a balt system is used for subterranean termite prevention,

Sections RII through R310.16 do not apply however, a signed contract assuring the installation, maintenance and monitoring of the bailting system for a minimum of 5 years from the issue of the Certificate of Occupancy shall be provided to the building official prior to the pouring of the slab, and the system must be installed prior to final building approval. If the baiting system directions for use require a monitoring phase prior to installation of the pesticide active ingredient, the installation of the monitoring phase components shall be deemed to constitute installation of the system.

RIB If a registered termiticide formulated and registered as a wood treatment is used for subterranean termite prevention, Sections RII through RIB do not apply. Application of the wood treatment termiticide shall be as required by label directions for use, and must be completed prior to final building approval.

R2 Penetration. Protective sleaves around piping penetrating concrete slab-on-grade floors shall not be of cellulose-containing materials and, if soil treatment is used for subterranean termite protection, the sleave shall have a maximum wall thickness of 0000 inch (025 mm) and be sealed within the slab using non-corrosive clamping device to eliminate the annular space between pipe and the sleeve. No termiticides shall be applied inside the sleeve.

R3 Cleaning. Cells and cavities in masonry units and air gaps between brick, stone or masonry veneers and the structure shall be cleaned of all non-preservative treated or non-naturally durable wood, or other cellulose-containing material prior to concrete

Exception: Inorganic material manufactured for closing cells in foundation concrete masonry unit construction or clean earth fill placed in concrete masonry unit voids below slab level before termite treatment is performed

R4 Concrete bearing ledge. Brick, stone or other veneer shall be supported by a concrete bearing ledge at least equal to the total thickness of the brick stone or other veneer which is poured integrally with the concrete foundation. No supplemental concrete foundation pours which will create a hidden cold joint shall be used without supplemental treatment in the foundation unless there is an approved physical barrier. An approved physical barrier shall also be installed from below the wall still plate or first block course horizontally to embed in a mortar joint. If masonry veneer extends below grade, a termite protective treatment must be applied to the cavity created between the veneer and the foundation, in lieu of a physical barrier

Exception: Veneer supported by a structural member secured to the foundation sidewall in accordancew with ACI530/A8CE B/TMS 402, provided at least a 6 inch (152 mm) clear inspection space of the foundation sidewall exterior exist between the veneer and the top of any soil, sod, mulch or other organic landscaping component, deck, apron, porch, walk or any other work immediately adjacent to or adjoining the structure.

R5 Foam plastic protection. Extruded and expanded polystyrene, polyisocyanurate and other foam plastics shall not be installed on the exterior face or under interior or exterior foundation walls or slab foundations located below grade. The clearance between foam plastics installed above grade and exposed earth shall be at least 6 inches (152 mm).

1. Buildings where the structural members of walls, floors, ceilings and roofs are entirely of noncombustible materials or

2. When in addition to the requirements of Section RI, an approved method of protecting the foam plastic and structure from subterranean termite damage is used,

3. On the interior side of basement walls

Wood shall not be stored in contact with the ground under any building.

R6 Protection against decay and termites. Condensate lines, irrigation/sprinkler system risers for spray heads, and roof downspouts shall discharge at least 1 foot (305 mm) away from the structure sidewall, whether by underground piping, tall extensions or splash blocks. Gutters with downspouts are required on all buildings with eaves of less than 6 inches (152 mm) horizontal projection except for gable end rakes or on a roof above another roof. RT Preparation of building site and removal of debris.

RT.I All building eites shall be graded to provide drainage under all portions of the building not occupied by basements.

RT2 The foundation and the area encompassed within I foot (305 mm) therein shall have all vegetation, stumps, dead roots.

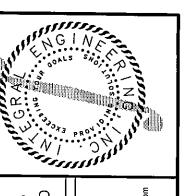
cardboard, trash and foreign material removed and the fill material shall be free of vegetation and foreign material. The fill shall be compacted to assure adequate support of the foundation. R1.3 After all work is completed, loose wood and debris shall be completely removed from under the building and within I foot (305 mm) thereof. All wood forms and supports shall be completely removed. This includes, but is not limited to: wooden grade stakes, forms, contraction spacers, tub trap boxes, plumbing supports, bracing, shoring, forms or other callulose-containing material placed in any location where such materials are not clearly visible and readily removable prior to completion of the wor

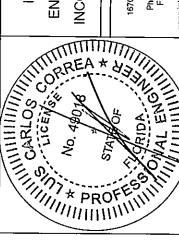
T `	YPICAL NAILING SCHEDU	LE
Ledger strip	léd common	3 at each joist
Sole plate to joist or	16d common	16" O.C.
blocking, face nail		
Top of sole plate to stud,	16d common	2
and natica		
Stud to sole plate, toe nail	8d common	4
Doubled studs, face nail	10d common	24" O.C.
Doubled top plates, face nail	10d common	16" along each edge
Continuous header to stud, toe nail	8d common	3
IXB sheathing or less to	8d common	2
each bearing, face nail	ou commos	
Over IX8 sheathing to	8d common	3
each bearing, face nail		
Build-up corner studs	16d common	24" O.C.
Build-up griders and	20d common	32" O.C. at top
beams up to three members	1	and bottom and
		staggered 2 ends
		at each
(All a All at a land		splice
1/2" Gypaum Sheathing	11 ga 1-1/2"	4"O.C. at edges
	7/16" head	8" o.c. at other bearing.
5/8" Gypsum Sheathing	II ga 1-3/4"	4"O.C. at edges
Company (Mallian and	1/16" head	8" o.c. at other bearing.
Gypaum Wallboard		
1/2"	1-3/8" drywall nail	7"O.C. on ceilings
		8"O.C. on walls
5/8 ⁿ	1 101	
516°	1-1/2" drywall nail	7"OC. on ceilings
Hardboard I an Giding	Ord compater variation	8"O.C. on walls
Hardboard Lap Siding, Direct to Studa	8d corrosion resistant	16" O.C. at top
Direct to Studis	with minimum shank	and bottom edges
	dia. of 00990 inch	
	and minimum head	
	dia. of 0240 inch	
Hardboard Lap Siding,	10d corrosion resistant	1611 00 at total
over sheathing	with minimum shank	16" O.C. at top
	dia. of 0.0990 Inch	and bottom edges
	and minimum head	
	dia. of 0240 Inch	
	Gia. Of EZTRO IIICT	
Hardboard Panel siding,	6d corrosion resistant	6" O.C. at edges
Direct to Stude	with minimum shank	12" O.C. at eages
	dia. of 0.0920 inch	Intermediate
	and minimum head	
	dia. of 0225 inch	supports
Jan III and Physics 1		
Hardboard Panel siding,	8d corrosion resistant	6" O.C. at edges
Over to Sheathing	with minimum shank	12" O.C. at
	dia. of 0.0920 inch	intermediate
	and minimum head	supports

dia. of 0.225 inch

APPLICATION	SIMPSON CONNECTOR	FL APPROVAL No.			
CAPS AND BASES	CC, ECC, PC, EPC	FL 10860			
	ABU	FL 10849			
-	HU, HUC	FL 10655			
	HGT, MBHA	FL 10866			
	HD, HDQB, HHDQ	FL 10441			
CONCRETE / MASONRY CONNECTORS	DETAL, FGTR, HETA, HHETA, HM, HTSM, HGAM, HGUM, LGUM, LTA, META, MSTAM, MSTCM, MTSM	FL 11473			
	HGAIO, LGT, MGT, MSTC, VGT	FL 11470			
	НТТ, LTT	FL 11496			
	LSSU, LSU, THA	FL 10447			
	HHUS, HSUL, HSUR, HU, HUC, IUS,IUT, LU, LUS, MU,SUL, SUR, U	FL 10531 / FL 1065			
HANGERS	HGU, HGUQ, HGUS, HHGU, HHUS, HUCQ, HUS, LCU, LUS, MGU, MSCPT, THA, THGB, THGQ, THGM, THJU	FL 11468			
	B, BA, HB, LBV	FL 11166			
	EG, GB, GLS, GLST, GLT, GLTV, HGB, HGLS, HGLT, HGLTV, HHB, HHBD, HIT, HW, HWI, HWI, HWI, ITS,ITT, MEG, MIT, MSC, W, WI, WNP, WNPU, WP, WPI, WPU,	FL 10677			
	A, FC, GA, HH, L, LS, LPT, Z	FL 10446			
STRAPS AND TIES	FTA, H, HGT, HTSLFTA, LTS, MTS, RSP, RST, SO, SPH, SSP	FL 10456			
	CMST, CS, FHA, HST, LSTA, LSTI, MST, MSTA, MSTC, MSTI, ST	FL 10852			

This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasota County Construction and Property Standards Department





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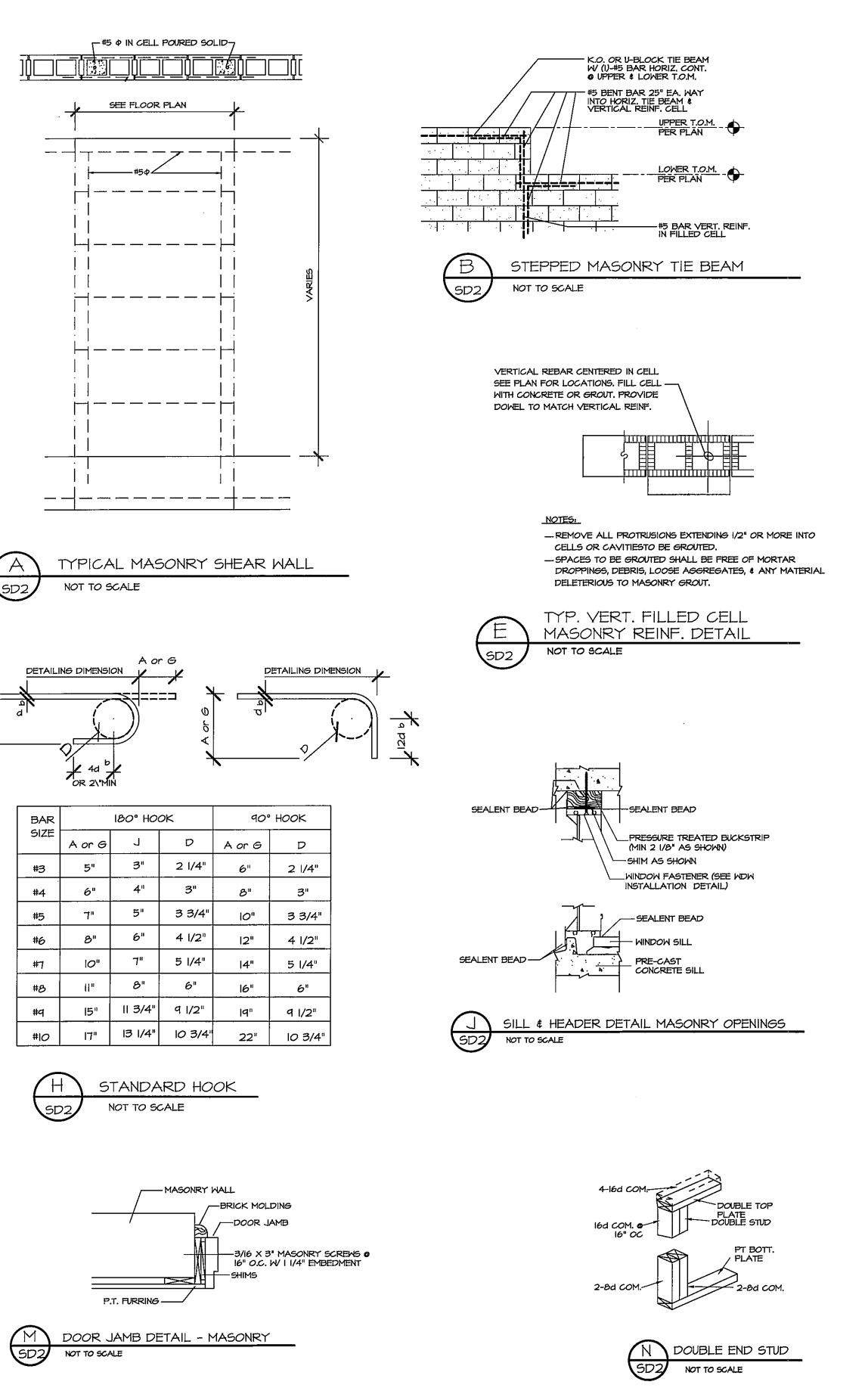
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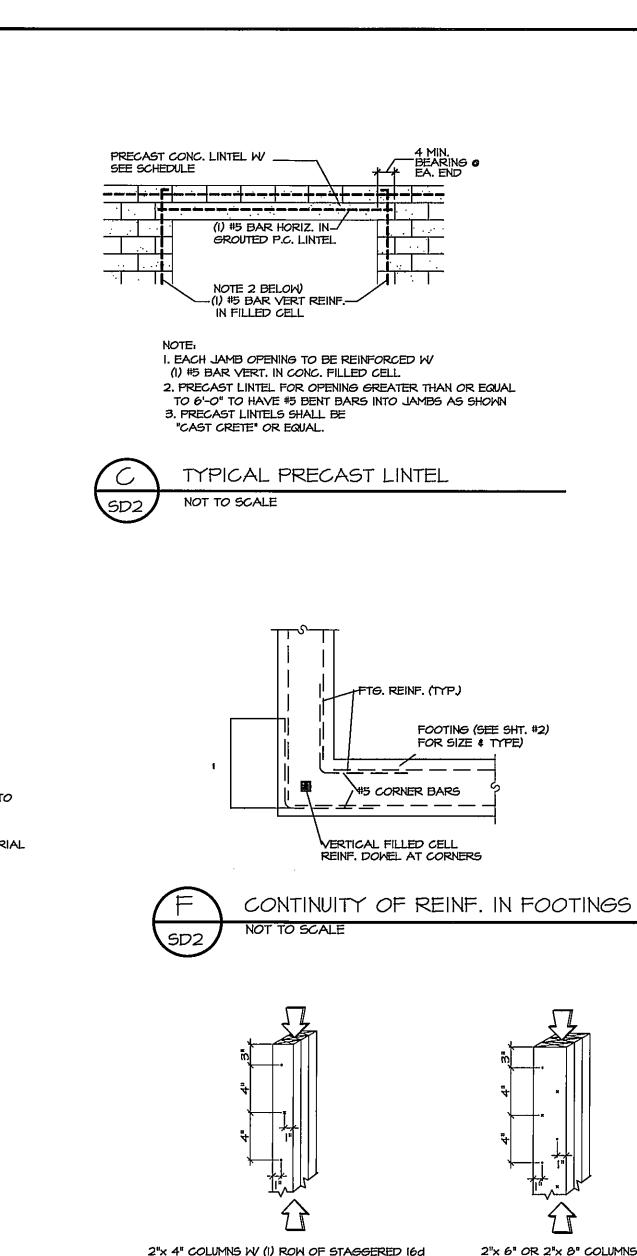
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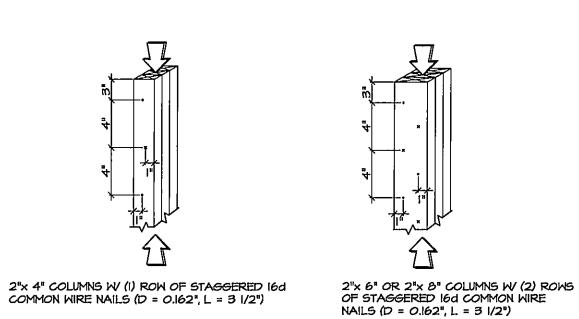
STRUCTURAL NOTES AND DETAILS

JOB NO: 02T12034 PROJ MGR: LCC

DRAWN: LCC CHECKED:







FOOTING (SEE SHT. #2) FOR SIZE & TYPE)



2. ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION

<u>↑</u> 2-16d COM.

--- PT BOTT, PLATE

END STUD INT.

NOT TO SCALE

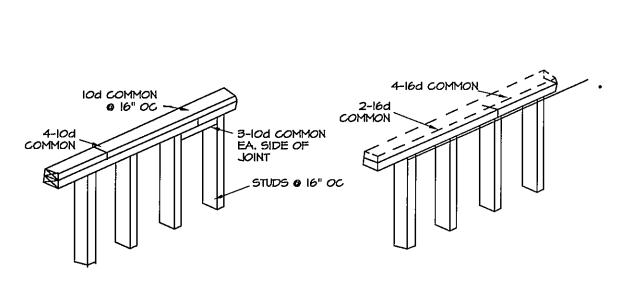
3. FOR 3-PLY, COLUMN SHALL BE NAILED AS SHOWN FROM EACH SIDE (ONE INTO EACH OUTSIDE FACE OF BU.C., SAME NUMBER OF ROWS, SAME SPACING)

DOUBLE

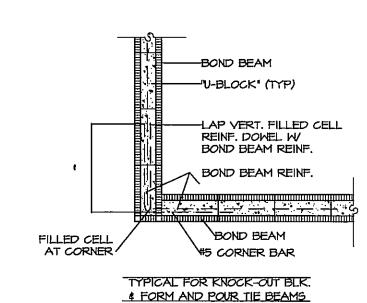
3-8d COM.

- 4. FOR 4-PLY, PROVIDE I/4" DIA. x 5 I/2" LAG SCREMS OR EQUAL (SPACE AS SHOWN FOR
- 5. FOR 5-PLY, PROVIDE 1/4" DIA. x 7" LAG SCREMS OR EQUAL (SPACE AS SHOWN FOR
- 6. REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFORMATION

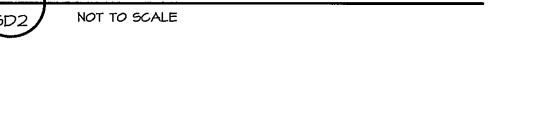


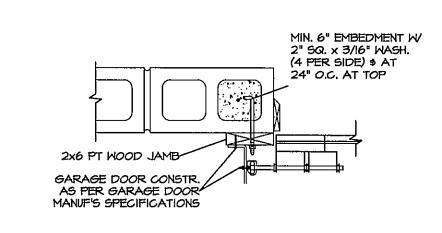




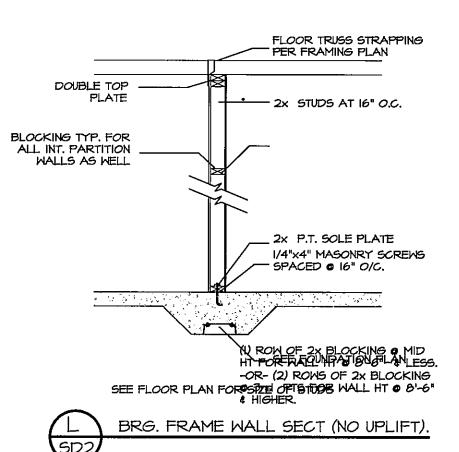






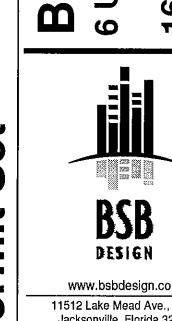








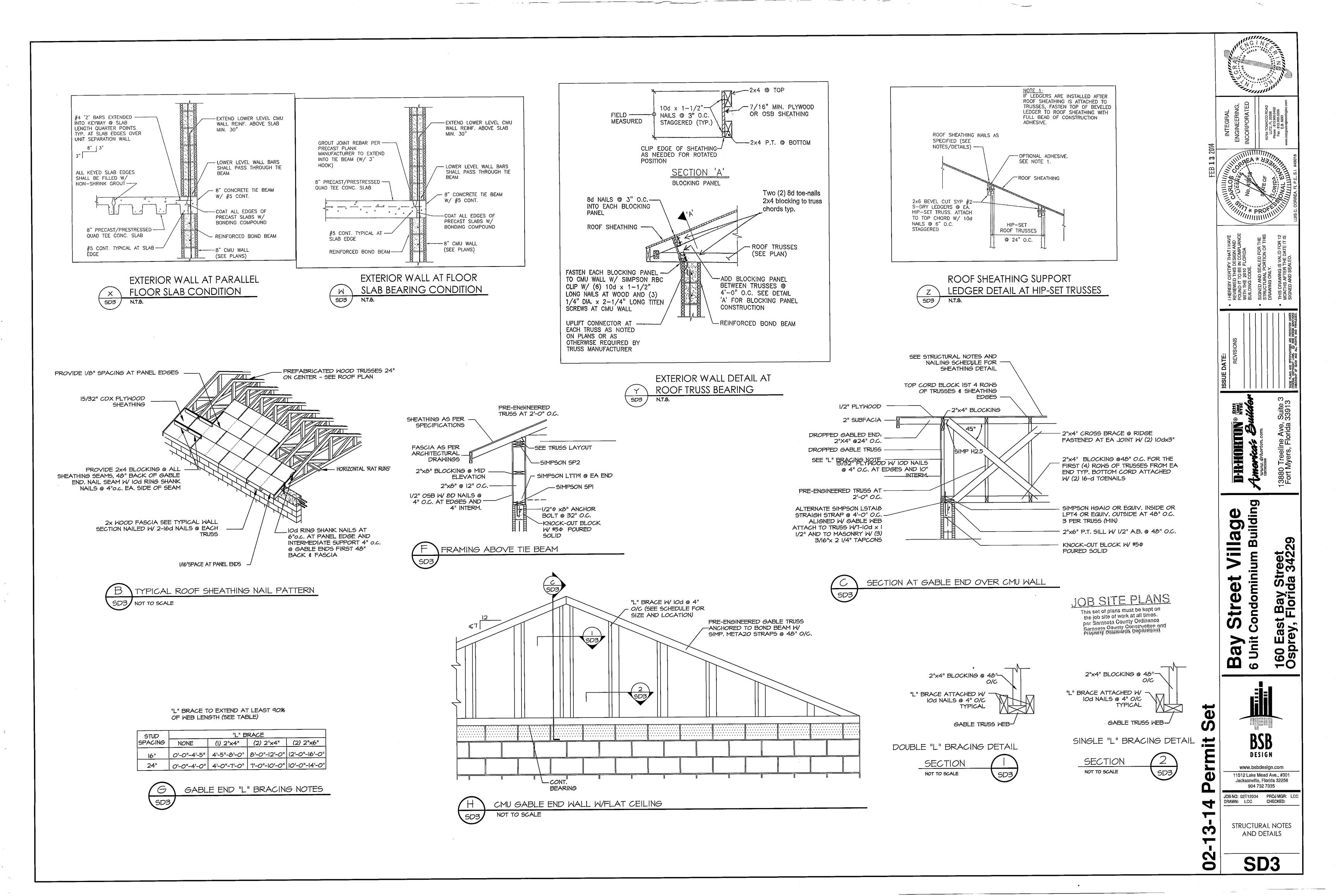
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DRAWN: LCC CHECKED: STRUCTURAL NOTES AND DETAILS



	ELECTRICAL SYMBOL LEGE	END
SYMBOL	DESCRIPTION	MOUNTING
- <u></u>	WALL MOUNT FIXTURE ON FLUSH 4" SQUARE J-BOX, LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	1' X 4' FLUORESCENT FIXTURE, LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
<u></u>	WALLBRACKET FLUORESCENT FIXTURE ON 4" SQUARE FLUSH J-BOX, LENGTH: 2', 3', OR 4'- AS SHOWN ON PLANS, LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
ΑO	RECESSED DOWNLIGHT WITH TRIM AND REQUIRED CEILING ADAPTERS. LETTER INDICATES TYPE.	SEE FIXTURE SCHEDULE
-@-	PENDANT MOUNT DOWNLIGHT WITH TRIM AND MOUNTING HARDWARE. LETTER INDICATES TYPE.	SEE FIXTURE SCHEDULE
-\phi_^A	SURFACE MOUNT DOWNLIGHT, ROUND HOUSING, WITH TRIM AND MOUNTING HARDWARE. LETTER INDICATES TYPE.	SEE FIXTURE SCHEDULE
\$	SWITCH, SINGLE POLE, 20 A, 120/277 VAC. REFER TO SPECIFICATIONS FOR DEVICE COLOR, WALL PLATE COLOR AND MATERIAL, AND DEVICE MODEL NUMBER.	48" AFF TO TOP UNLESS NOTED OTHERWISE
\$3	SWITCH, THREE-WAY, 20 A, 120/277 VAC. REFER TO SPECIFICATIONS FOR DEVICE COLOR, WALL PLATE COLOR AND MATERIAL, AND DEVICE MODEL NUMBER.	48" AFF TO TOP UNLESS NOTED OTHERWISE
Ф Ф	DUPLEX RECEPTACLE, 20 A, 120 VAC. REFER TO SPECIFICATIONS FOR DEVICE COLOR, WALL PLATE REQUIREMENTS, AND DEVICE MODEL NUMBER.	UNLESS NOTED OTHERWISE, THE SYMBOLS SHOWN BELOW DEFINE MOUNTING HEIGHTS:
\$ \$ \$	TWO (2) DUPLEX RECEPTACLES IN COMMON BOX, 20 A, 120 VAC. REFER TO SPECIFICATIONS FOR DEVICE COLOR, WALL PLATE REQUIREMENTS, AND DEVICE MODEL NUMBER.	P
Ф Ф Ф	SIMPLEX RECEPTACLE, 20 A, 120 VAC. REFER TO SPECIFICATIONS FOR DEVICE COLOR, WALL PLATE REQUIREMENTS, AND DEVICE MODEL NUMBER.	ABOVE COUNTER D BELOW COUNTER
Ф ^{30A}	SIMPLEX RECEPTACLE, SPECIAL PURPOSE, SINGLE PHASE, CURRENT RATING AS NOTED, NEMA CONGURATION AS REQUIRED, WITH MATCHING COVER PLATE.	AS NOTED
L 60/NF/3/N3R	NON-FUSED DISCONNECT SWITCH, CURRENT RATING/FUSING/NUMBER OF POLES/ENCLOSURE	60" AFF TO TOP UNLESS NOTED OTHERWISE
	BRANCH CIRCUIT PANELBOARD, 120/208 V OR 120/240 V, SURFACE MOUNT	78" AFF TO TOP UNLESS NOTED OTHERWISE
Ū	BRANCH CIRCUIT PANELBOARD, 120/208 V OR 120/240 V, FLUSH MOUNT	78" AFF TO TOP UNLESS NOTED OTHERWISE
<u></u>	ELECTRIC METER	60" AFF TO TOP UNLESS NOTED OTHERWISE
∇	COMMUNICATIONS OUTLET	18" AFF TO CENTERLINE UNLESS NOTED OTHERWISE
© /\$	COMBINATION CARBON MONOXIDE AND SMOKE DETECTOR, SURFACE MOUNT ON RECESSED BOX.	CEILING UNLESS NOTED OTHERWISE
L1A-1,3	HOME RUN TO PANEL. LABEL INDICATES PANEL NAME AND CIRCUIT NUMBER(S). CIRCUITS WITHOUT FURTHER DESIGNATION INDICATES A 2 WIRE CIRCUIT WITH A PARITY SIZED EQUIPMENT GROUND. CIRCUIT WITH MORE THAN 2 WIRES IS SHOWN AS FOLLOWS: *** = 3 PHASE WIRES AND AN EQUIPMENT GROUND *** = 3 PHASE WIRES, 1 NEUTRAL AND AN EQUIPMENT GROUND *** = 3 PHASE WIRES, 1 NEUTRAL, AN ISOLATED GROUND AND AN EQUIPMENT GROUND ALL CONDUCTORS ARE #12 AWG Cu UNLESS NOTED OTHERWISE.	SEE SPECIFICATIONS
	RACEWAY CONCEALED IN WALL OR ABOVE CEILINGS	SEE SPECIFICATIONS
	RACEWAY CONCEALED UNDER FLOOR OR BELOW GRADE	SEE SPECIFICATIONS
GFI	"GFI" NOTATION MEANS ASSOCIATED DEVICE SHALL BE GROUND FAULT CIRCUIT INTERRUPTER TYPE. REFER TO SPECIFICATIONS FOR DEVICE COLOR, WALL PLATE REQUIREMENTS, AND MODEL NUMBER.	AS DEFINED BY SYMBOL
WP	"WP" NOTATION MEANS ASSOCIATED DEVICE SHALL BE MOUNTED IN WEATHERPROOF ENCLOSURE.	AS DEFINED BY SYMBOL
CLG	"CLG" NOTATION MEANS ASSOCIATED DEVICE IS CEILING MOUNTED.	AS DEFINED

<u>GENERAL</u>

1. THE ELECTRICAL CONTRACTOR REFERRED TO HEREAFTER, AS THE "CONTRACTOR" SHALL PROVIDE COMPLETE ELECTRICAL SYSTEMS AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN.

2. CONTRACTOR SHALL PROVIDE PROTECTIVE DEVICES, CONDUCTORS SUPPORTS, RACEWAYS, AND MISCELLANEOUS MATERIALS TO SERVE ALL DEVICES REQUIRING ELECTRICAL POWER.

3. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED TO COMMENCE AND COMPLETE ELECTRICAL WORK.

4. CONTRACTOR SHALL CONDUCT A THOROUGH SITE INSPECTION TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND ALL ASPECTS OF HIS SCOPE OF WORK, SUCH AN INSPECTION SHALL BE CONDUCTED PRIOR TO SUBMITTING A BID.

5. CONTRACTOR SHALL REFER TO INTERIOR ARCHITECTURAL CASE WORK ELEVATIONS FOR EXACT MOUNTING HEIGHTS AND/OR LOCATIONS OF SWITCHES, OUTLETS, AND WIRING DEVICES.

6. CONTRACTOR SHALL MAINTAIN A COMPLETE TEMPORARY POWER AND LIGHTING SYSTEM DURING CONSTRUCTION.

7. THE CONTRACTOR SHALL PROVIDE, DROP CLOTH, RUBBER MATS AND, PLYWOOD COVERS FOR OWNERS EQUIPMENT SUSCEPTIBLE TO DAMAGE DURING CONSTRUCTION. VERIFY SPECIFIC LOCATIONS WITH OWNER'S REPRESENTATIVE.

8. AT PROJECT COMPLETION, THE CONTRACTOR SHALL INSURE THAT ALL ELECTRICAL SYSTEMS OPERATE PROPERLY. CONTRACTOR SHALL DEMONSTRATE OPERATION OF EACH SYSTEM WITH THE OWNER'S REPRESENTATIVE.

9. CONTRACTOR SHALL COORDINATE AND VERIFY WITH LOCAL POWER COMPANY THE FOLLOWING:

- EXACT LOCATION OF SERVICE CONNECTION.
- ELECTRICAL CHARACTERISTICS (VOLTAGE AND PHASING) AVAILABLE FAULT CURRENT METERING REQUIREMENTS

CODES AND STANDARDS

- 1. ELECTRICAL WORK SHALL COMPLY WITH THE LATEST EDITION OF:
- NFPA 70 (NATIONAL ELECTRICAL CODE)
- NFPA 101 (LIFE SAFETY CODE) CODES SPECIFIC TO OTHER SÉCTIONS HEREIN

2. ELECTRICAL WORK SHALL COMPLY WITH ALL LOCAL AND STATE ELECTRICAL CODES AND IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION (AHJ).

1. WORKMANSHIP SHALL BE HIGH QUALITY AND FOLLOW INDUSTRY STANDARDS. SUBSTANDARD WORK WILL BE REJECTED. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND REWORK TO RECTIFY SUBSTANDARD WORK. QUALITY OF WORK SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE AND/OR ENGINEER OF RECORD.

1. PLANS ARE GENERALLY DIAGRAMMATIC. THE CONTRACTOR SHALL COORDINATE WITH THE OTHER TRADES SO THAT INTERFERENCES BETWEEN CONDUITS, PIPING, EQUIPMENT, DUCTS, AND STRUCTURAL WORK WILL BE AVOIDED. IN SUCH CASE, IF THE CONTRACTOR FAILS TO COORDINATE WITH OTHER TRADES AND INTERFERENCES ARE ALLOWED TO DEVELOP, THE OWNER'S AUTHORIZED REPRESENTATIVE WILL DECIDE WHICH EQUIPMENT. DUCT. CONDUIT, ETC., MUST BE RELOCATED, REGARDLESS OF WHICH WAS INSTALLED FIRST. ELECTRICAL REWORK REQUIRED TO CORRECT INTERFERENCES WILL BE AT THE CONTRACTORS EXPENSE.

MATERIALS

1. ALL ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE APPROVED BY UNDERWRITERS LABORATORY FOR THE APPLICATION AND SHALL BEAR A UL

2. ELECTRICAL ENCLOSURES SHALL BE NEMA RATED. UNLESS OTHERWISE NOTED, ENCLOSURE RATINGS SHALL ADHERE TO THE FOLLOWING:

NEMA 1

 NEMA 3R OUTDOOR NEMA 4 CORROSIVE ENVIRONMENT

1. CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM DATE OF OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL RECTIFY ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND PAY FOR DAMAGE CAUSED BY FAILURE AND REWORK. THE OWNER WILL GIVE NOTICE OF DEFECTS WITH REASONABLE PROMPTNESS AFTER DISCOVERY. THE CONTRACTOR SHALL START REWORK WITHIN TEN (10) WORKING DAYS OF NOTIFICATION AND COMPLETE REPAIRS IN A TIMELY MANNER.

FIXTURE SCHEDULE VOLTAGE LAMP(S) NOTES DESCRIPTION / MODEL NUMBER MOUNTING OWNER SELECTED - INTERIOR CEILING MOUNTED SURFACE FIXTURE MAX 100W FURNISHED AND INSTALLED BY CONTRACTOR OWNER SELECTED - GARAGE CEILING MOUNTED SURFACE FIXTURE 120 MAX 150W SURFACE FURNISHED AND INSTALLED BY CONTRACTOR OWNER SELECTED - CLOSET WALL MOUNTED SURFACE FIXTURE 120 **MAX 100W** SURFACE FURNISHED AND INSTALLED BY CONTRACTOR OWNER SELECTED - RESTROOM VANITY SCONCE 120 MAX 250W FURNISHED AND INSTALLED BY CONTRACTOR OWNER SELECTED PENDANT FIXTURE 120 MAX 150W PENDANT FURNISHED AND INSTALLED BY CONTRACTOR MAX 400W FAN RATED J-BOX FOR FUTURE FAN WITH BLANK COVER PLATE 120 **INCL MOTOR** FURNISHED AND INSTALLED BY CONTRACTOR OWNER SELECTED EXTERIOR SCONCE WITH PHOTOCELL - WET LISTED 120 **MAX 150W** SURFACE FURNISHED AND INSTALLED BY CONTRACTOR OWNER SELECTED EXTERIOR SCONCE - WET LISTED 120 MAX 150W SURFACE FURNISHED AND INSTALLED BY CONTRACTOR OWNER SELECTED PENDANT FIXTURE 120 MAX 75W PENDANT FURNISHED AND INSTALLED BY CONTRACTOR OWNER SELECTED - RECESSED CAN 120 MAX 75W RECESSED FURNISHED AND INSTALLED BY CONTRACTOR OWNER SELECTED - RECESSED CAN WITH SHOWER LENS MAX 75W RECESSED URNISHED AND INSTALLED BY CONTRACTOR . ALL FIXTURES SHALL BE SELECTED BY OWNER AND/OR INTERIOR DECORATOR. ADDITIONAL FIXTURES AND/OR VARIATIONS OF THE FIXTURES LISTED HEREIN MAY OCCUR. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE REQUIREMENTS OF ALL FIXTURES PRIOR TO ROUGH-IN

SUBMITTAL DATA AND RECORD DRAWINGS

1. THE ELECTRICAL DESIGN IS BASED ON A SINGLE MANUFACTURE. WHEREAS SUBSTITUTIONS ARE PROVIDED IN LIEU OF THAT WHICH IS SPECIFIED. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ANY IMPACT TO THE INSTALLATION. CONTRACTOR SHALL VERIFY THAT SUBSTITUTIONS CAN FUNCTION SATISFACTORILY IN THEIR DESIGNATED SPACE AND CHANGES IN OPERATING CHARACTERISTICS DO NOT DEGRADE THE INSTALLATION.

2. SUBMIT MANUFACTURER'S DATA (MINIMUM 5 COPIES) FOR ELECTRICAL GEAR, LIGHT FIXTURES, WIRING DEVICES AND OTHER EQUIPMENT SPECIFIED HEREIN. SUBMIT SHOP DRAWINGS IN BOOKLET FORM WITH SEPARATE SHEET FOR EACH DEVICE. PROVIDE EQUIPMENT IDENTIFICATION AS DESIGNATED ON PLANS FOR EACH SHOP DRAWING CUT SHEET SUBMITTED.

3. AT PROJECT COMPLETION THE CONTRACTOR SHALL COMPILE TWO (2) COMPLETE SETS OF RECORD DRAWINGS INDICATING ALL DEVIATIONS FROM CONSTRUCTION DOCUMENTS. ONE SET SHALL BE ISSUED TO THE ARCHITECT AND ONE SET SHALL BE ISSUED TO OWNER'S REPRESENTATIVE.

IDENTIFICATION OF EQUIPMENT

1. LABEL ALL ELECTRICAL EQUIPMENT WITH ENGRAVED LAMINATED PLASTIC NAMEPLATE THAT CLEARLY DESCRIBES THE EQUIPMENT NAME, VOLTAGE, AMPERAGE RATING, AND FUNCTION, NAMEPLATES SHALL BE RED BACKGROUND WITH WHITE STENCILED UPPER CASE LETTERING A MINIMUM OF

2. INSTALL VINYL CLOTH SELF-ADHESIVE CIRCUIT LABELS ON ALL WIRE AND CABLE IN JUNCTION BOXES, WIRE TROUGHS, AND PANELBOARD WIRING

3. IDENTIFY JUNCTION BOXES WITH PERMANENT MARKER INDICATING PANELBOARD AND CIRCUIT NUMBERS OF WIRING CONTAINED WITHIN.

4. PROVIDE TYPEWRITTEN PANELBOARD DIRECTORIES WITH ACCURATE AS BUILT INFORMATION. DIRECTORIES SHALL REFLECT TYPE OF LOAD AND AREA SERVED FOR EACH BREAKER.

RACEWAYS AND FITTINGS

1. WHERE USED, CONDUIT SHALL BE PROPERLY ALIGNED, GROUPED AND SUPPORTED. EXPOSED CONDUIT SHALL BE INSTALLED AT RIGHT ANGLES TO OR PARALLEL TO THE PRINCIPAL STRUCTURAL MEMBERS. CONDUIT SHALL BE SUPPORTED AT INTERVALS NOT EXCEEDING 8 FEET. CONDUIT SHALL BE SUPPORTED FROM STRUCTURE AND NOT FROM CEILING SUPPORT SYSTEM.

2. PROVIDE NYLON PULL CORD IN ALL EMPTY CONDUITS.

3. FLEXIBLE METALLIC CONDUIT; IN DAMP OR WET LOCATIONS SHALL BE UL GALVANIZED STEEL WITH MOISTURE PROOF PVC JACKET. IN DRY LOCATIONS SHALL BE UL ZINC COATED STEEL. FITTINGS SHALL HAVE INSULATED THROATS. FITTINGS SHALL BE LIQUID TIGHT FOR DAMP OR WET APPLICATIONS.

4. GALVANIZED RIGID STEEL (GRS) CONDUIT SHALL BE UL APPROVED HOT DIPPED GALVANIZED. GRS CONDUIT COUPLINGS SHALL BE THREADED HEAVY WALL GALVANIZED STEEL. USE GRS CONDUIT FOR FEEDER EXPOSED RISERS BETWEEN ELECTRICAL PANEL BOARDS, JUNCTION BOXES, OR METERS. USE 90 DEGREE GRS SWEEPS IN UNDERGROUND PVC CONDUIT RUNS LARGER THAT 2" IN DIAMETER. PAINT ALL GALVANIZED RIGID CONDUITS INSTALLED BELOW GRADE WITH RUST INHIBITING PAINT.

I. BOXES SHALL BE RIGIDLY MOUNTED AND COVERED WITH MATCHING PLATE. OPEN KNOCK-OUTS OR HOLES IN BOXES SHALL BE PLUGGED WITH A SUITABLE BLANKING DEVICE.

2. SURFACE MOUNT EXTERIOR OUTLET BOXES SHALL BE CAST ALUMINUM WITH WEATHERPROOF ALUMINUM GASKETED COVER.

3. FLUSH MOUNT EXTERIOR OUTLET BOXES SHALL 4" SQUARE STEEL WITH MASONRY RING AND WEATHERPROOF GASKETED CAST ALUMINUM COVER. CONDUCTORS

UNLESS OTHERWISE INDICATED, BRANCH CIRCUIT CONDUCTORS SHALL BE SOLID NO. 14 AWG COPPER ON 15 AMP CIRCUITS AND SOLID NO. 12 AWG ON 20 AMP CIRCUITS. BRANCH CIRCUITS RUN OVER 75 FEET IN LENGTH, MEASURING ONE WAY FROM THE FIRST OUTLET OF THE CIRCUIT TO THE PANEL, SHALL BE INCREASED ONE TRADE SIZE AWG COPPER FOR THE

2. SPLICES AND TAPS SHALL UTILIZE SOLDERLESS LUGS FOR #8 AWG AND LARGER. SPLICES AND TAPS SHALL FORM A ELECTRICAL AND MECHANICALLY SECURE CONNECTION. LUGS SHALL BE CORRECTLY SIZED FOR THE CONDUCTORS. TAPE JOINTS WITH VINYL PLASTIC ELECTRICAL TAPE.

3. ALLOW SUFFICIENT CABLE SLACK IN BOXES, OUTLETS AND CABINETS TO MAKE CONNECTION AND INSURE THERE IS NO BINDING AT THE SPLICE/TAP.

4. CONDUCTORS SHALL BE COPPER. UNLESS OTHERWISE NOTED, INSULATION SHALL BE NM (ROMEX) WITH IN EACH RESIDENCE AND DUAL TYPE THHN/THWN 75°C ELSEWHERE. SERVICE CONDUCTORS SHALL BE THHN/THWN 75°C IN CONDUIT FROM UTILITY TRANSFORMER TO UNIT PANELS. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NFC 70. COLOR CODING SHALL BE BY MEANS OF COLORED INSULATING MATERIAL. COLORED BRAID OR JACKET OVER THE INSULATION OR BY MEANS OF SUITABLE COLORED. PERMANENT, NON-AGING, INSULATING TAPE APPLIED TO CONDUCTORS AT EACH CABINET OR JUNCTION POINT. THE FOLLOWING SYSTEM OF COLOR CODING SHALL BE ADHERED TO:

- GROUND LEADS: GREEN
- 120/240 NEUTRAL CONDUCTOR: WHITE - 120/240 VOLT, PHASE CONDUCTORS: BLACK, RED

1. ALL INTERIOR ELECTRICAL SYSTEMS SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED BY NFPA 70 AND AS SPECIFIED

2. METALLIC RACEWAYS SHALL BE MECHANICALLY AND ELECTRICALLY SECURE AT ALL JOINTS AND AT ALL BOXES, CABINETS, FITTINGS, AND EQUIPMENT. METALLIC RACEWAYS SHALL BE CONNECTED TO A DIRECT GROUND AT POINT OF ELECTRICAL SERVICE ENTRANCE AND SHALL BE ELECTRICALLY CONTINUOUS THROUGHOUT THE ENTIRE SYSTEM.

3. ALL GROUND CONDUCTORS SHALL BE INSULATED COPPER UNLESS OTHERWISE NOTED.

4. RACEWAYS WITH NO. 10 OR 12 AWG PHASE CONDUCTORS FOR RECEPTACLES, LIGHT FIXTURES AND SIMILAR CIRCUITS (NEW BRANCH CIRCUITS) SHALL BE PROVIDED WITH A PARITY SIZED GREEN EQUIPMENT GROUND CONDUCTOR. GROUND CONDUCTOR SHALL BE INSTALLED IN ENTIRE RACEWAY SYSTEM INCLUDING WALL SWITCHES AND FLEXIBLE CONDUIT TO LIGHT FIXTURES. EQUIPMENT GROUND CONDUCTOR SIZES FOR CIRCUITS WITH PHASE CONDUCTORS LARGER THAN NO. 12 AWG ARE INDICATED ON DRAWINGS.

PANEL BOARDS AND SAFETY SWITCHES

1. ELECTRICAL PANELS AND DISCONNECTS SHALL BE PLUMB AND SECURELY SUPPORTED. IF SUITABLE SUPPORT DOES NOT EXIST, PROVIDE SUPPORTING STRUCTURE WITH PROPERLY SIZED "U" CHANNEL.

2. CIRCUIT BREAKERS SHALL BE MOLDED PLASTIC CASE WITH QUICK-MAKE. QUICK-BREAK CONTACTS. BREAKERS SHALL HAVE THERMAL MAGNETIC TRIP UNITS. MULTI-POLE BREAKERS SHALL HAVE A FACTORY INSTALLED COMMON TRIP. TIE BARS INSTALLED IN THE FIELD ARE NOT ACCEPTABLE.

3. SAFETY SWITCH MECHANISMS SHALL BE GENERAL DUTY QUICK-MAKE, QUICK-BREAK. COVER SHALL BE INTERLOCKED WITH MECHANISM TO PREVENT OPENING WITH HANDLE IN THE "ON" POSITION. ALL ENCLOSURES SHALL BE PRIMED AND FINISHED TO RESIST RUSTING AND CORROSION. SWITCHES SHALL BE GENERAL ELECTRIC, OR SQUARE-D (MATCH BUILDING STANDARD WHERE APPLICABLE),

4. FUSES SHALL BE DUAL ELEMENT, CARTRIDGE TYPE. FUSES SHALL BE BUSMAN "FUSETRON" OR CHASE SHAWMUT "TRIONIC". THE CONTRACTOR SHALL PROVIDE SIZES BASED ON EQUIPMENT NAMEPLATE DATA. CONTRACTOR SHALL FURNISH AS SPARE, A DUPLICATE CARTRIDGE FOR EACH FUSE INSTALLED.

5. PANELBOARDS SHALL BE DEADFRONT TYPE, COPPER BUS BARS, AND BOLT-ON TYPE BRANCH CIRCUIT BREAKERS.

1. CONTRACTOR SHALL PROVIDE ALL MOUNTING HARDWARE AND LIGHTING OPTIONS TO PROVIDE A PROPER LIGHTING INSTALLATION.

2. BALLASTS FOR FLUORESCENT LAMPS SHALL BE HIGH POWER FACTOR TYPE AND SHALL BEAR THE CBM, AND UL LABELS, ALL BALLASTS SHALL BE UNDERWRITERS CLASS P. BALLASTS SHALL BE MAGNETEK TRIAD 'HP' OCTIC OR EQUAL BY MOTOROLA.

3. FIXTURES SHALL BE PROPERLY SUPPORTED AND ALIGNED. LIGHTING FIXTURES SHALL BE CLEANED AND LAMPED IMMEDIATELY PRIOR TO FINAL

4. USE STEEL 4" SQUARE BACK BOXES FOR SURFACE MOUNT FIXTURES. RECEPTACLES AND SWITCHES

1. ALL RECEPTACLE, SWITCH AND WALL PLATE COLOR AND STYLE SHALL BE SELECTED BY OWNER.

2. PROVIDE WALLPLATES FOR SINGLE AND COMBINATION WIRING DEVICES, OF TYPES, SIZES, AND GANGING TO MATCH INSTALLATION, SELECT PLATES WHICH MATE AND MATCH WIRING DEVICES. SECURE WALL PLATES WITH METAL SCREWS. SCREW HEADS SHALL BE COLORED TO MATCH FINISH OF PLATE.

GENERAL PURPOSE RECEPTACLES SHALL BE 125V, 20A, NEMA 5-20R,

4. GROUND FAULT CIRCUIT INTERRUPTER (GFI) RECEPTACLES SHALL BE 125V. 20A. NEMA 5-20R, WHITE TEST AND RESET BUTTONS ON FRONT FACE.

5. RECEPTACLES DEDICATED TO A SINGLE PIECE OF EQUIPMENT SHALL MATCH SAID EQUIPMENT REQUIREMENTS. CONTRACTOR SHALL MAKE RECEPTACLE SELECTION BASED EQUIPMENT VOLTAGE, AMPERAGE, AND PLUG CONFIGURATION. INCLUDE THIS INFORMATION IN SHOP DRAWING SUBMITTALS. ADVISE ENGINEER OF DISCREPANCIES.

6. SWITCHES SHALL BE WHITE, AC QUIET, SNAP TYPE, RATED 120/277V, 20A. SWITCH TYPE SHALL BE AS INDICATED ON DRAWINGS.

7. APPROVED MANUFACTURERS: HUBBLE, LEVITON, OR GENERAL ELECTRIC.

COMMUNICATIONS:

1. FURNISH SINGLE GANG BOX CONNECTOR AND CABLING FOR EACH TELEPHONE/CABLE TV DEVICE LOCATION. EXTEND CABLE CONCEALED IN WALLS AND CEILING SPACE TO SERVING UTILITIES POINT OF CONNECTION. COORDINATE REQUIREMENTS WITH SERVING UTILITY. CABLING AND DEVICES TO BE INSTALLED BY TELEPHONE/CABLE TV CONTRACTOR.

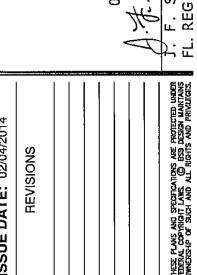
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per Sarasota County Ordinance

Sareauth County Construction and Property Standards Department





ANNON, 10. PE0013



Bay Flori

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CHECKED: SPECIFICATIONS

LEGEND

	LOAD CALCUI	LATION - UNIT	TYPE "C"						
	PER NEC 2008	BEDITION ART	TICLE 220.8	2					
	TOTAL LIVING		1,269 SQ. F	EET					
GENERAL LIGHTING	3 VA	X	1,269 SQ. F	EET	=	3,807 \	/A		
SMALL APPLIANCE	2 CKT	X	1,500 VA		=	3,000 \	/A		
LAUNDRY	1 CKT	X	1,500 VA		=	1,500	/A		
TOTAL CONNECTED	GENERAL LOAD					=	8,3	07 VA	
WATER HEATER					=	6,000	/A		
REFRIGERATOR					=	800 \	/A		
GARBAGE DISPOSER	₹				=	1,200 \	/A		
DISHWASHER					=	900 \	/A		
RANGE					=	8,000 \	/A		
DRYER					=	5,000 \	/A		
MICROWAVE					=	1,200	/A		
TOTAL CONNECTED	FIXED APPLIANC	E LOAD		-		=	23,1	00 VA	
TOTAL CONNECTED	GENERAL LOAD	AND FIXED A	PPLIANCE	LOAD		=	31,4	07 VA	
SUB-TOTAL GENERA	L LOAD - 1st 10kV	/A @ 100%					=	10,000	
SUB-TOTAL GENERA	L LOAD - Remaind	der @ 40%					=	8,563	
TOTAL GENERAL LOA	4D							18,563	VA
A/C and CENTRAL HE									
AHU-3	2-1/2 TON W/ 1	IO.OKW AUX F				9,126			
CU-3 (heat pump)	2-1/2 TONS		Х	100%	=	5,064	VA		
TOTAL HEAT LOAD (neat pump and aux	heat do not rur	n concurrent)					9,126	VA
			ТО	TAL D	EMANI	D LOAD	=	27,689	VA

	LOAD CALCULA								
	PER NEC 2008 EDITION ARTICLE 220.82								
	TOTAL LIVING		1,655 S	Q. FEET					
GENERAL LIGHTING	3 VA	X	1,655 S	Q. FEET	=	4,965 VA			
SMALL APPLIANCE	2 CKT	X	1,500 V	4	=	3,000 VA			
LAUNDRY	1 CKT	Χ	1,500 V	Α	=	1,500 VA		_	
TOTAL CONNECTED G	ENERAL LOAD	-				= 9	,465	VA	
WATER HEATER					=	6,000 VA			
REFRIGERATOR					=	800 VA			
GARBAGE DISPOSER					=	1,200 VA			
DISHWASHER					=	900 VA			
RANGE					=	8,000 VA			
DRYER					=	5,000 VA			
MICROWAVE	·			-	=	1,200 VA			
TOTAL CONNECTED F	IXED APPLIANCE	LOAD				= 23	3,100	VA	
TOTAL CONNECTED G	ENERAL LOAD A	ND FIXED) APPLIANO	CE LOAD		= 32	2,565	VA	
SUB-TOTAL GENERAL	LOAD - 1st 10kVA	A @ 100%	ı			:	=	10,000	VA
SUB-TOTAL GENERAL	LOAD - Remainde	er @ 40%				=	=	9,026	VA
TOTAL GENERAL LOAI)							19,026	VA
A/C and CENTRAL HEA	T LOAD - (100% o	of the large	er load)						
AHU-4	3 TON W/ 10.0K	W AUX H	EAT	X 65%	=	9,126 VA			
CU-4 (heat pump)	3 TONS			X 100%	=	5,280 VA			
TOTAL HEAT LOAD (he	eat pump and aux h	neat do no	t run concuri	ent)				9,126	VA
				TOTAL D		ID LOAD :	=	28,152	١/٨

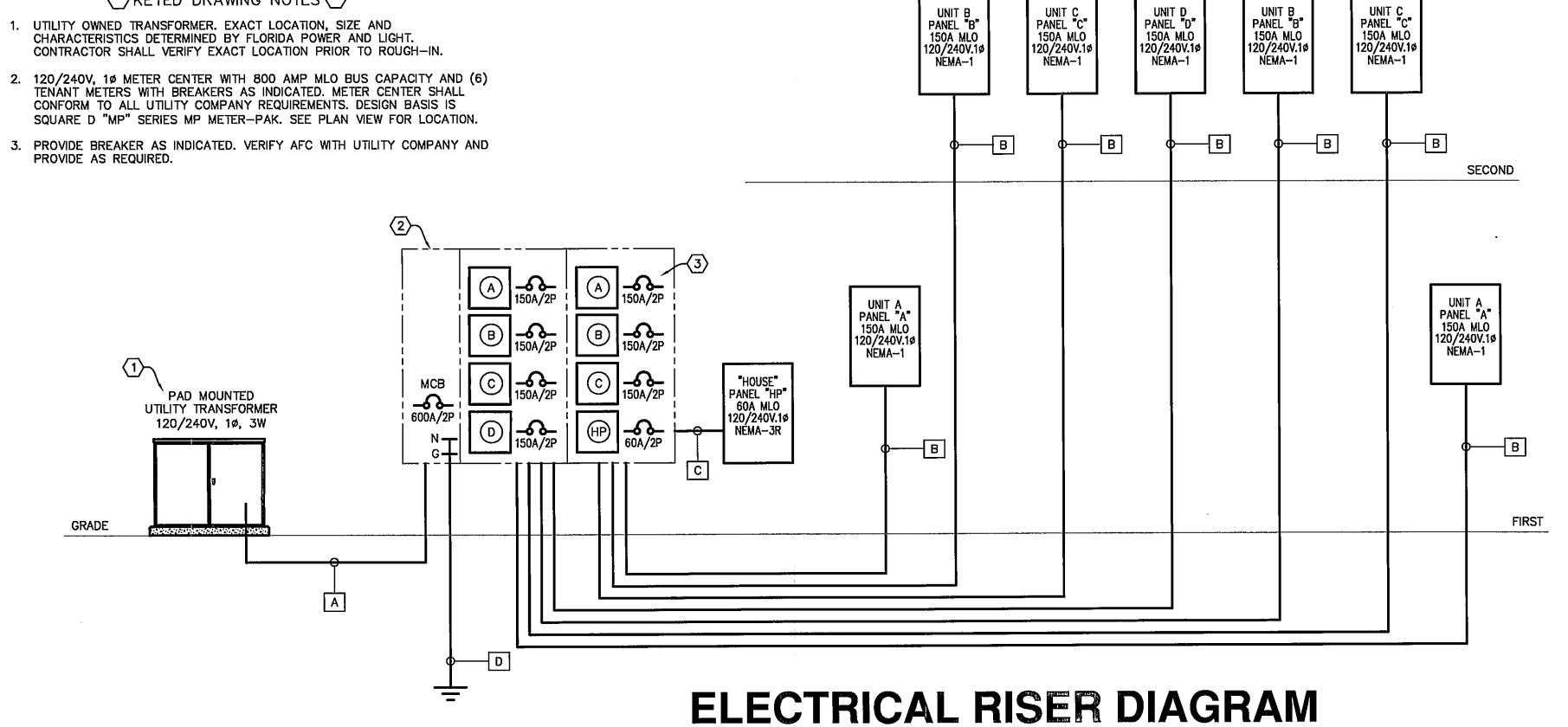
	TOTAL LIVING		1 57/ C	Q. FEET				
	TOTAL LIVING		1,074 0	OQ. ITEE!				
GENERAL LIGHTING	3 VA	X	1,574 S	Q. FEET	=	4,722 VA		
SMALL APPLIANCE	2 CKT	Χ	1,500 ∖	/ A	=	3,000 VA	\	
LAUNDRY	1 CKT	X	1,500 ∖	<u>'A</u>	=	1,500 VA		_
TOTAL CONNECTED	GENERAL LOAD					=	9,222	: VA
WATER HEATER					=	6,000 VA	\	
REFRIGERATOR					=	800 VA	\	
GARBAGE DISPOSE	R				=	1,200 VA	١.	
DISHWASHER					=	900 VA	A.	
RANGE					=	8,000 VA	\	
DRYER					=	5,000 VA		
MICROWAVE				· _	=	1,200 VA		<u> </u>
TOTAL CONNECTED	FIXED APPLIANCI	E LOAD				=	23,100) VA
TOTAL CONNECTED	GENERAL LOAD A	AND FIXE	D APPLIAN	CE LOAD		=	32,322	? VA
SUB-TOTAL GENERA	AL LOAD - 1st 10kV	A @ 1009	6				=	10,000 VA
SUB-TOTAL GENERA							=	8,929 VA
TOTAL GENERAL LO	AD	_						18,929 VA
A/C and CENTRAL H	EAT LOAD - (100%	of the larg	er load)					
AHU-1	2-1/2 TON W/ 1	_	•	X 65%	=	9,126 VA	4	
CU-1(heat pump)	2-1/2 TONS			X 100%	=	5,064 V	4	
TOTAL HEAT LOAD	(heat pump and aux	heat do n	ot run concu	rrent)				9,126 VA

		RISER DIAGRAM — WIRE TAG LEGEND
[Α	2 SETS: (2) 500 MCM AL, 500 MCM AL N, 3" C.
[В	(2) #3/0 AL, #3/0 AL N, #4 AL EGC, 2" C.
	C	(2) #6 AL, #6 AL N, #8 AL EGC, 1" C.
	D	#1/0 CU GRD AND 5/8" DRIVEN RODS PER NEC AND LOCAL CODE. BOND TO BUILDING STEEL AND/OR COLD WATER WHERE APPLICABLE.

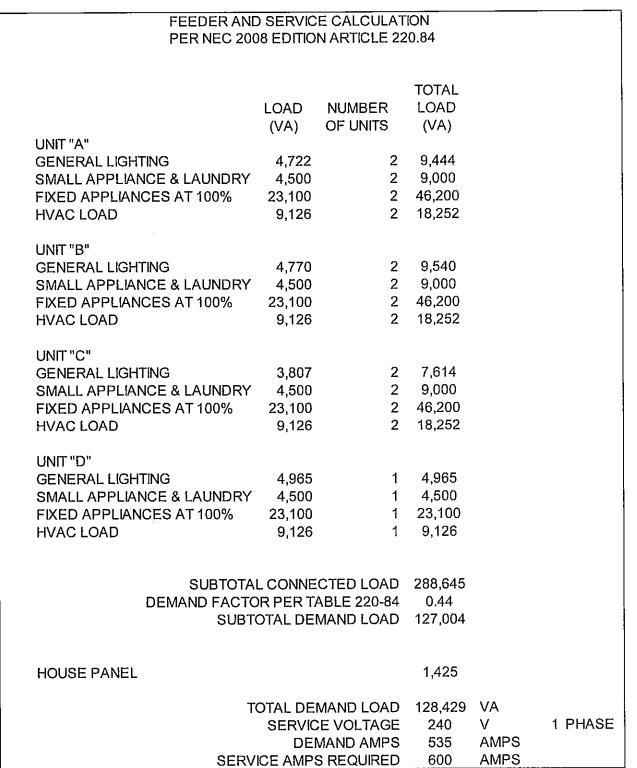
KEYED DRAWING NOTES

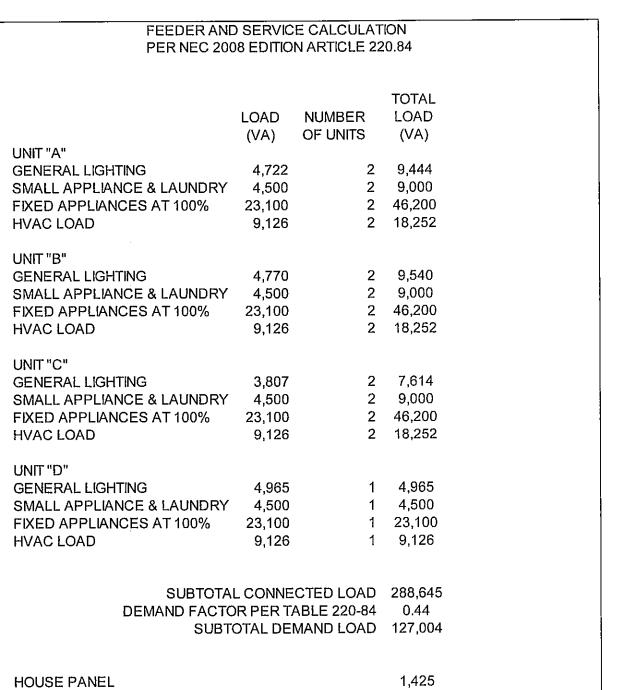
UTILITY OWNED TRANSFORMER. EXACT LOCATION, SIZE AND CHARACTERISTICS DETERMINED BY FLORIDA POWER AND LIGHT. CONTRACTOR SHALL VERIFY EXACT LOCATION PRIOR TO ROUGH—IN.

2. 120/240V, 10 METER CENTER WITH 800 AMP MLO BUS CAPACITY AND (6) TENANT METERS WITH BREAKERS AS INDICATED. METER CENTER SHALL CONFORM TO ALL UTILITY COMPANY REQUIREMENTS. DESIGN BASIS IS SQUARE D "MP" SERIES MP METER-PAK. SEE PLAN VIEW FOR LOCATION.











JOB SITE PLANS This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Serepare County Countraction and



160 East Bay Street Osprey, Florida 342



02-04-1

Permit

DESIGN

www.bsbdesign.com 11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335 JOB NO: 02T12034 PROJ MGR: JD

CHECKED: RISER DIAGRAM AND LOAD CALCULATIONS

E1.1

DISCONNECT MEANS

60A/2P/NF/N-1

60A/2P/NF/N-3R 30A/2P/NF/N-1 RECEPTACLE

RECEPTACLE

5.9 AMPS

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CHECKED: BUILDING **ELECTRICAL** PLANS

E2.1

CU-1 A-1,3 CU-2 B-1,3 PANEL "HP" | 120/240V. 1PH, 3W

PA	PANEL "HP"		120/240V. 1PH, 3W	60A MI	_O	O NEMA-3R			22,000 AIC	OPTIOI	vie.
SQL	JARE D	: QO	VOLTAGE/PHASE	60A BU	IS	s	URFAC	E	SERIES RATED		10.
СКТ	AMPS	POLE	DESCRIPTION	NOTES	LOAD VA	СКТ	AMPS	POLE	DESCRIPTION	NOTES	LOAE VA
1	20	1	SPARE		0	2	20	1	LIGHTING	1	900
3	20	1	SPARE		0	4	20	1	SPRINKLER CONTROL	1	300
5	20	1	SPARE		0	6	20	1	SPARE		0
7	20	1	SPARE	<u>.</u>	0	8	20	1	SPARE		0
9	20	1	SPARE		0	10	20	1	SPARE		0
1 1	20	1	SPARE		0	12	20	1	SPARE		0
					LOAD			NECTED		DEMAND	
NOTES	NOTES:				DESCRIP		LOA	(AD (VA)	FACTOR 1.25	LOAD (VA)	
<u>1.</u>	1. (2) #10 CU, #10 CU GRD - 1/2"C			LIGHTING			900	0.00	1125		
2.			HVAC - H	C - COOL 0		0	0.00	0			
3.					RECEPTA			0	0.00	0	
4. 5.	<u> </u>				MISC	TOLE		300	1.00	0 300	
. U.	Į.								1.00	300	

TOTAL

TOTAL DEMAND CURRENT @ 120/240V, 1PH

1200

EQUIPMENT SCHEDULE

N/A # 10

#10 #10

VOLTAGE | PHASE | PHASE | NUETRAL | GROUND |

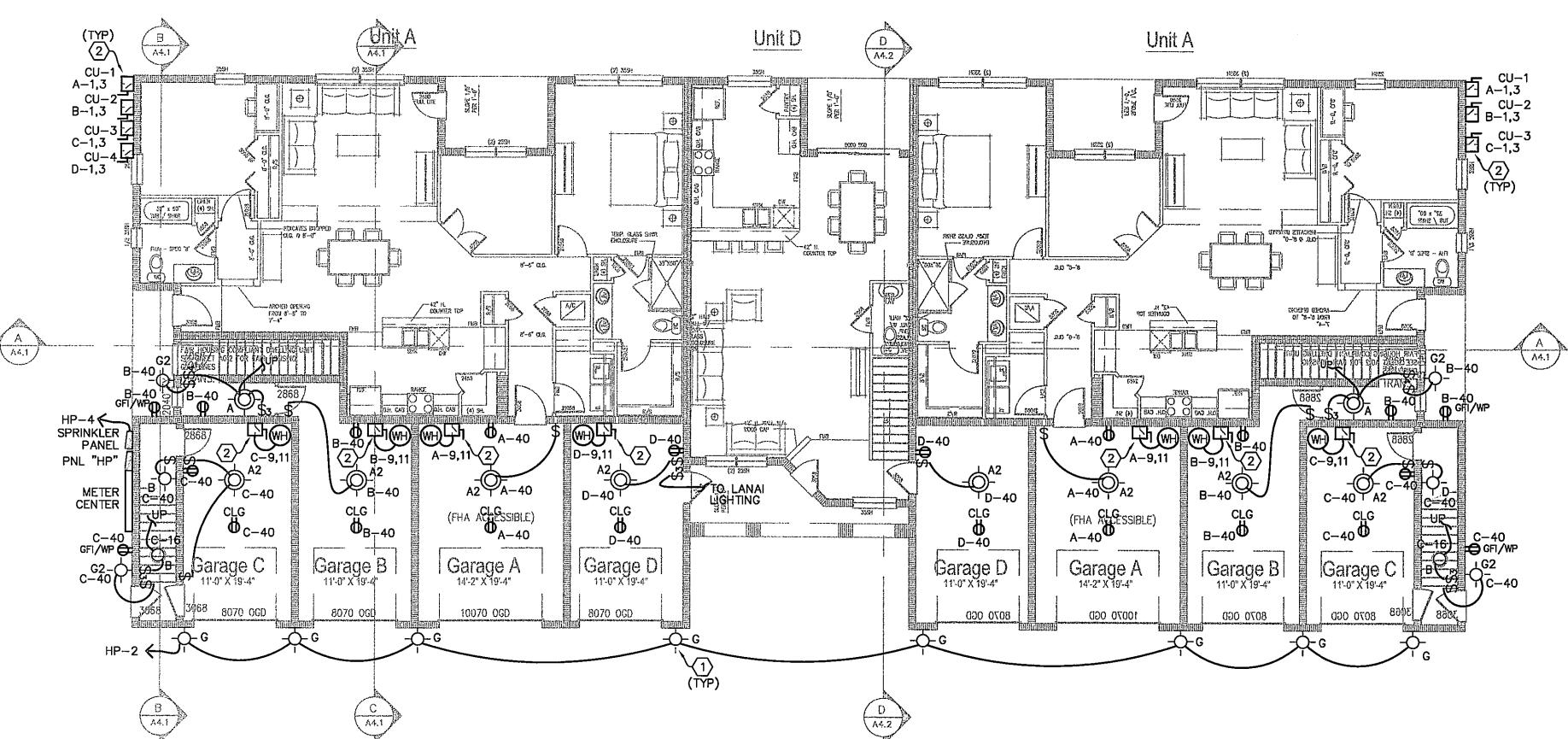
1 (2) # 8

AHU-1,2,3 & 4

CU-2 & 4

JOB SITE PLANS This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasota County Construction and Property Standards Department

- FIXTURE PROVIDED SHALL BE EQUIPPED WITH A PHOTOCELL. PROVIDE UNSWITCHED CIRCUIT AS REQUIRED.
- 2. SEE EQUIPMENT SCHEDULE THIS SHEET FOR DISCONNECT SIZES, FUSING (WHERE REQUIRED) AND CONDUCTOR SIZES. CONDENSING UNIT DISCONNECT SWITCHES SHALL BE PROVIDED WITH BUILT-IN GFI/WP

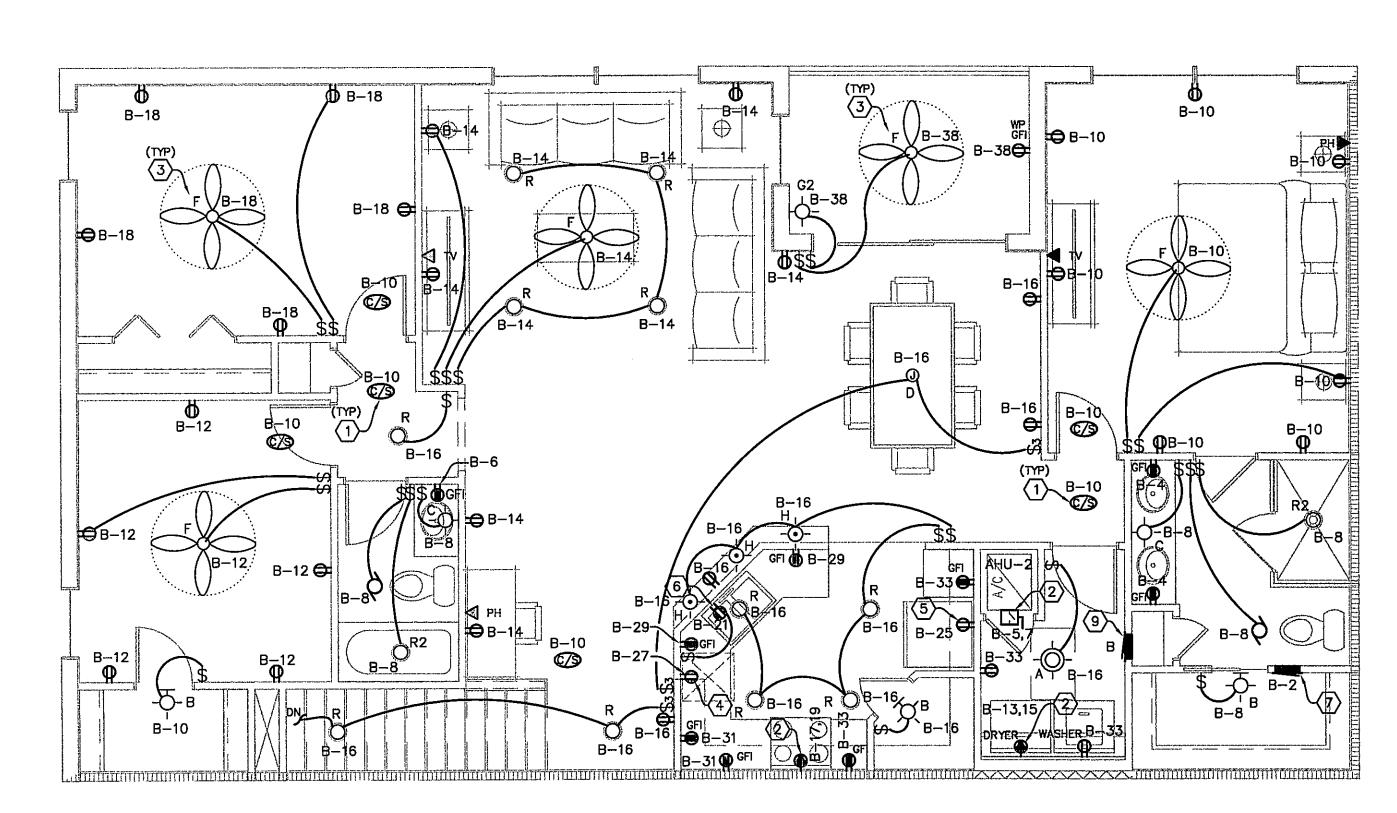


1st Floor Electrical Plan

<u>Unit B</u>	<u>Unit D</u>	<u>Unit B</u>
<u>Unit C</u>		<u>Unit C</u>

2nd Floor Electrical Plan SCALE: 1/8" = 1'-0"

Unit A Electrical Plan SCALE: 1/4"=1"



Unit B Electrical Plan
SCALE: 1/4"=1"



KEYED DRAWING NOTES

- 1. PROVIDE COMBINATION CARBON MONOXIDE AND SMOKE DETECTORS PER ALL APPLICABLE CODES. DETECTORS SHALL BE 120V. WITH BATTERY BACK—UP AND INTERCONNECTED SO THAT THE INITIATION OF ANY GIVEN DETECTOR SHALL SOUND ALL DETECTORS.
- 2. SEE EQUIPMENT SCHEDULE THIS SHEET FOR DISCONNECT SIZES, FUSING (WHERE REQUIRED) AND CONDUCTOR SIZES. CONDENSING UNIT DISCONNECT SWITCHES SHALL BE PROVIDED WITH BUILT—IN GFI/WP RECEPTACLES.
- 3. PROVIDE FAN RATED J-BOX TO SUPPORT THE WEIGHT OF THE FIXTURE/FAN SELECTED AT ALL FAN AND FUTURE FAN LOCATIONS. ALL FANS SHALL BE PRE-WIRED FOR SEPARATE LIGHTING CONTROL REGARDLESS IF LIGHT KIT IS BEING PROVIDED. WHERE SWITCHING IS NOT REQUIRED AT THIS TIME PROVIDE BLANK COVER PLATE AND TAG CONDUCTORS FOR FUTURE IDENTIFICATION.
- 4. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR UNDER COUNTER DISHWASHER. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH—IN AND PROVIDE AS REQUIRED.
- 5. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR REFRIGERATOR/FREEZER. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH—IN AND PROVIDE AS REQUIRED.
- 6. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR GARBAGE DISPOSAL. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH—IN AND PROVIDE AS REQUIRED.
- 7. PROVIDE 120V CIRCUIT AS INDICATED FOR LOW VOLTAGE PANEL. TOP OF PANEL MOUNTED AT 12" BELOW CEILING. COORDINATE EXACT LOCATION AND MOUNTING REQUIREMENTS FOR RECEPTACLE PRIOR TO ROUGH—IN AND PROVIDE AS REQUIRED. LOW VOLTAGE PANEL SHALL BE UTILIZED FOR CATV/DATA/COMM DISTRIBUTION ONLY AND SHALL NOT CONTAIN OVERCURRENT DEVICES.
- 8. CONNECT EXHAUST FAN FOR DRYER VENT TO CIRCUIT SHOWN. COORDINATE WITH DIV. 15 FOR EXACT LOCATION PRIOR TO ROUGH-IN. PROVIDE 20A/1P MOTOR RATED SNAP SWITCH IF FAN IS NOT PROVIDED WITH FACTORY DISCONNECT.
- 9. CONTRACTOR SHALL INSTALL PANEL AS INDICATED AND MAINTAIN ALL WORKING SPACES PER NEC ART. 110.26. CONTRACTOR SHALL FIELD COORDINATE WITH OTHER TRADES AS REQUIRED TO MAINTAIN REQUIRED DEDICATED ELECTRICAL SPACE.

				ENT CC	UEDIII E	
TAG	VOLTAGE	PHASE		NUETRAL	HEDULE GROUND	DISCONNECT MEANS
CU-1 & 3	240	1	(2) # 10	N/A	# 10	30A/2P/NF/N-3R
AHU-1,2,3 & 4	240	1	(2)#6	N/A	# 10	60A/2P/NF/N-1
CU-2 & 4	240	1	(2) # 8	N/A	#10	60A/2P/NF/N-3R
WH	240	1	(2) # 10	N/A	# 10	30A/2P/NF/N-1
DRYER	240	1	(2) # 10	#10	#10	RECEPTACLE
RANGE	240	1	(2) # 8	#10	#10	RECEPTACLE

PA	NEL '	'A"	120/240V. 1PH, 3W	N	IEMA-	1	150A MLO
SQL	ARE D	: QO	VOLTAGE/PHASE		FLUSH		150A BUS
CKT	AMPS	POLE	DESCIPTION	СКТ	AMPS	POLE	DESCIPTION
1	30	2	CU-1	2	15	1	LV PNL/BOOSTER FAN - AFCI
3				4	20	1	MASTER BATH GFI RECEPT
5	60	2	AHU-1	6	20	1	BATHROOM 2 GFI RECEPT
7				8	15	1	BATHROOMS - GENERAL
9	35	2	WATER HEATER	10	15	1	MASTER BEDROOM - AFCI
11			6 KW	12	15	1	BEDROOM 2 - AFCI
13	30	2	DRYER	14	15	1	LIVING RM - AFCI
15				16	15	1	GENERAL - AFCI
17	40	2	RANGE	18	15	1	DEN - AFCI
19				20		_	SPACE
21	20	1	DISPOSAL	22			SPACE
23	20	1	SMALL APPLIANCE	24			SPACE
25	20	1	REFRIGERATOR	26			SPACE
27	20	1	DISHWASHER	28			SPACE
29	20	1	SMALL APPLIANCE	30			SPACE
31	20	1	SMALL APPLIANCE	32			SPACE
33	20	1	LAUNDRY	34			SPACE
35			SPACE	36			SPACE
37			SPACE	38	15	1	LANAI
39			SPACE	40	15	1	GARAGE

P/	NEL '	'B"	120/240V. 1PH, 3W	N	IEMA-	1	150A MLO
sql	JARE D	: QO	VOLTAGE/PHASE		FLUSH		150A BUS
CKT	AMPS	POLE	DESCIPTION	CKT	AMPS	POLE	DESCIPTION
1	35	2	CU-2	2	15	1	LV PANEL - AFCI
3				4	20	1	MASTER BATH GFI RECEPT
5	60	2	AHU-2	6	20	1	BATHROOM 2 GFI RECEPT
7				8	15	1	BATHROOMS - GENERAL
9	35	2	WATER HEATER	10	15	1	MASTER BEDROOM - AFCI
11			6 KW	12	15	1	BEDROOM 2 - AFCI
13	30	2	DRYER	14	15	1	LIVING RM - AFCI
15				16	15	1	GENERAL - AFCI
17	40	2	RANGE	18	15	1	BEDROOM 3 - AFCI
19				20			SPACE
21	20	1	DISPOSAL	22			SPACE
23	20	1	SMALL APPLIANCE	24			SPACE
25	20	1	REFRIGERATOR	. 26			SPACE
27	20	1	DISHWASHER	28			SPACE
29	20	1	SMALL APPLIANCE	30			SPACE
31	20	1	SMALL APPLIANCE	32			SPACE
33	20	1	LAUNDRY	34			SPACE
35			SPACE	36			SPACE
37			SPACE	38	15	1	LANAI
39			SPACE	40	15	1	GARAGE

This set of plans must be kept on the job site of work at all times.

per Sarasota County Ordinance
Sarasota Ceunty Censurusian and Eughnery, Standards Department.

02/04/2014

02/04/2014

1. F. SHANNON, PE

F. REG. NO. PE0013678

REVISIONS

B. R. H. B. S. S. S. S. Suite

Street Village
Condominium Building

Bay 7 Unit

160 East Bay Street Osprey, Florida 342

BSB DESIGN

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JOB NO: 02T12034 PROJ MGR: JE
DRAWN: CHECKED:

UNITS A AND B
FI FCTRICAL

UNITS A AND B ELECTRICAL PLANS

E3.1

D-10 **©**/**S**

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JOB NO: 02T12034 PROJ MGR: JD CHECKED: UNITS C AND D

ELECTRICAL

E3.2

Permit

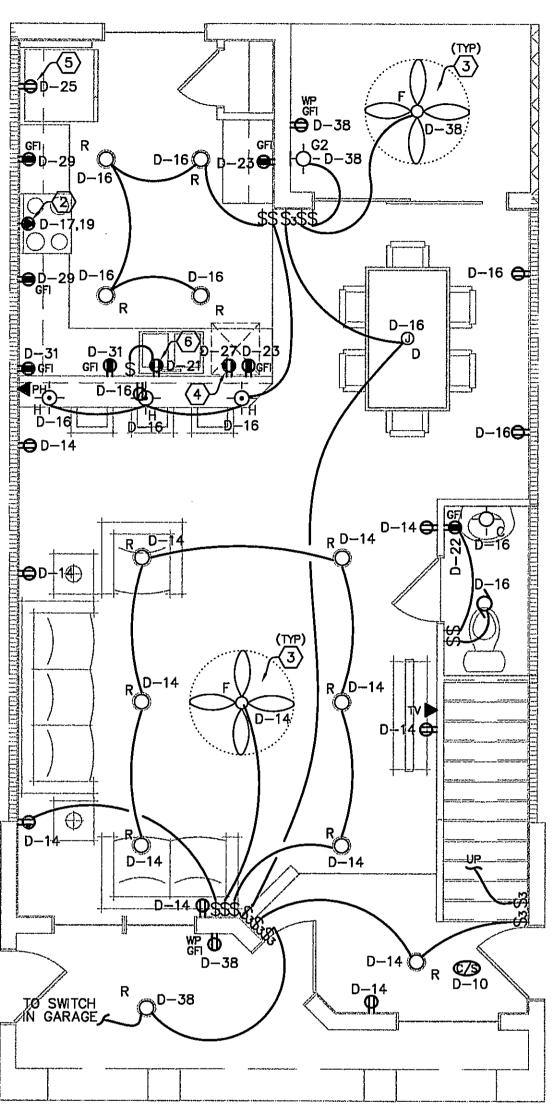
C-10 ©/\$

Unit C Electrical Plan

PA	ANEL'	'C"	120/240V. 1PH, 3W	N	IEMA-	.1	150A MLO
SQL	JARE D	:QO	VOLTAGE/PHASE		FLUSH		150A BUS
CKT	AMPS	POLE	DESCIPTION	СКТ	AMPS	POLE	DESCIPTION
1	30	2	CU-3	2	15	1	LV PANEL - AFCI
3				4	20	1	MASTER BATH GFI RECEPT
5	60	2	AHU-3	6	20	1	BATHROOM 2 GFI RECEPT
7				8	15	1	BATHROOMS - GENERAL
9	35	2	WATER HEATER	10	15	1	MASTER BEDROOM - AFCI
11			6 KW	12	15	1	BEDROOM 2 - AFCI
13	30	2	DRYER	14	15	1	LIVING RM - AFCI
15				16	15	1	GENERAL - AFCI
17	40	2	RANGE	18			SPACE
19				20			SPACE
21	20	_ 1	DISPOSAL	22			SPACE
23	20	1	SMALL APPLIANCE	24			SPACE
25	20	1	REFRIGERATOR	26			SPACE
27	20	1	DISHWASHER	28			SPACE
29	20	1	SMALL APPLIANCE	30			SPACE
31	20	1	SMALL APPLIANCE	32			SPACE
33	20	1	LAUNDRY	34			SPACE
35			SPACE	36			SPACE
37			SPACE	38	15	1	LANAI
39			SPACE	40	15	1	GARAGE

P/	NEL '	'D"	120/240V. 1PH, 3W	١	IEMA-	.1	150A MLO
squ	JARE D	: QO	VOLTAGE/PHASE	FLUSH			150A BUS
СКТ	AMPS	POLE	DESCIPTION	СКТ	AMPS	POLE	DESCIPTION
1	35	2	CU-4	2	15	1	LV PANEL - AFCI
3				4	20	1	MASTER BATH GFI RECEPT
5	60	2	AHU-4	6	20	1	BATHROOM 2 GFI RECEPT
7				8	15	1	BATHROOMS - GENERAL
9	35	2	WATER HEATER	10	15	1	MASTER BEDROOM - AFCI
11			6 KW	12	15	1	BEDROOM 2 - AFCI
13	30	2	DRYER	14	15	1	LIVING RM - AFCI
15				16	15	1 .	GENERAL - AFCI
17	40	2	RANGE	18	15	1	BEDROOM 3 - AFCI
19				20	15	1	GENERAL - AFCI
21	20	1	DISPOSAL	22	20	1	BATHROOM 3 GFI RECEPT
23	20	1	SMALL APPLIANCE	24			SPACE
25	20	1	REFRIGERATOR	26			SPACE
27	20	1	DISHWASHER	28			SPACE
29	20	1	SMALL APPLIANCE	30			SPACE
31	20	1	SMALL APPLIANCE	32			SPACE
33	20	1	LAUNDRY	34			SPACE
35			SPACE	36			SPACE
37			SPACE	38	15	1	LANAI
39			SPACE	40	15	1	GARAGE

		EC	QUIPM	ENT SC	HEDULE	
TAG	VOLTAGE	PHASE	PHASE	NUETRAL	GROUND	DISCONNECT MEANS
CU-1 & 3	240	1	(2) # 10	N/A	# 10	30A/2P/NF/N-3R
AHU-1,2,3 & 4	240	1	(2)#6	N/A	# 10	60A/2P/NF/N-1
CU-2 & 4	240	1	(2) # 8	N/A	#10	60A/2P/NF/N-3R
WH	240	1	(2) # 10	N/A	# 10	30A/2P/NF/N-1
DRYER	240	1	(2) # 10	#10	#10	RECEPTACLE
RANGE	240	1	(2) # 8	#10	#10	RECEPTACLE



Unit D 1st Floor Electrical Plan

Unit D 2nd Floor Electrical Plan

- 1. PROVIDE COMBINATION CARBON MONOXIDE AND SMOKE DETECTORS PER ALL APPLICABLE CODES. DETECTORS SHALL BE 120V. WITH BATTERY BACK-UP AND INTERCONNECTED SO THAT THE INITIATION OF ANY GIVEN DETECTOR SHALL SOUND ALL DETECTORS.
- 2. SEE EQUIPMENT SCHEDULE THIS SHEET FOR DISCONNECT SIZES, FUSING (WHERE REQUIRED) AND CONDUCTOR SIZES. CONDENSING UNIT DISCONNECT SWITCHES SHALL BE PROVIDED WITH BUILT-IN GFI/WP RECEPTACLES.
- 3. PROVIDE FAN RATED J-BOX TO SUPPORT THE WEIGHT OF THE FIXTURE/FAN SELECTED AT ALL FAN AND FUTURE FAN LOCATIONS. ALL FANS SHALL BE PRE-WIRED FOR SEPARATE LIGHTING CONTROL REGARDLESS IF LIGHT KIT IS BEING PROVIDED. WHERE SWITCHING IS NOT REQUIRED AT THIS TIME PROVIDE BLANK COVER PLATE AND TAG CONDUCTORS FOR FUTURE IDENTIFICATION.
- 4. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR UNDER COUNTER DISHWASHER. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED.
- 5. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR REFRIGERATOR/FREEZER. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED.
- 6. PROVIDE DEDICATED 120V CIRCUIT AND 20A RECEPTACLE FOR GARBAGE DISPOSAL. COORDINATE EXACT LOCATION AND RECEPTACLE CONFIGURATION WITH MANUFACTURER SPECIFICATIONS PRIOR TO ROUGH-IN AND PROVIDE AS REQUIRED.
- 7. PROVIDE 120V CIRCUIT AS INDICATED FOR LOW VOLTAGE PANEL. TOP OF PANEL MOUNTED AT 12" BELOW CEILING. COORDINATE EXACT LOCATION AND MOUNTING REQUIREMENTS FOR RECEPTACLE PRIOR TO ROUGH—IN AND PROVIDE AS REQUIRED. LOW VOLTAGE PANEL SHALL BE UTILIZED FOR CATV/DATA/COMM DISTRIBUTION ONLY AND SHALL NOT CONTAIN OVERCURRENT DEVICES.
- 8. CONTRACTOR SHALL INSTALL PANEL AS INDICATED AND MAINTAIN ALL WORKING SPACES PER NEC ART. 110.26. CONTRACTOR SHALL FIELD COORDINATE WITH OTHER TRADES AS REQUIRED TO MAINTAIN REQUIRED DEDICATED ELECTRICAL SPACE.

This set of plans must be kept on the job site of work at all times, per Sarasota County Ordinance Sarasota County Construction and Property Standards Department

130 1234

240/1

3 DISCONNECTS BY DIVISION 16

4 PROVIDE WITH UNIT STAND

58.5

60

D.R.HORION

age Buildir Street Vills Sondominium E ay Stronida

DESIGN

www.bsbdesign.com 11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335

JOB NO: 02T11002 PROJ MGR: JPS DRAWN: JPS CHECKED: MDL

GENERAL: ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. AND LOCAL CODES AND ORDINANCES. INSTALLATION SHALL COMPLY WITH THE STANDARDS SET BY NFPA, ASHRAE, SMACNA, NEC AND UL.

THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING A PROPOSAL. THE INFORMATION GIVEN HEREIN AND ON THE DRAWINGS IS AS EXACT AS COULD BE SECURED, BUT ITS EXTREME ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION GIVEN AS EXISTING CONDITIONS.

THE DRAWINGS ARE DIAGRAMMATIC, INTENDED TO SHOW GENERAL ARRANGEMENT, CAPACITY AND LOCATION OF VARIOUS COMPONENTS, EQUIPMENT, AND DEVICES.

THE SYSTEMS, EQUIPMENT, DEVICES AND ACCESSORIES SHALL BE INSTALLED, FINISHED, TESTED AND ADJUSTED FOR CONTINUOUS AND PROPER OPERATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK FITTING IN PLACE AND SHALL COORDINATE WITH OTHER TRADES TO AVOID INTERFERENCE WITH THEIR WORK.

IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK, OR SHOULD DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND THE MANUFACTURER'S RECOMMENDATIONS, OR DISCREPANCIES OCCUR BETWEEN ACTURAL CONDITIONS AND CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REQUEST INTERPRETATION BEFORE PROCEEDING WITH WORK.

CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE THE INSTALLATION WHETHER OR NOT SPECIFIED IN THE DOCUMENTS.

REFER TO ARCHITECTURAL EXTERIOR BUILDING ELEVATIONS FOR LOCATION OF LOUVERS AND WALL CAPS ON EXTERIOR FACADES.

CONTRACTOR SHALL CLEAN COILS AND REPLACE FILTERS AT SUBSTANTIAL COMPLETION.

OPERATING AND MAINTENANCE DATA: SUBMIT THREE COPIES OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS AND SPARE PARTS LIST FOR EACH PIECE OF EQUIPMENT.

GUARANTEE: THE ONE-YEAR GUARANTEE PERIOD SHALL NOT START UNTIL THE PROJECT IS FULLY COMPLETED AND THE CONTRACTOR HAS RECEIVED THE FINAL PAYMENT AND CERTIFICATION OF COMPLETION. ALL EQUIPMENT AND ALL WORK SHALL BE FULLY GUARANTEED, PARTS AND LABOR, FOR ONE YEAR FROM THE DATE OF THE CERTIFICATE OF COMPLETION. REPAIRS MADE DURING THIS PERIOD MUST BE FULLY GUARANTEED FOR AN ADDITIONAL ONE YEAR PERIOD FROM THE DATE OF REPAIRS. IN ADDITION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO THE BUILDING, AND ITS CONTENTS OR OTHER EQUIPMENT, CAUSED BY DEFECTS OR IMPROPER INSTALLATION OF EQUIPMENT OR MATERIAL INSTALLED. ALL HAVC UNITS SHALL HAVE A FIVE (5) YEAR WARRANTY ON COMPRESSORS.

SHOP DRAWINGS: THE CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH PROCEDURES OUTLINED IN DIVISION 1. RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SUBMITTALS SHALL NOT BE RELIEVED BY THE ARCHITECT'S OR ENGINEER'S REVIEW. ENGINEER'S PROCESSING WILL NOT CONSTITUTE A COMPLETE CHECK BUT WILL INDICATE ONLY THAT A GENERAL METHOD OF CONSTRUCTION AND DETAILING IS SATISFACTORY.

AS-BUILT DRAWINGS: THE CONTRACTOR SHALL KEEP A RUNNING SET OF DRAWINGS SHOWING ALL FIELD MODIFICATIONS FROM THE PERMIT SET IN A CLEAR, CONCISE MANNOR. THESE DRAWINGS SHALL BE MARKED AS "AS BUILT DRAWINGS" AND HANDED OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.

EQUIPMENT LABELS: ALL MECHANICAL EQUIPMENT SHALL BE LABELED WITH EQUIPMENT TAG AS DESIGNATED ON THE DRAWINGS.

SUBSTITUTIONS: EQUIPMENT AND MATERIALS SPECIFIED SHALL ESTABLISH QUALITY, CAPACITY, TYPE AND DIMENSIONS TO BE INCLUDED IN BASE BID. SUBSTITUTIONS MAY BE CONSIDERED. APPROVAL OF SUCH SUBSTITUTIONS WILL BE BASED ON ABILITY AND CAPACITY TO PERFORM FUNCTION SERVED, QUALITY AND AVAILABILITY OF PARTS AND SERVICE, QUALITY OF EQUIPMENT, MANUFACTURER WARRANTY AND HISTORY OF SERVICE. ETC. THE ENGINEER SHALL REVIEW ALL REQUESTS BUT RESERVES THE RIGHT OF JUDGMENT TO APPROVE OR REJECT ALL PROPOSED SUBSTITUTIONS. IF A SUBSTITUTED PRODUCT OR EQUIPMENT IS REJECTED, PROVIDE THE SPECIFIED PRODUCT OR EQUIPMENT.

ACCESS: CONTRACTOR SHALL ENSURE THAT ACCESS IS PROVIDED FOR ALL ITEMS REQUIRING ACCESS FOR ADJUSTING OR MAINTENANCE. PROVIDE ACCESS PANELS AND DUCT ACCESS DOORS AS NECESSARY WITH NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL REVIEW MANUFACTURER'S RECOMMENDED CLEARANCES FOR ALL EQUIPMENT AND ENSURE THAT MINIMUM CLEARANCES ARE PROVIDED.

DUCT ACCESS DOORS SHALL BE HINGED TYPE. PROVIDE INSULATED ACCESS DOORS FOR INSULATED DUCTWORK. CONSTRUCT OF SAME OR THICKER GAUGE SHEETMETAL AS DUCT IN WHICH IT IS INSTALLED. PROVIDE FLUSH FRAMES FOR UNINSULATED DUCTS. PROVIDE CONTINUOUS HINGE ON ONE SIDE, WITH ONE HANDLE-TYPE LATCH FOR ACCESS DOORS 12" HIGH AND SMALLER AND TWO HANDLE-TYPE LATCHES FOR LARGER ACCSS DOORS.

TEST AND BALANCE: THE CONTRACTOR SHALL ENSURE THAT ALL HVAC DEVICES AND SYSTEMS ARE COMPLETE, TESTED AND BALANCED, AND READY FOR OPERATION WHEN THE FACILITY IS HANDED OVER TO THE OWNER. THE HVAC SYSTEM SHALL BE TESTED IN ACCORDANCE WITH AABC OR NEBB. ELIMINATE OBJECTIONABLE NOISE AND VIBRATION, AND ASSURE PROPER FUNCTION OF CONTROLS. SUBMIT REPORT FOR ENGINEER'S REVIEW. CORRECT ALL DISCREPANCIES.

WIND RESISTANCE: ALL EQUIPMENT, APPLIANCE, AND SUPPORTS LOCATED EXTERIOR OF THE FACILITY SHALL BE INSTALLED TO RESIST WIND LOADS AS DETAILED IN THE FLORIDA BUILDING CODE-CHAPTER 16.

CUTTING AND PATCHING: ALL OPENINGS AROUND DUCT OR PIPE PENETRATIONS THROUGH SMOKE OR FIRE RATED FLOORS, CEILINGS OR WALLS SHALL BE SEALED AIRTIGHT WITH MATERIAL HAVING A RATING EQUAL TO THE MATERIAL OF THE WALL, CEILING OR FLOOR PENETRATED.

DUCTWORK (GENERAL): DUCTWORK DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS. FABRICATE AND INSTALL IN ACCORDANCE WITH LOW VELOCITY DUCT CONSTRUCTION STANDARDS PUBLISHED BY SHEET METAL AND AIR-CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA). PROVIDE TURNING VANES AT ALL ELBOWS. MAXIMUM ALLOWABLE LEAKAGE IS 2%.

FLEXIBLE DUCT CONNECTORS: PROVIDE UL LISTED 30 OUNCE NEOPRENE COATED FIBERGLASS FABRIC DUCT CONNECTORS AT INTAKE AND DISCHARGE OF ALL HVAC

<u>FIBROUS GLASS DUCTWORK:</u> SUPPLY AND RETURNS SHALL BE FIBERGLASS DUCTBOARD. DUCTBOARD SHALL HAVE WITH AN INTERIOR SURFACE WHICH INHIBITS MOLD AND MILDEW GROWTH. DUCTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH "FIBROUS GLASS DUCT CONSTRUCTION STANDARDS" BY SMANCA. DUCTWORK SHALL HAVE AN OPERATING RANGE OF POSITIVE OR NEGATIVE 2 INCHES W.G. PRESSURE, 1200 FPM VELOCITY AND 250°F AIR TEMPERATURE. DUCTS SHALL BE CONSTRUCTED OF 1-1/2" THICK (R-6) DUCTBOARD WITH A CLASS 1 UL-181 LISTING.

GALVANIZED SHEET METAL DUCTWORK: EXHAUST DUCTS SHALL BE GALVANIZED SHEET METAL DUCTWORK. SEAL ALL JOINTS WITH FLEXIBLE MASTIC SEALANT RECOMMENDED BY SMACNA. 'T-FLEX' MAY BE USED FOR THE FINAL CONNECTION TO THE EXHAUST FANS. AND NOT EXCEED 4 FEET.

FLEXIBLE DUCTWORK: PROVIDE FACTORY ASSEMBLED CLASS 1 AIR DUCT (UL-181) WITH 1" THICK 1 PCF FIBERGLASS INSULATION (R-6) AND REINFORCED OUTER PROTECTIVE COVER/VAPOR BARRIER, WITH A ENCAPSULATED HELIX COIL. FLEXIBLE DUCT SHALL MEET NFPA 90A WITH FLAME SPREAD UNDER 25, SMOKE DEVELOPED UNDER 50 AND SHALL BE RATED FOR MINIMUM 2" W.G. PRESSURE AND 0 TO 250°F TEMPERATURE.

CARE IS TO BE TAKEN THAT ALL RUNOUTS OF FLEXIBLE DUCT ARE INSTALLED AS STRAIGHT AS PRACTICAL AND FASTENED SO AS TO ELIMINATE AIR LEAKAGE. THE INSTALLATION SHALL CONFORM TO THE TECHNIQUES SHOWN IN THE UL APPROVED AND FACTORY-SUPPLIED INSTRUCTIONS SPECIFIED FOR THE PRODUCT.

DRYER VENTS: FURNISH AND INSTALL VENTS FOR EACH DRYER. INSTALL, SIZE AND LENGTH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS WHICH WILL SUPERSEDE SIZES LISTED ON THE DRAWINGS IF DISCREPANCIES OCCUR. DUCT JOINTS SHALL NOT BE ASSEMBLED WITH SHEET METAL SCREWS OR OTHER FASTENING MEANS WHICH WILL EXTEND INTO THE DUCT. MINIMUM SIZE SHALL BE 4 INCHES. PROVIDE WEATHER CAP AND BACKDRAFT DAMPER. PROVIDE DRYER-BOX WALL PAN.

AIR DEVICES: PROVIDE GRILLES AND DIFFUSERS WITH THE CHARACTERISTICS SHOWN ON THE AIR—DEVICE SCHEDULE. REFER TO ARCHITECTURAL REFLECTIVE CEILING PLAN FOR FINAL AIR-DEVICE LOCATIONS.

REFRIGERANT PIPING: PROVIDE REFRIGERANT SUCTION AND LIQUID LINES AS NEEDED FROM EACH CONDENSING UNIT TO ITS RESPECTIVE DX COOLING COIL. PIPING SHALL BE ACR DRIED AND SEALED, SOFT COPPER WITH WROUGHT COPPER BRAZED JOINTS. COORDINATE ALL REFRIGERANT PIPING AND CHARGE WITH EQUIPMENT MANUFACTURER. UNDERGROUND REFRIGERANT LINES SHALL BE RUN IN PVC SLEEVE WITH BOTH ENDS

HEAT PUMP UNITS: PROVIDE PACKAGED COMPRESSOR/CONDENSER HEAT PUMP UNIT WITH CAPACITIES SCHEDULED AND ARE MATCHED WITH AHU. PROVIDE TIME DELAY RESTART RELAY, LOW VOLTAGE CONTROLS TRANSFORMER, CONTROLS FOR START AND OPERATION DOWN TO 36 DEGREES F., FAN RELAY, LIQUID LINE FILTER DRIER, CONTINUOUS PUMPDOWN CONTROLS.

<u>AIR HANDLING UNITS:</u> PROVIDE FACTORY ASSEMBLED AND TESTED PACKAGED AIR HANDLING UNIT MATCHED TO CONDENSING UNIT, WITH THE CAPACITIES SCHEDULED. UNITS SHALL USE R-410 A REFRIGERANT. UNITS SHALL BE UL AND AHRI CERTIFIED. UNITS SHALL HAVE FILTER RACK, ELECTRIC HEATERS, DUAL VOLTAGE, DIRECT DIRIVE BLOWER.

UNITS SHALL HAVE PRIMARY AND SECONDARY CONDENSATE DRAINS. PRIMARY DRAIN SHALL BE RUN TO THE EXTERIOR. SECONDARY DRAIN SHALL HAVE A FLOAT SWITCH TO SHUT DOWN UNIT IF PRIMARY DRAIN IS CLOGGED.

UNITS SHALL HAVE UNIT STAND/PLENUM BOX AND BE PROVIDED VIBRATION ISOLATOR

CONDENSATE DRAINS: CONDENSATE DRAIN LINES SHALL BE PROVIDED BY PLUMBING CONTRACTOR. COORDINATE WITH PLUMBING CONTRACTOR.

CEILING FANS: PROVIDE STANDARD PREFABRICATED CEILING EXHAUST FAN OF THE TYPE AND SIZE SCHEDULED. UNITS SHALL BE INSTALLED AT CEILING WITH MANUFACTURER'S GRILLE. PLUG-IN DISCONNECTS AND BACKDRAFT DAMPER. UNITS SHALL BE INSTALLED LEVEL AND THE INSTALLATION SHALL BE AS VIBRATION FREE AS POSSIBLE.

DRYER BOOSTER FAN: WHEN DRYER VENTS EXCEED ALLOWABLE LENGTH, A UL LISTED DRYER FAN SHALL BE INSTALLED AS SHOWN. FANS SHALL BE DESIGNED TO OPERATE IN HIGH MOISTURE, LINT AND DUCT LADEN AIR. FANS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. FANS SHALL BE CONTROLLED BY PRESSURE SENSOR SWITCH FOR DRYER BOOSTING APPLICATION. FANS SHALL HAVE THE CHARACTERISTICS AND CAPACITIES SCHEDULE. FANS SHALL BE FANTEC OR APPROVED

PROVIDE INDICATOR LIGHT IN LAUNDRY ROOM THAT WILL ILLUMINATE WHEN FAN IS RUNNING. PROVIDE SIGN WHICH READS "BOOSTER FAN INDICATOR".

WINDLOADS: ALL EQUIPMENT INSTALLED EXTERIOR SHALL BE MECHANICALLY FASTENED PER MANUFACTURER'S SPECIFICATIONS TO WITHSTAND LOCAL WIND LOADS AND MEET THE FLORIDA BUILDING CODE REQUIREMENTS OF HURRICANE LOADS.

CONTROLS: ALL WALL MOUNTED THERMOSTATS SHALL BE INSTALLED AT AN ELEVATION OF 44" ABOVE FINISHED FLOOR. LOCATION OF THE THERMOSTATS SHALL BE COORDINATED WITH OTHER TRADES FOR A NEAT APPEARANCE. FINAL LOCATION OF THERMOSTAT SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER OR HIS REPRESENTATIVE IN THE FIELD. TEMPERATURE CONTROLS SHALL BE COMPLETE WITH ALL COMPONENTS REQUIRED TO ACCOMPLISH THE CONTROL SEQUENCE SPECIFIED. MECHANICAL CONTRACTOR SHALL FURNISH, INSTALL AND WIRE ALL TEMPERATURE AND CONTROL INTERLOCKS.

COOLING MODE: WHEN THE TEMPERATURE SENSOR SENSES THE SPACE TEMPERATURE IS ABOVE THE OCCUPIED SETPOINT, IT WILL PLACE THE UNIT IN SPEED COOLING MODE AND CYCLE THE COMPRESSOR TO MAINTAIN SPACE CONDITIONS.

OCCUPIED HEATING MODE: WHEN THE TEMPERATURE SENSES THE SPACE TEMPERATURE IS BELOW THE OCCUPIED SETPOINT, IT WILL PLACE THE UNIT IN HEAT PUMP MODE, AS CONDITIONS CHANGE AND SUPPLEMENTAL HEAT NEEDED. THE UNIT WILL ENERGIZE THE ELECTRICAL HEATER TO MAINTAIN SPACE CONDITIONS.

DEHUMIDIFICATION MODE: WHEN THE HUMIDISTAT SENSOR SENSES THE SPACE HUMIDITY IS ABOVE THE OCCUPIED SETPOINT. IT WILL PLACE THE UNIT IN COOLING MODE AND CYCLE THE COMPRESSOR TO MAINTAIN SPACE CONDITIONS.

MECH	ANICAL LEGEND
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
	SIDEWALL SUPPLY GRILLE
→	SIDEWALL RETURN GRILLE
Δ	RIGID DUCTWORK
	FLEXIBLE DUCTWORK
	DUCT TRANSITION
	SUPPLY DUCT SECTION RETURN DUCT SECTION EXHAUST DUCT SECTION
CFD B	CEILING EXHAUST FAN THERMOSTAT CONTROL HUMIDISTAT CEILING FIRE DAMPER MANUAL VOLUME DAMPER DOOR UNDERCUT ROUND, DIAMETER

MARK	MFG.	MODEL	CAPACII	Y BTU	СОМР	RESSOR	FAN	POWER	MCA	MOCP	SEER	WT	REMARKS
INIVITY	IVII G.	MODEL	COOLING	HEATING	RLA	LRA	FLA	FOWER	WICA	MOCP	SEER	LBS	ILIVIAINS
CU-1, 3	BRYANT	213BNA030	28,400	29,600	16	77	1.1	240/1	21.1	30	14.5	110	1234
CU-2, 4	BRYANT	213BNA036	34,000	29,600	16.7	79	1.1	240/1	22	35	14.5	140	1234
① DISCONI	NECT BY DIV	ISION 16	3 ANTI-S	ANTI-SHORT CYCLE TIMER									
② CRANKO	ASE HEATER		4 INDOOR	4 INDOOR FAN DELAY KIT									
				VID II	V VIDI	ED II	NIIT C					····	
				AIR HANDLER UNIT SCHEDULE									
MARK	MFG.	MODEL	CFM	NOMINAL TONS	ESP	MTR HP	HEATER KW	MCA	МОСР	POWER	WT LBS	REN	MARKS
AHU−1, 3	BRYANT	FX4DNF031T0	1000	2.5	.5	1/3	10	58.5	60	240/1	130	102	34

HEAT PUMP UNIT SCHEDULE

			1		SCHE			T	WEIGHT	<u> </u>
MARK	MFG.	MODEL	CFM	POWER	ESP	AMP	RPM	SONES	WEIGHT LBS	REMARKS
EF-1	GREENHECK	SP-B70	50	115/1	0.2	0.7	700	2.5	10	1234
EF-2	GREENHECK	SP-B90	75	115/1	0.2	0.7	700	2.5	10	0234
EF-3	FANTECH	DBF110	150	115/1	0.2	0.72				056
_	TIPLE FANS			TH BACK DRAF				SSURE SWITCH		

1/2

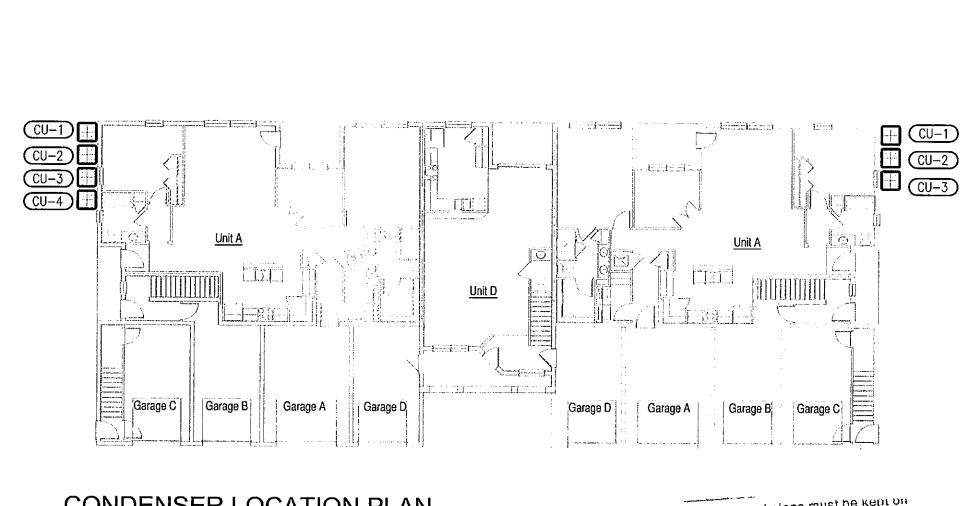
BRYANT FX4DNF037T0

2 PROVIDE HUMIDSTAT

1200

1 PROVIDE DIGITAL HEAT PUMP PROGRAMMABLE THERMOSTAT WITH SUPPLEMENTAL HEAT

			AIR	DEVICE S	SCHEDULE			
MARK	MFG.	MODEL	FUNCTION	TYPE	MATERIAL	FINISH	THROW	REMARKS
Α	AIRMATE	404-M	SUPPLY	CEILING	ALUMINUM	WHITE	4-WAY	023
В	AIRMATE	401-HM	SUPPLY	CEILING	ALUMINUM	WHITE	1-WAY	123
С	AIRMATE	401-HM	SUPPLY	CEILING	STEEL	WHITE	2-WAY	123
D	AIRMATE	404-M	SUPPLY	CEILING	STEEL	WHITE	4-WAY	023
E	AIRMATE	401-HM	SUPPLY	CEILING	STEEL	WHITE	1-WAY	023
F	AIRMATE	163-M	SUPPLY	SIDEWALL	ALUMINUM	WHITE	2-WAY	023
R	AIRMATE	280	TRANSFER	CEILING	ALUMINUM	WHITE		023
S	AIRMATE	280	TRANSFER	SIDEWALL	ALUMINUM	WHITE		023
Т	AIRMATE	280	TRANSFER	CEILING	STEEL	WHITE		023
(1) SEE	PLANS FOR GRILL	E SIZE			(3) PROVID	E INSULATED E	воот	
_	/IDE MULTI-SHUTTI				•			



CONDENSER LOCATION PLAN 1/16" = 1'-0"

This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasuta County Construction and Property Standards Department

MECHANICAL NOTES AND SCHEDULES

ABBREVIATIONS

AIR HANDLER UNIT

BRITISH THERMAL UNITS

CEILING FIRE DAMPER

CUBIC FEET PER MINUTE

DRY BULB TEMPERATURE

ENTERING AIR TEMPERATURE

EXTERNAL STATIC PRESSURE

LEAVING AIR TEMPERATURE

OUTSIDE AIR TEMPERATURE

DEGREE FAHRENHEIT

EXHAUST AIR

EXHAUST FAN

HORSEPOWER

NOT TO SCALE

OUTSIDE AIR

RETURN AIR

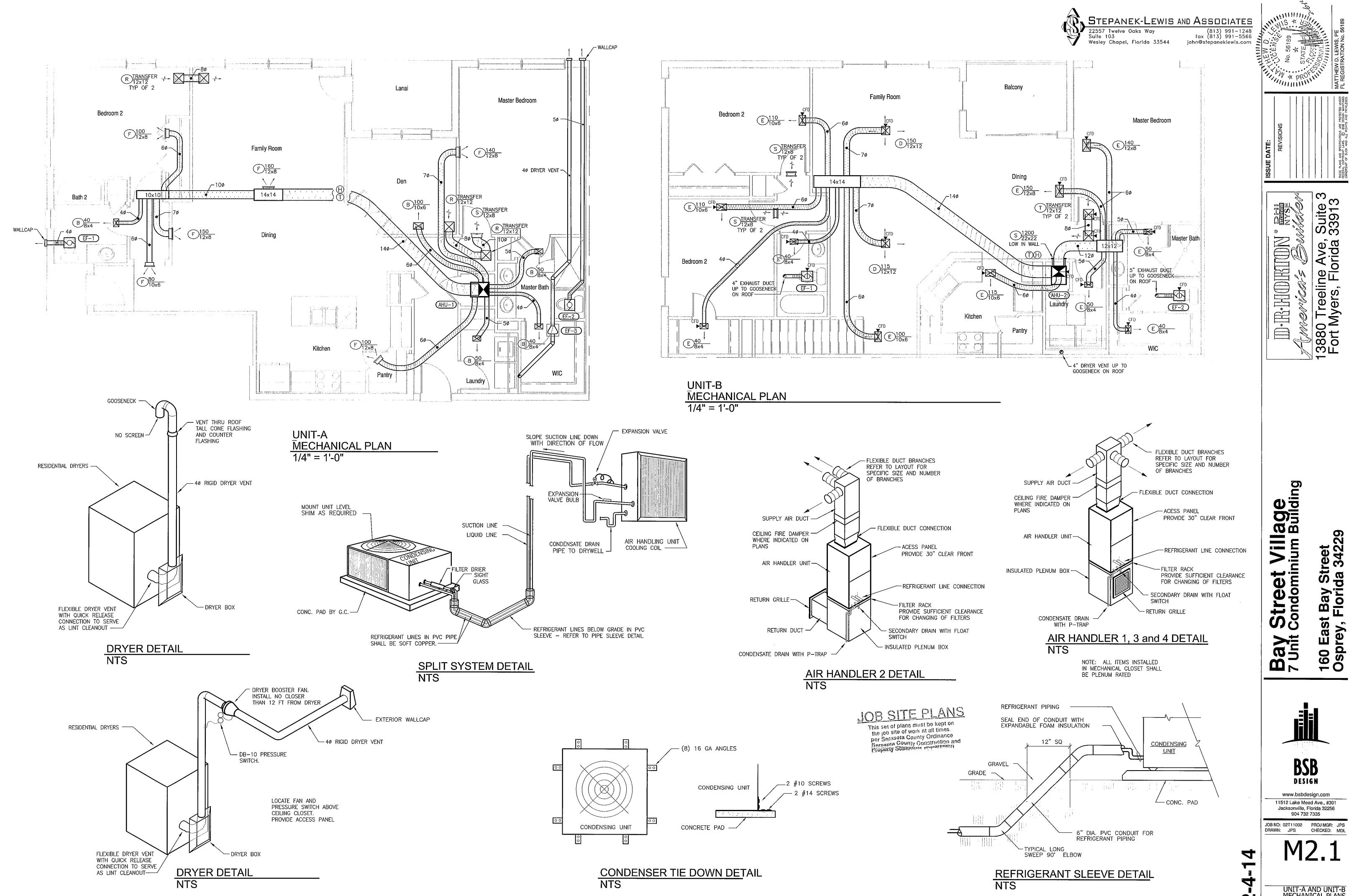
SUPPLY AIR

CONDENSATE DRAIN

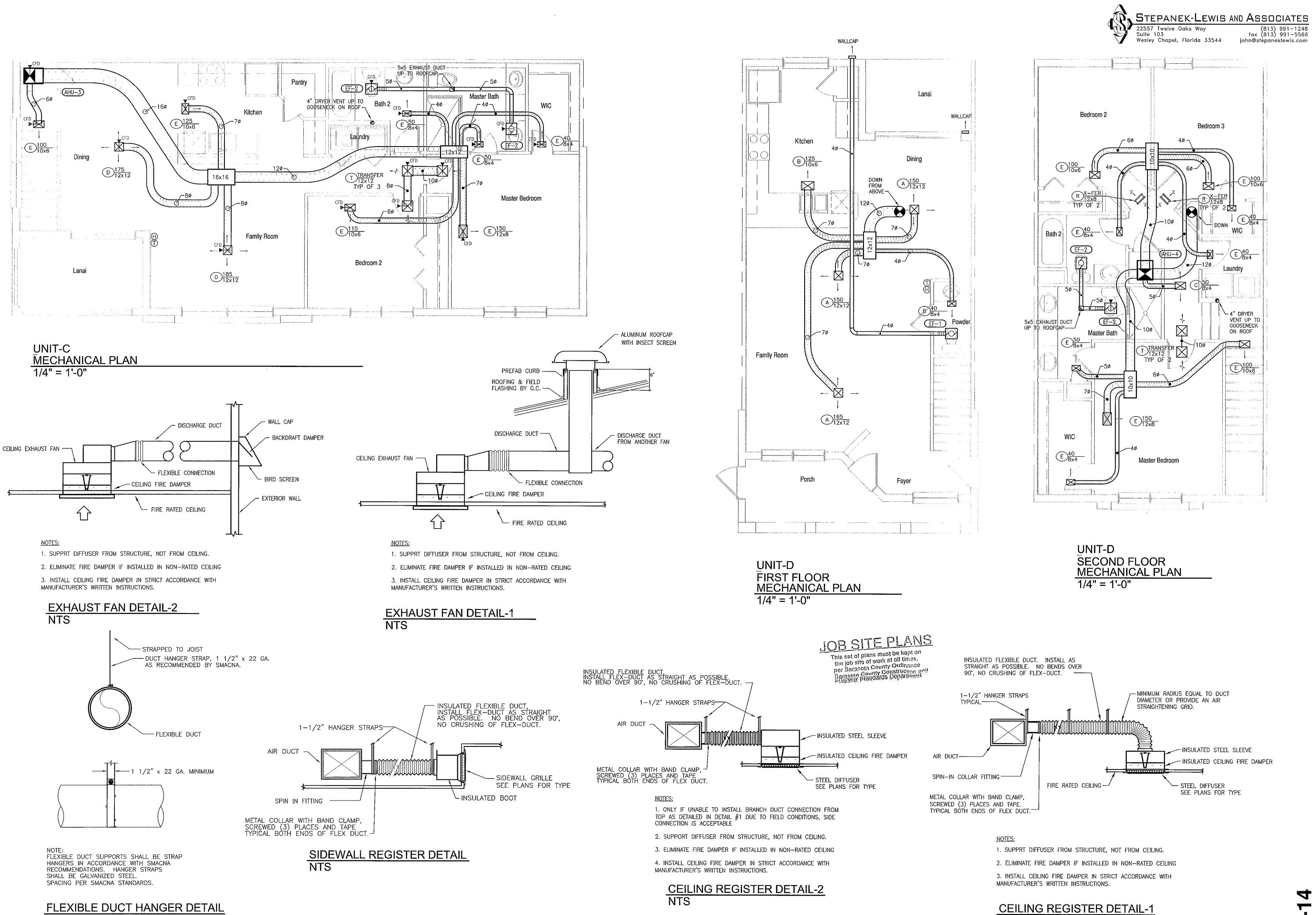
CONDENSING UNIT

SMOKE DETECTOR TSP TOTAL STATIC PRESSURE TYP TYPICAL WATER GAUGE WET BULB TEMPERATURE **EQUIPMENT TAG** (AHU-1) DIFFUSER TAG

OAT



UNIT-A AND UNIT-B MECHANICAL PLANS



13880 Treeline Ave, Suite 3 Fort Myers, Florida 33913 D.R.HORION

Bay Street Village
7 Unit Condominium Building

BSB DESIGN

www.bsbdesign.com 11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335 JOB NO: 02T11002 PROJ MGR: JPS

DRAWN: JPS CHECKED: MDL

UNIT-C AND UNIT-D MECHANICAL PLANS

SCOPE: THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING A PROPOSAL. THE INFORMATION GIVEN HEREIN AND ON THE DRAWINGS IS AS EXACT AS COULD BE SECURED, BUT ITS EXTREME ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION GIVEN AS EXISTING CONDITIONS.

THE DRAWINGS ARE DIAGRAMMATIC, INTENDED TO SHOW GENERAL ARRANGEMENT. CAPACITY AND LOCATION OF VARIOUS COMPONENTS, EQUIPMENTS, AND DEVICES.

ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, AND LOCAL CODES AND ORDINANCES. INSTALLATION SHALL COMPLY WITH THE STANDARDS SET BY NFPA, ASPE, NEC AND UL.

THE SYSTEMS, EQUIPMENT, DEVICES AND ACCESSORIES SHALL BE INSTALLED. FINISHED, TESTED AND ADJUSTED FOR CONTINUOUS AND PROPER OPERATION.

IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK, OR SHOULD DISCREPANCIES APPEAR AMOUNG THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND THE MANUFACTURER'S RECOMMENDATIONS, OR BETWEEN CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL REQUEST INTERPRETATION BEFORE PROCEDING WITH WORK.

CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE THE INSTALLATION WHETHER OR NOT SPECIFIED IN THE DOCUMENTS.

EXACT LOCATIONS AND MOUNTING HEIGHTS OF PLUMBING FIXTURES SHALL BE OBTAINED FROM ARCHITECTURAL DRAWINGS.

COORDINATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK FITTING IN PLACE AND SHALL COORDINATE WITH OTHER TRADES TO AVOID INTERFERENCE WITH THIER WORK.

INSTALL ALL PLUMBING TO AVOID INTERFENCE WITH ELECTRICAL AND MECHANICAL EQUIPMENT AND STRUCTURAL FRAMING. NO WATER OR DRAIN LINES PERMITTED OVER OR UNDER ELECTRICAL PANELS.

SHOP DRAWINGS: EACH TRADE SHALL PREPARE AND SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH PROCEDURS OUTLINED IN DIVISION 1. RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SUBMITTALS SHALL NOT BE RELIEVED BY THE ARCHITECT'S OR ENGINEER'S REVIEW. ENGINEER'S PROCESSING WILL NOT CONSTITUTE A COMPLETE CHECK BUT WILL INDICATE ONLY THAT A GENERAL METHOD OF CONSTRUCTION AND DETAILING IS SATISFACTORY.

AS-BUILT DRAWINGS: DURING THE PROGRESS OF THE WORK, MAINTAIN AN ACCURATE RECORD SHALL SHOW CHANGES IN MANUFACTURER (WITH NUMBERS AND TRADE NAMES). MATERAILS, SIZES, LOCATIONS AND HOOK-UP POINTS. AS-BUILTS SHALL BE GIVEN TO OWNER'S CONSTRUCTION MANAGER AT COMPLETION OF JOB.

REQUIRED ACCESS: CONTRACTOR SHALL ENSURE THAT ALL EQUIPMENT AND DEVICES THAT REQUIRE REPLACEMENT, SERVICING, ADJUSTING OR MAINTENANCE SHALL BE LOCATED TO ALLOW EASY ACCESS AND SPACE FOR REMOVAL OF INTERNAL ASSMBLIES, IF REQUIRED. CONTRACTOR SHALL PROVIDE ACCESS PANELS WHERE REQUIRED TO ALLOW ACCESS, EVEN IF NOT INDICATED ON THE DRAWINGS AT NO ADDITIONAL COST TO OWNER.

OPERATING AND MAINTENANCE DATA: SUBMIT THREE COPIES OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS AND SPARE PARTS LIST FOR EACH PIECE OF EQUIPMENT.

VALVES: ALL VALVES SHALL HAVE A MINIMUM OF 125 PSIG WORKING PRESSURE. VALVES AND COCKS MAY NOT BE INDICATED IN EVERY INSTANCE ON THE DRAWINGS, BUT WHETHER OR NOT SHOWN, ALL VALVES, COCKS AND CHECK VALVES NECESSARY FOR THE PROPER OPERATION OF THE SYSTEM SHALL BE FURNISHED AND INSTALLED.

INSTALL ISOLATION/SHUT-OFF VALVES ON EACH INLET AND OUTLET OF EACH PIECE OF EQUIPMENT. PROVIDE A FLANGE OR UNION BETWEEN THE VAVLE AND THE EQUIPMENT TO PERMIT DISCONNECTION, REMOVAL AND SERVICE.

PROVIDE ANGLE STOPS ON ALL WATER SERVICE LINE TO INDIVIDUAL FIXTURES FOR

DIELECTRIC UNIONS: PROVIDE DIELECTRIC UNIONS OR FLANGES AT CONNECTIONS OR CONTACT BETWEEN PIPES OF DISSIMILAR METALS.

PLUMBING FIXTURES AND TRIM: PLUMBING FIXTURES SHALL BE FURNISHED AND INSTALLED IN A NEAT AND WORKMANLIKE MANNER WITH PROPER CONNECTIONS TO SUPPLY AND DRAINAGE PIPING. ALL FIXTURES SHALL BE FREE OF FLAWS AND DEFECTS OF ANY SORT IN MATERIAL AND WORKMANSHIP AND SHALL OPERATE PERFECTLY WHEN INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. CONTRACTOR SHALL PROVIDE ROUGH-IN, AND SHALL CONNECT ALL FIXTURES TO THE PLUMBING SYSTEMS. PROVIDE CONCEALED ARM CARRIERS AND SUPPORTS FOR ALL FIXTURES REQUIRING SAME.

LEAD SLEEVE WITH FLANGE -

ROOF

PROVIDE SLEEVE IF

REQUIRED BY ROOF DECK

PIPE PENETRATION: PROVIDE SLEEVES THROUGH ALL PENETRATIONS THROUGH CONCRETE AND MASONARY FLOORS AND WALLS. SEAL ALL PENETRATIONS WATER

ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE AND WATER PENETRATION BY FILLING VOIDS BETWEEN PIPE ANDE WALL/FLOOR SLEEVES WITH FIRE RATED FOAM TO ACHIEVE THE SAME RATING AS WALLS OR FLOOR.

WATER PIPING: CPVC TUBING WITH THE FOLLOWING CHARACTERISTICS. TUBING, FITTINGS AND CEMENT SHALL MEET ASTM D-2846, 100 PSI @ 180°F CONTINUOUS RATING. CPVC TUBING AND FITTINGS SHALL MEET 25/50 FLAME SPREAD/SMOKE DEVELOPED REQUIREMENTS FOR PLENUMS. CONTRACTOR SHALL INSTALL CPVC IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CONTRACTOR SHALL PROVIDE FOR EXPANSION AND CONTRACTION OF TUBING. TUBING SHALL BE SLEEVED AT PENETRATION OF CONCRETE SLABS OR WALLS. CPVC TUBING SHALL BE FLOWGUARD GOLD OR APPROVED EQUAL.

PROVIDE BID ALTERNATE FOR PEX TUBING WITH THE FOLLOWING CHARACTERISTICS. TUBING AND FITTINGS SHALL MEET ASTM F876, ASTM 877, AND ASTM F1807. PEX TUBING AND FITTINGS SHALL MEET 25/50 FLAME SPREAD/SMOKE DEVELOPED REQUIREMENTS FOR PLENUMS. CONTRACTOR SHALL INSTALL PEX IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. TUBING SHALL BE SLEEVED AT PENETRATION OF CONCRETE SLABS OR WALLS. PEX TUBING SHALL BE ZURN-PEX OR APPROVED EQUAL.

SANITARY, STORM, DRAIN AND VENT PIPING: ALL BURIED AND UNBURIED PIPING AND FITTINGS SHALL BE SCHEDULE 40 PVC-DWV.

SLOPE OF SANITARY OR DRAINAGE PIPING 2-1/2" AND SMALLER SHALL BE A MINIMUM OF 1/4" PER FOOT; PIPING 3" AND LARGER SHALL BE SLOPED A MINIMUM OF 1/8" PER FOOT.

VENTING: THE STACKS SHALL BE EXTENDED THROUGH ROOF OF BUILDING TO POINTS NOT LESS THAN 12" ABOVE ROOF. VENTS SHALL BE OFFSET AS REQUIRED TO PENETRATE ROOFS AT LEAST 3 FEET EDGE OF BUILDING AND 10 FEET FROM ANY FRESH AIR INTAKE OR OPERABLE WINDOW OR DOOR.

DOMESTIC HOT WATER HEATERS (ELECTRIC): HOT WATER HEATER SHALL BE UL CERTIFIED. UNITS SHALL BE EQUIPPED WITH CODE-APPROVED TEMPERATURE AND PRESSURE RELIEF VALVES. TANKS SHALL BE GLASS-LINED AND SHALL HAVE MANUFACTURER'S STANDARD WARRANTY.

EQUIPMENT FURNISHED BY OTHERS: THE CONTRACTOR SHALL MAKE ALL PIPING CONNECTIONS TO EQUIPMENT FURNISHED BY OTHERS. THIS WORK SHALL INCLUDE FURNISHING AND INSTALLATION OF ALL WATER AND DRAIN PIPING. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH RECOMMENDATIONS OF EQUIPMENT MANUFACTURER.

<u>CLEANOUTS:</u> PROVIDE CLEANOUT WHERE SANITARY LINE LEAVES BUILDING. PROVIDE CLEANOUTS AT BASE OF EACH STACK. CONCEALED CLEANOUTS SHALL HAVE CAST BRASS CHROMIUM PLATED FLAT ACCESS COVER PLATE.

CONDENSATE DRAINS: COORDINATE WITH MECHINCAL CONTRACTOR, RUN CONDENSATE DRAIN LINES FOR MECHANICAL AIR HANDLER. CONDENSATE DRAIN SHALL BE MINIMUM OF 1" SCHEDULE 40 PVC. DRAINS SHALL BE PITCHED NOT LESS THAN 1" IN 10'. PROVIDE P-TRAP AND CLEANOUT AT DRAIN PAN CONNECTIONS. INSULATE CONDENSATE DRAINS WITH 1/2" ARMAFLEX. DRAINS SHALL BE ROUTED TO DRYWELL OR AN APPROVED LOCATION.

STERILIZATION OF DOMESTIC WATER SYSTEM: THE DOMESTIC WATER DISTRIBUTION SYSTEM SHALL BE PURGED OF DELETERIOUS MATTER AND WHERE REQUIRED REQUIRED BY THE ADMINISTRATIVE AUTHORITY, DISINFECTED PRIOR TO UTILIZATION. THE METHOD TO BE FOLLOWED SHALL BE PERSCRIBED BY THE HEALTH AUTHORITY OR WATER PURVEYOR HAVING JURISDICTION, OR THE ABSENCE OF A PRESCRIBED METHOD, THE PROCEDURE DESCRIBED IN EITHER AWWA C651 OR AWWA C652, OR AS DESCRIBED IN SECTION 610 FBC-P.

TESTING: TEST ALL WASTE AND VENT PIPING IN THE MANNOR REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION.

REPAIR ANY LEAKS FOUND BY REMAKING JOINT. DO NOT USE CAULKING OR SIMILIAR METHODS TO CORRECT LEAKS. UPON REPAIRING ANY LEAKS FOUND. AGAIN TEST THAT PORTION OF THE SYSTEM AS DESCRIBED ABOVE.

		DE		CIZE						
MADIC	ENCE! DE		RANCH	Т						
MARK	FIXTURE	DRAIN	VENT	COLD	TER HOT	MANUFACTURER/MODEL	REMARKS			
WC-D	WATER CLOSET	3"	2"	1/2"		AMERICAN STANDARD CADET 2852.000 OR EQUAL	VITREOUS CHINA, ROUND BOWL, FLOOR MOUNTED TANK TYPE WITH WHITE SOLID PLASTIC SEAT WITH LID. PROVIDE 3/8" SUPPLY AND STOP.			
(I-1)	LAVATORY	2"	2"	1/2"	1/2"	AMERICAN STANDARD AQUALYN 0476.028 AMERICAN STANDARD RELIANT 2385.006 OR EQUAL	20x17, SELF-RIMMING, VITREOUS CHINA, WITH FAUCET LEDGE AND INTERNAL OVERFLOW. PROVIDE SINGLE LEVER FAUCET, CENTER, POP-UP DRAIN ASSEMBLY. PROVIDE TAILPEICE, P-TRAP, SUPPLY AND STOP.			
S-1)	SINK	2"	2"	1/2"	1/2"	PROFLO PFT332264 SINK PROFLO PF2001M FAUCET BADGER 5 DISPOSAL OR EQUAL	33x22, DOUBLE BOWL, STAINLESS STEEL SINK UNDERSIDE FULLY SOUND DEADENED. PROVIDE DUO STRAINER, TAIL—PEICE, P—TRAP, SUPPLY AND STOP. CHROME FINISH, SINGLE HANDLE, KITCHEN SPOUT.			
							DISPOSAL: 1/2 HP, 6.9 AMPS, 120/1,			
SH-1)	SHOWER	2"	2"	1/2"	1/2"	CONTRACTOR BUILT SHOWER UNIT ZURN TEMP-GARD III Z27301-SS-MT OR EQUAL	REFER TO ARCHITECTURAL DRAWINGS FOR SHOWER UNIT. PROVIDE CHROME FINISHED PRESSURE—BALANCING MIXING VALVE WITH INTEGRAL SERVICE STOPS, SINGLE LEVER HANDL AND SHOWER HEAD.			
ST-1)	SHOWER-TUB	2"	2"	1/2"	1/2"	PROFLO PFB6112 RIGHT—HAND TUB PROFLO PFB6113 LEFT—HAND TUB AURN TEMP—GARD III Z7302—SS—MT OR EQUAL	CONTRACTOR SHALL FIELD VERIFY QUANTITY OF LEFT HAND AND RIGHT HAND TUBS. TUBS SHALL BE CONSTRUCTED WITENAMILED STEEL WITH SLOPING BACK SUPPORT. TUBS SHALL HAVE INTEGRAL OVERFLOW, LIFT AND TURN STOPPER. PROVIDE CHROME FINISHED PRESSURE—BALANCING MIXING VALVE WITH INTEGRAL SERVICE STOPS, SINGLE LEVER HANDL SHOWER HEAD AND TUB SPOUT.			
CB-1	ICE-MAKER CONNECTION BOX			1/2"		OATEY 38614 OR EQUAL	1/4 TURN BRASS BALL VALVE, PCVC RECESSED VALVE BOX.			
CB-2	LAUNDRY CONNECTION BOX	2"	2"	1/2"	1/2"	OATEY 38747 OR EQUAL	1/4 TURN BRASS BALL VALVE, 2" DRAIN OPENING, PCVC RECESSED VALVE BOX.			
HB-1)	HOSE BIBB			1/2"		WOODFORD MODEL 24 OR EQUAL	ANTISIPHON PROTECTION			
(AAV-1)	AIR ADMITTANCE VALVE		2"			STUDOR MINI-VENT OR EQUAL				
(HWH-1)	HOT WATER HEATER			3/4"	3/4"	AO SMITH ECJ-40 OR EQUAL	43 GALLON, ELECTRIC, 240/1, 6 KW. PROVIDE EXPANSION TANK, SAFETY PAN, T&P VALVE AND ISOLATION VALVES.			

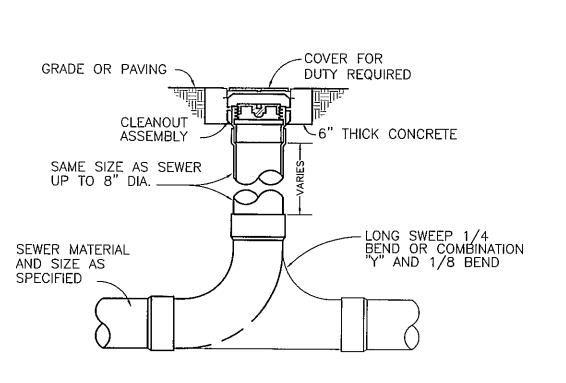
MAKE AND MODEL FOR BID PURPOSES ONLY. PROVIDE FIXTURE SUBMITTAL TO OWNER FOR APPROVAL

STEPANEK-LEWIS AND ASSOCIATES 22557 Twelve Oaks Way Suite 103 fax (813) 991-5566 Wesley Chapel, Florida 33544 john@stepaneklewis.com

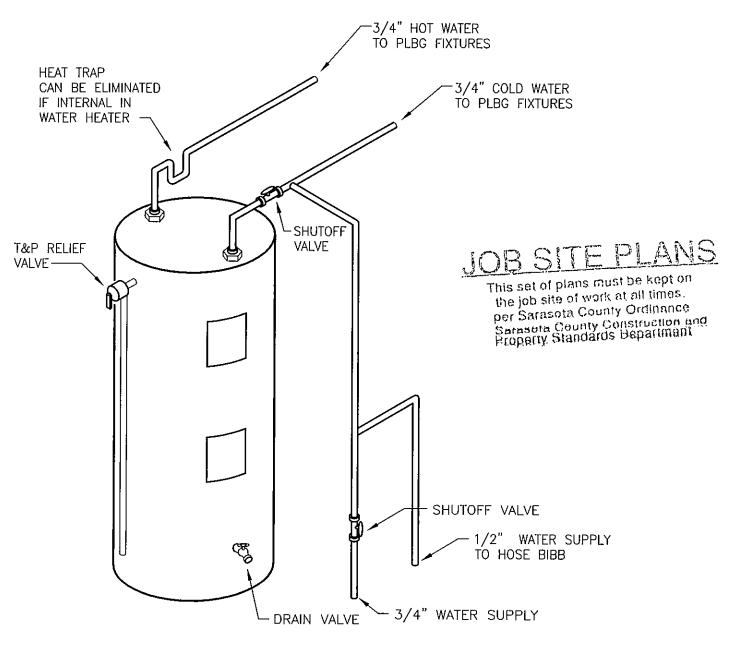
PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	SANITARY DRAIN
	VENT COLD WATER SUPPLY HOT WATER SUPPLY PLUMBING VALVE CHECK VALVE PIPE DOWN
O	PIPE UP
P-D	PLUMBING FIXTURE NUMBER

ABREVIATION	DESCRIPTION
AFF	ABOVE FINISHED FLOOR
СО	CLEANOUT
CV	CHECK VALVE
CWS	COLD WATER SUPPLY
FD	FLOOR DRAIN
GPM	GALLONS PER MINUTE
НВ	HOSE BIBB
HWH	HOT WATER HEATER
HWS	HOT WATER SUPPLY
HWR	HOT WATER RETURN
PRV	PRESSURE REDUCING VALVE
SAN	SANITARY
T&P	TEMPERATURE AND PRESSURE
VTR	VENT THRU ROOF
wco	WALL CLEAN OUT

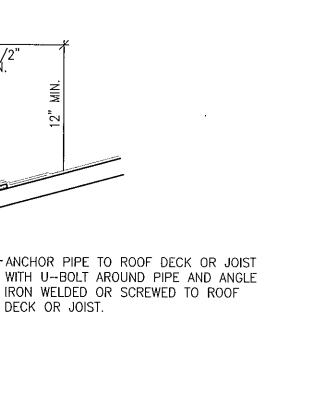
ALL SIMPOLS AND ABBREVIATION MAY BE OSED ON THIS EKOTEC



GRADE CLEANOUT DETAIL



WATER HEATER DETAIL PROVIDE EXPANSION VALVE IN SUPPLY LINE



VENT THROUGH ROOF DETAIL

DECK OR JOIST.

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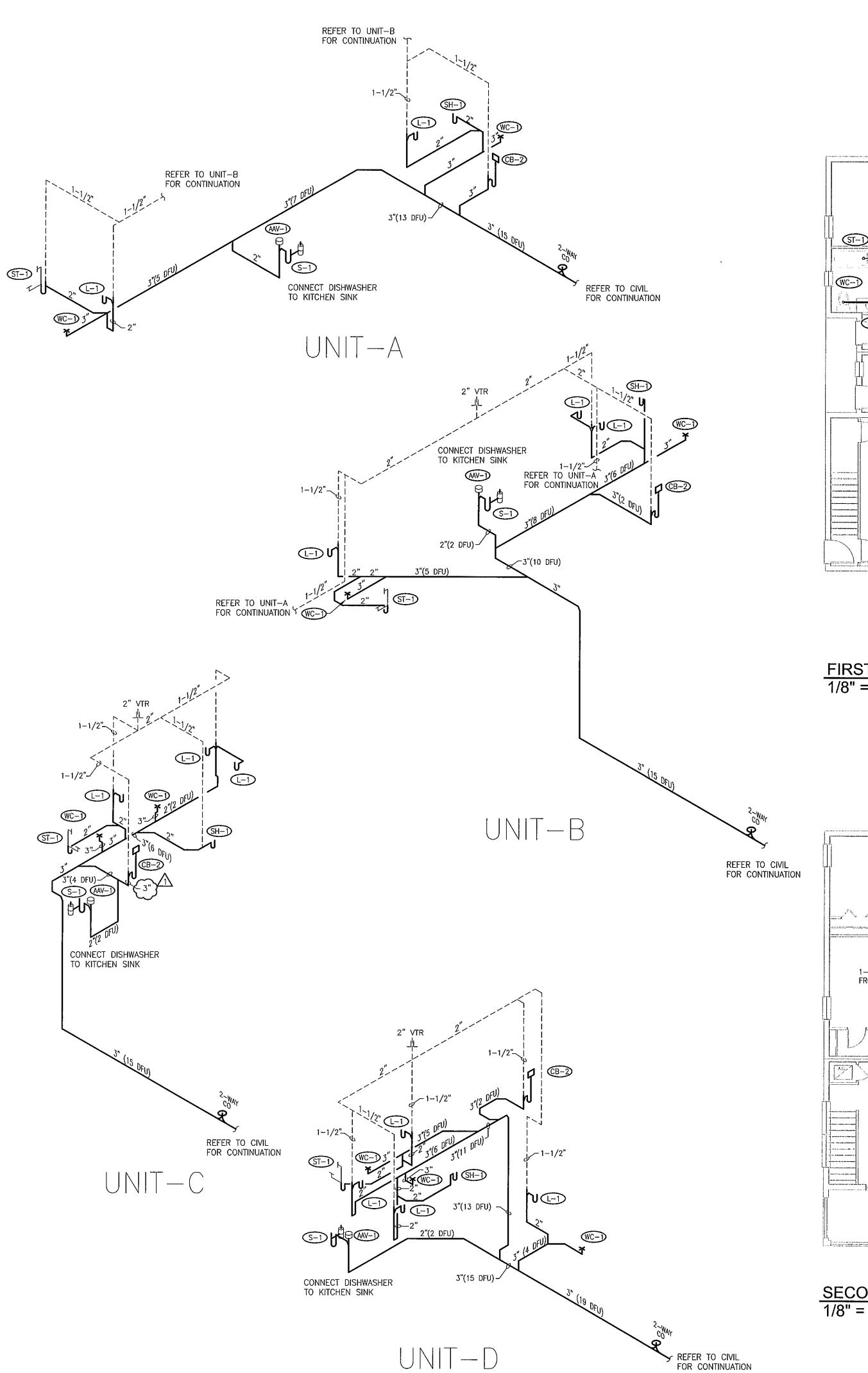
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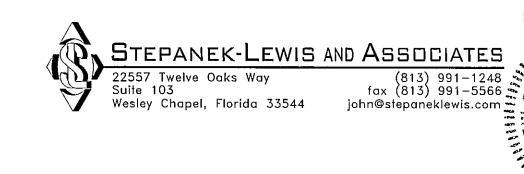
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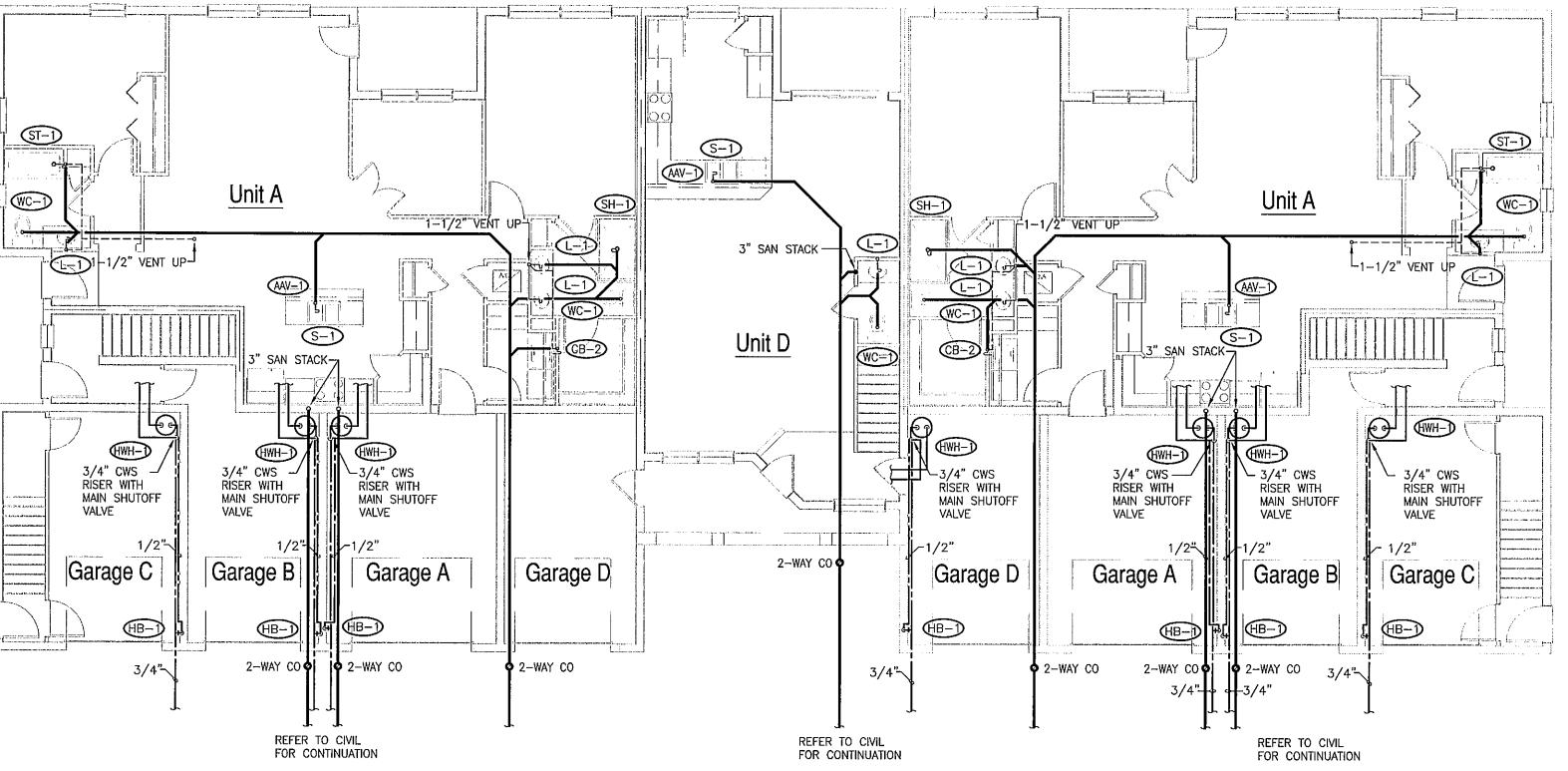
DESIGN www.bsbdesign.com 11512 Lake Mead Ave., #301 Jacksonville, Florida 32256

JOB NO: 02T11002 PROJ MGR: JPS DRAWN: JPS CHECKED: MDL

> PLUMBING NOTES DETAILS AND SCHEDULES

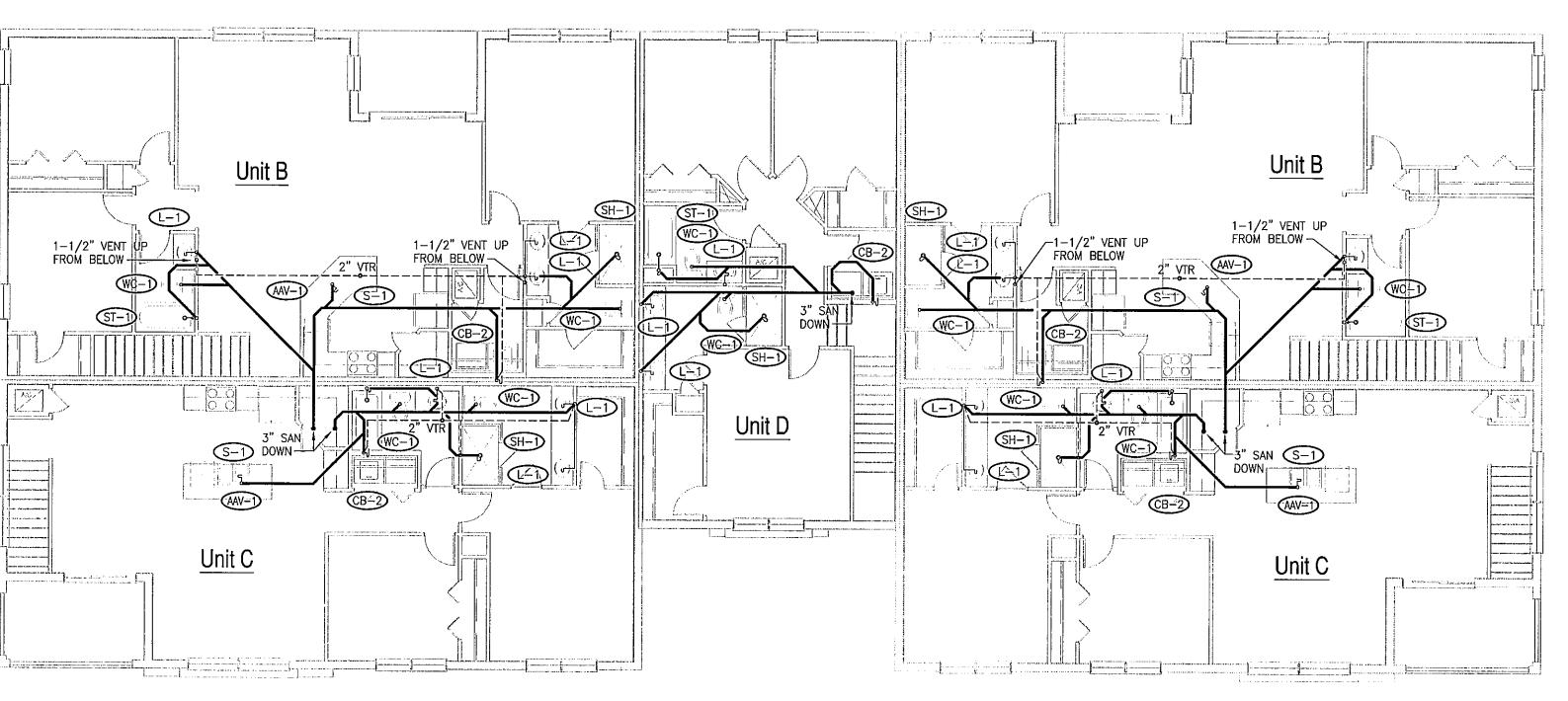






FIRST FLOOR SANITAR AND WATER DISTRIBUTION PLAN
1/8" = 1'-0"

This set of plans must be kept on the job site of work at all times. per Sarasota County Ordinance Sarasota County Ordinance Sarasota Sounty Ordinance



SECOND FLOOR SANITARY PLAN
1/8" = 1'-0"

11512 Lake Mead Ave., #301 Jacksonville, Florida 32256 904 732 7335 JOB NO: 02T11002 PROJ MGR: JPS DRAWN: JPS CHECKED: MDL

SANITARY PLANS

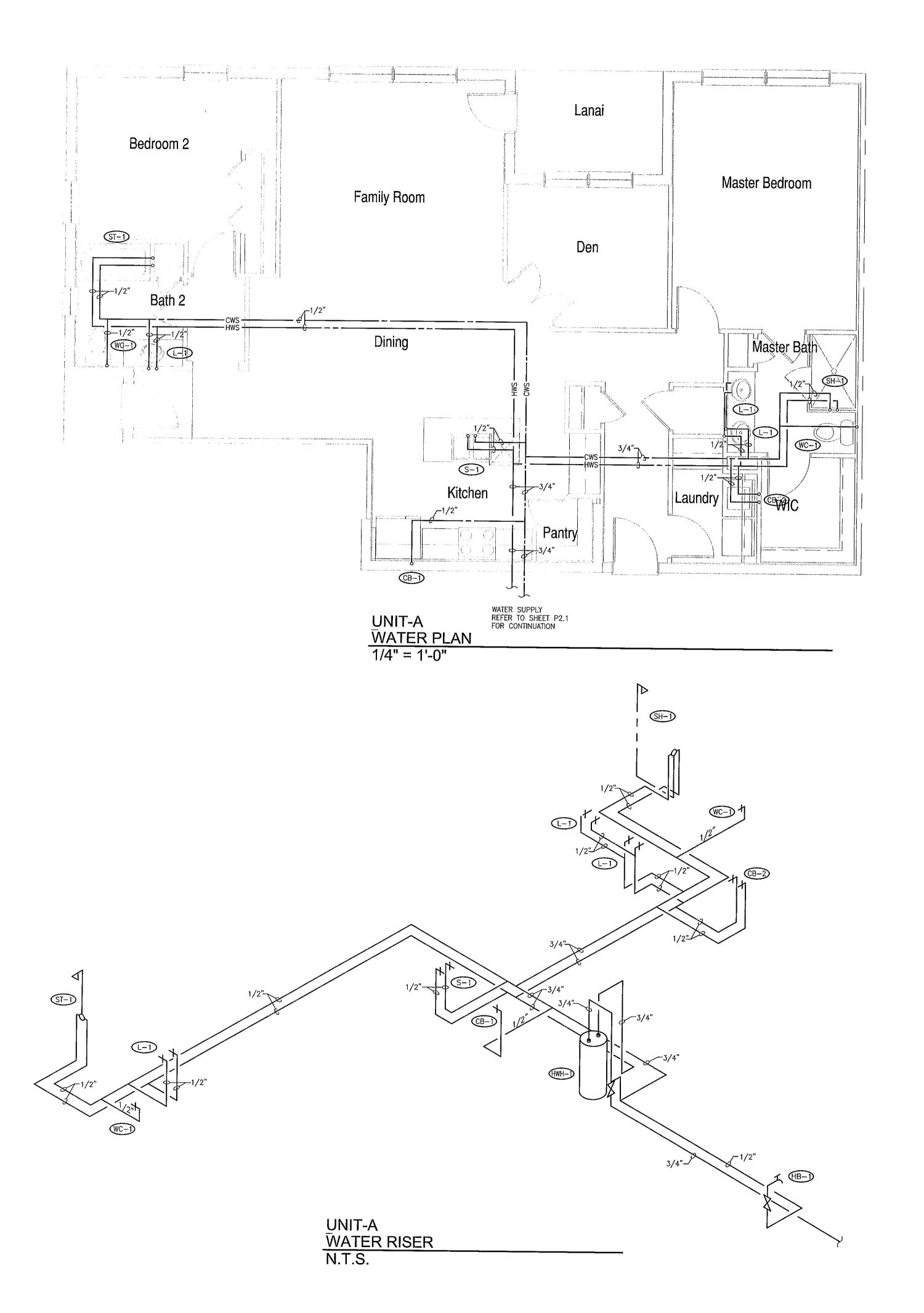
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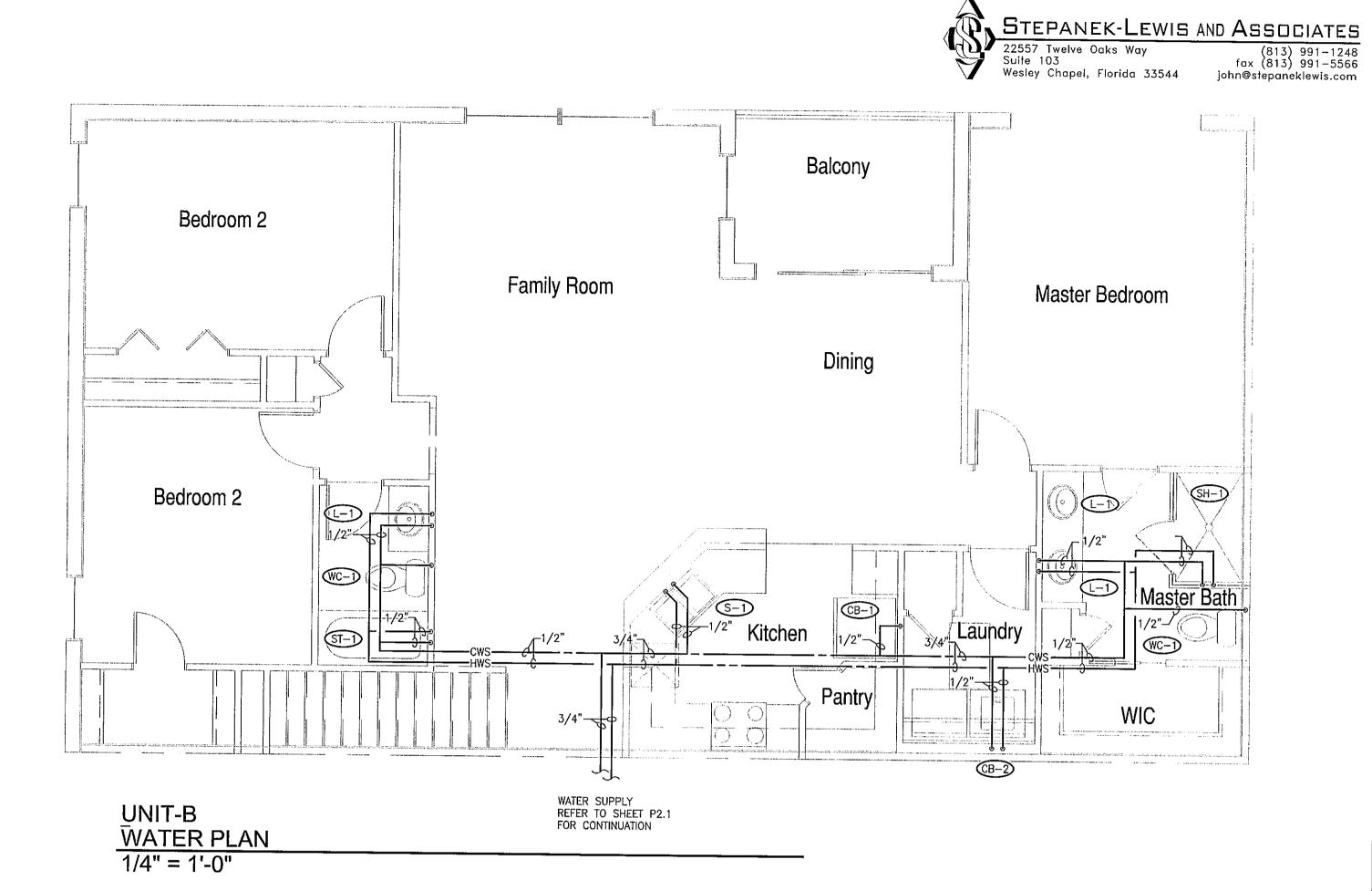
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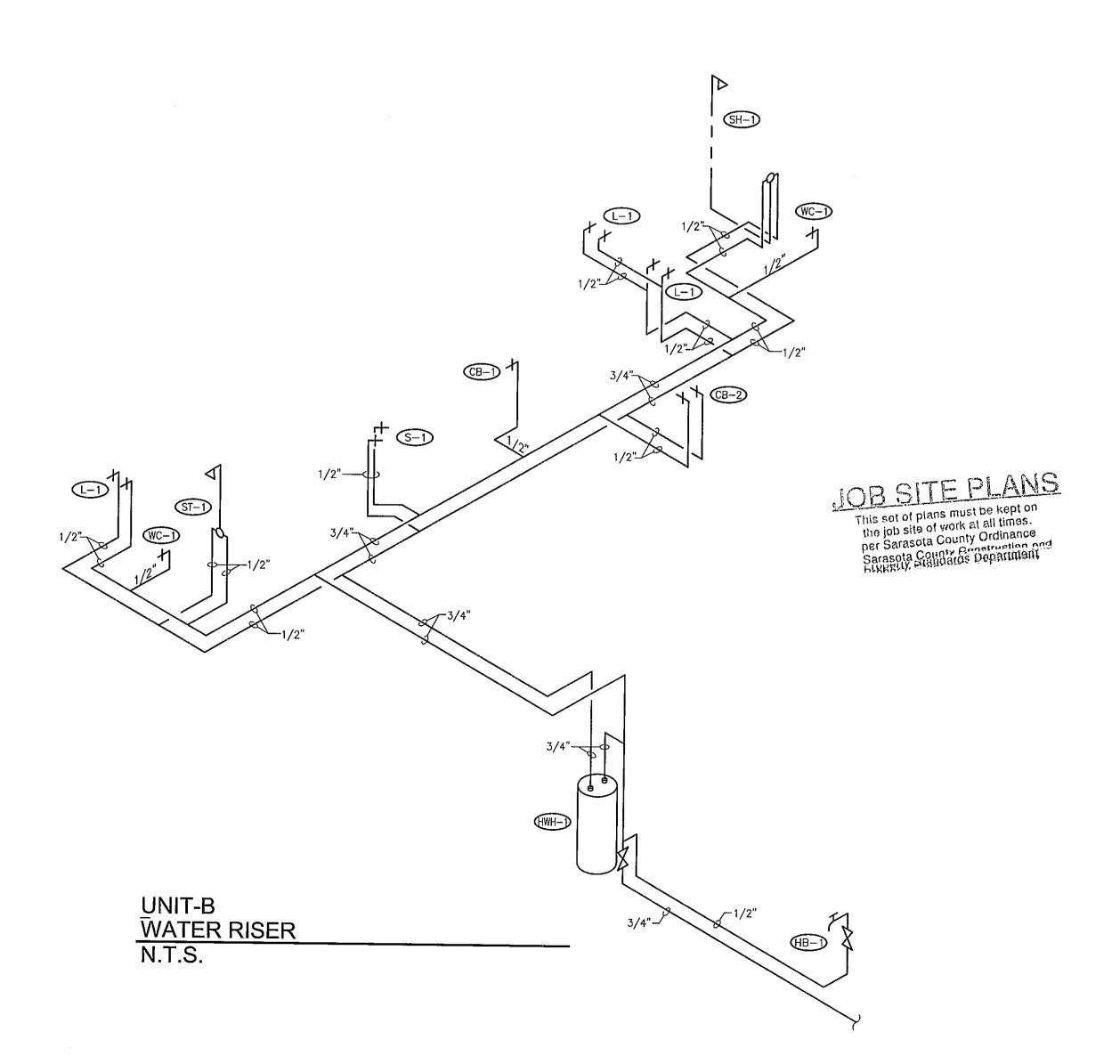
Bay Street Village
7 Unit Condominium Building

13880 Treeline Ave, Suite 3 Fort Myers, Florida 33913

D.R.HORMON.









Bay Street Village
7 Unit Condominium Building
160 East Bay Street
Osprey, Florida 34229

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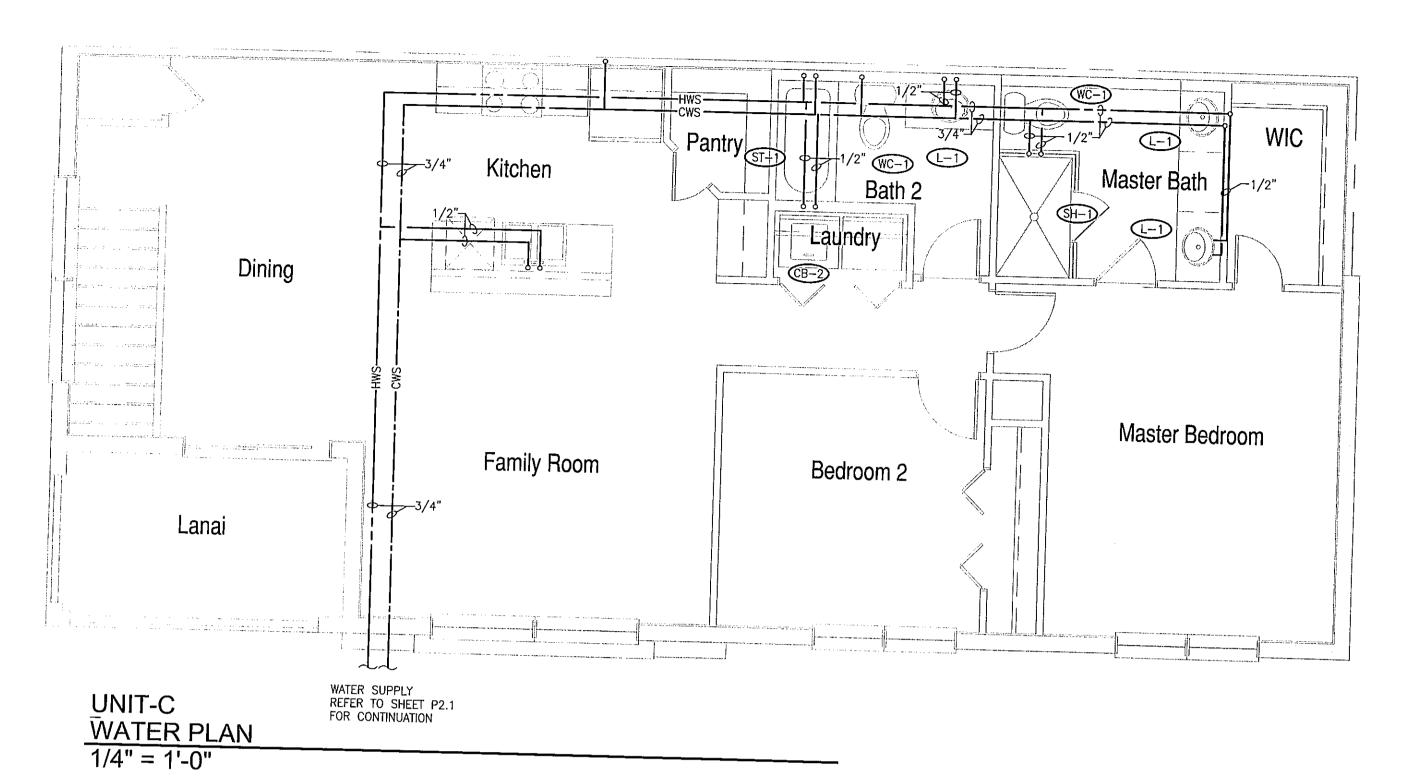
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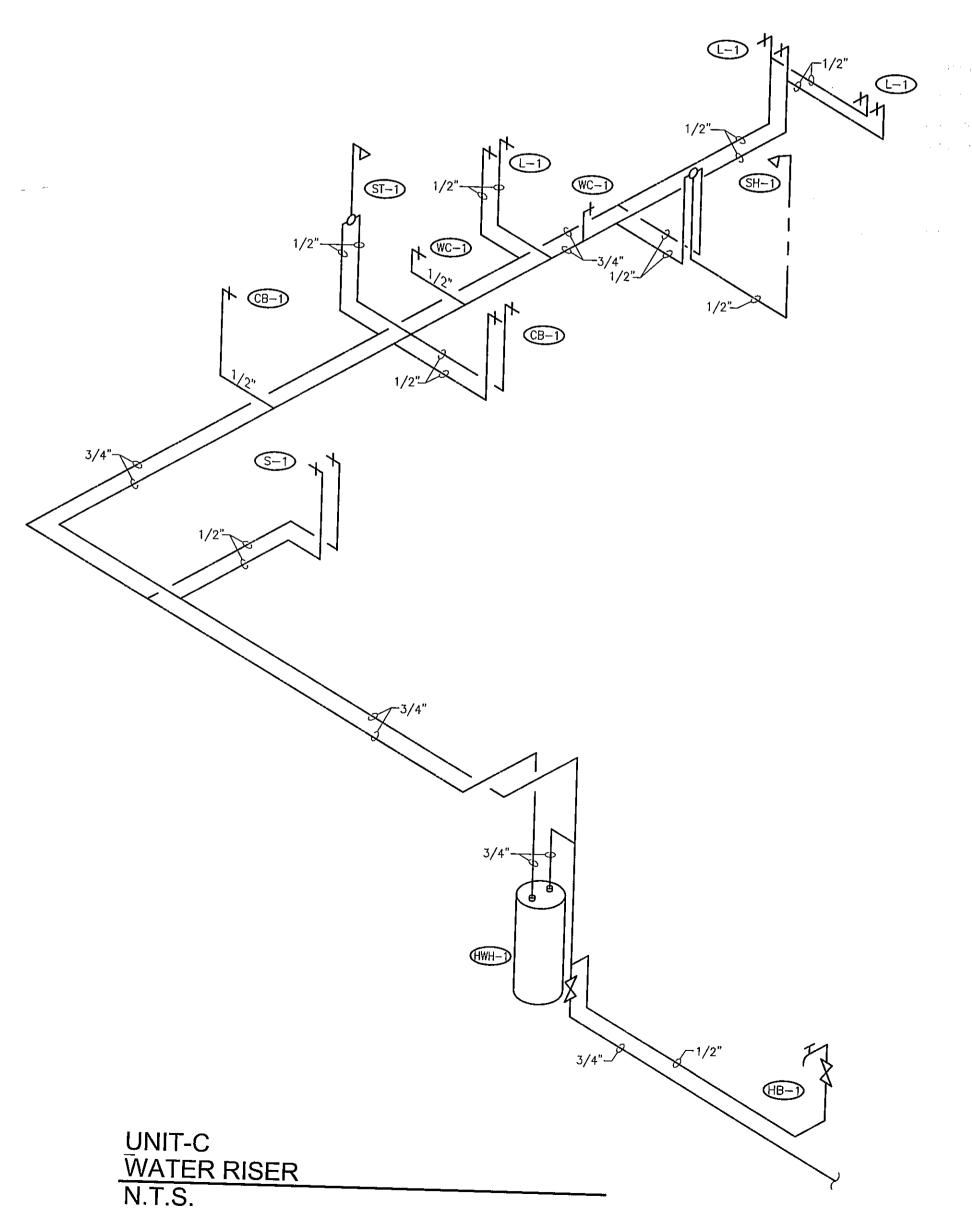
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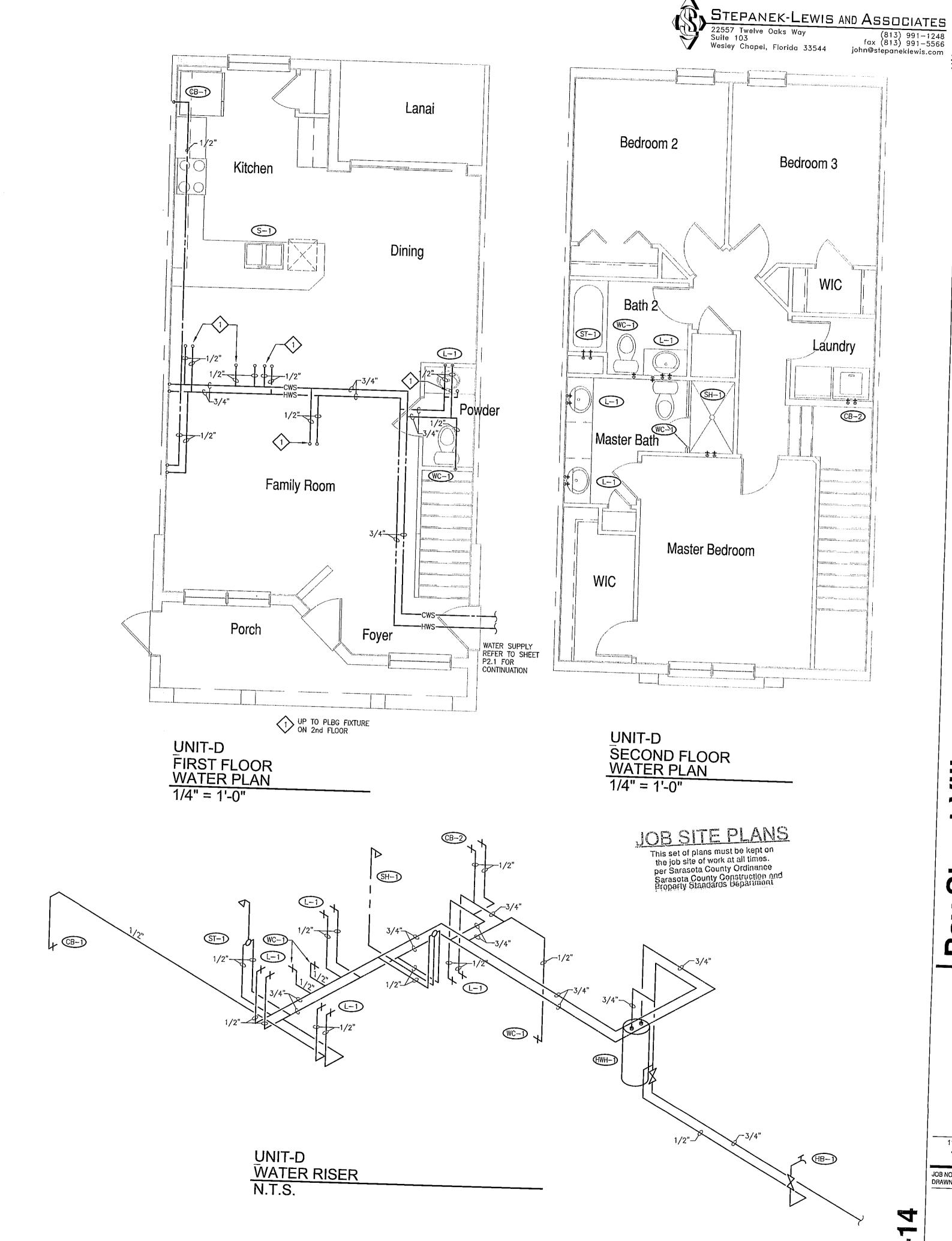
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WATER PLAN UNIT A & UNIT B







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WATER PLAN UNIT C & UNIT D