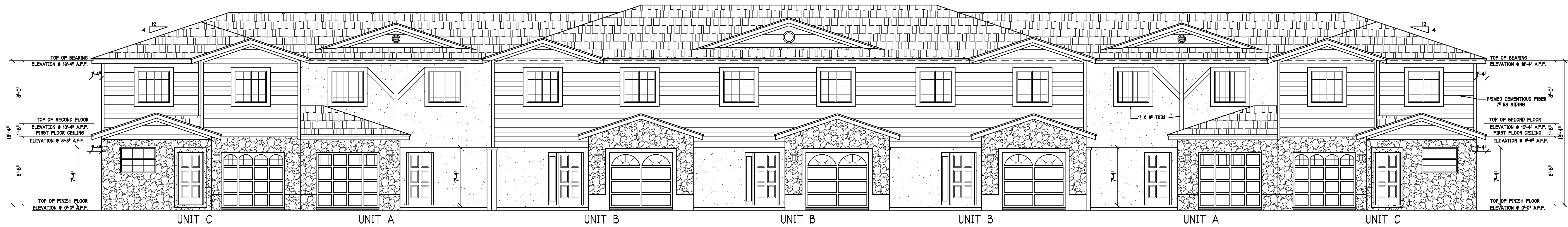


STRUCTURAL FORCES:  
FLOOR DESIGN: LIVE LOAD: 40 PSF. DEAD LOAD: 15 PSF  
ROOF DESIGN: LIVE LOAD: 20 PSF TOP CHORD.  
DEAD LOAD: SHINGLE ROOFING.  
10 PSF BOTTOM CHORD (NON-COINCIDENT)  
WIND DESIGN:  
BASIC WIND SPEED: 140 MPH.  
RISK CATEGORY: 2  
EXPOSURE CATEGORY: B  
MEAN ROOF HEIGHT: 4/12  
ROOF PITCH: 4/12  
METHOD OF DESIGN: ASCE7-10  
INTERNAL PRESSURE COEFFICIENTS: +/- 0.18 ENCLOSED.  
STRUCTURAL DESIGN CRITERIA:  
FOR COMPLETE STRUCTURAL DESIGN CRITERIA, SEE NOTES ON SHEET S-1.

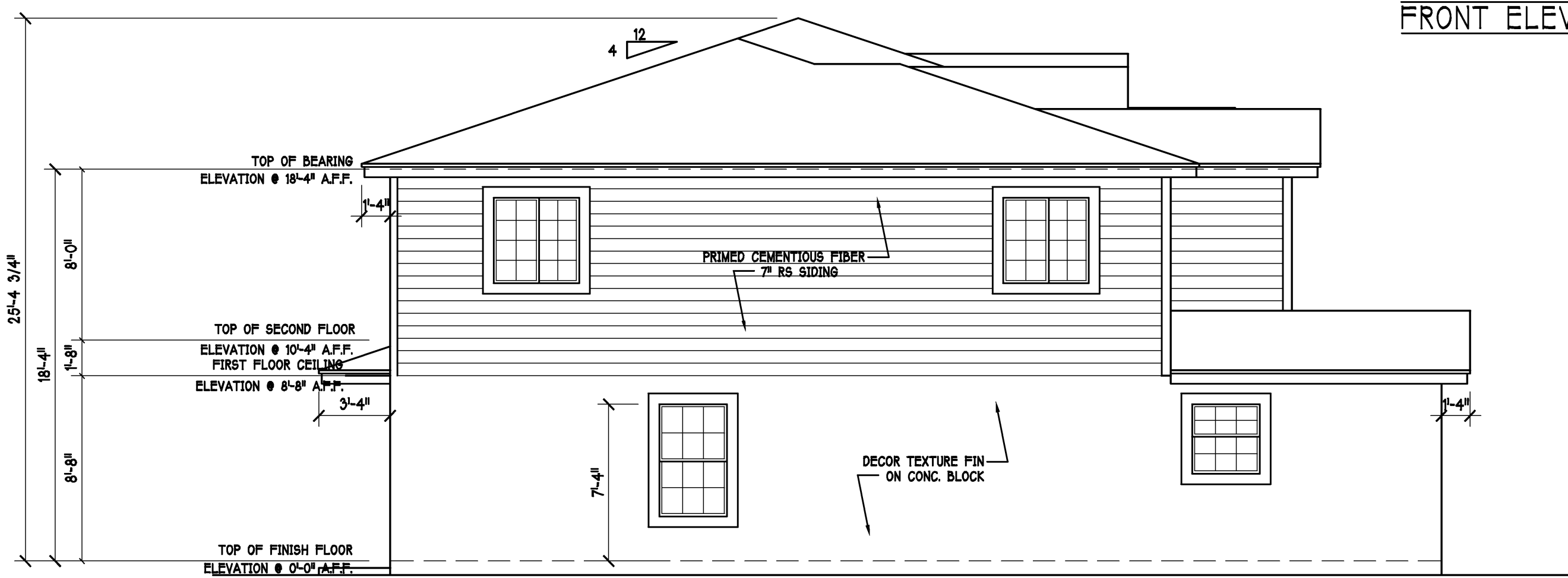
**D.R. HORTON** INC.  
*America's Builder*

STRUCTURAL ENGINEERING  
**STRUCTURAL SYSTEMS OF NORTH FLORIDA**  
1634 S.E. 47th ST. SUITE #3  
FORT LAUDERDALE, FL 33304  
(954) 549-4554  
CEN 8889

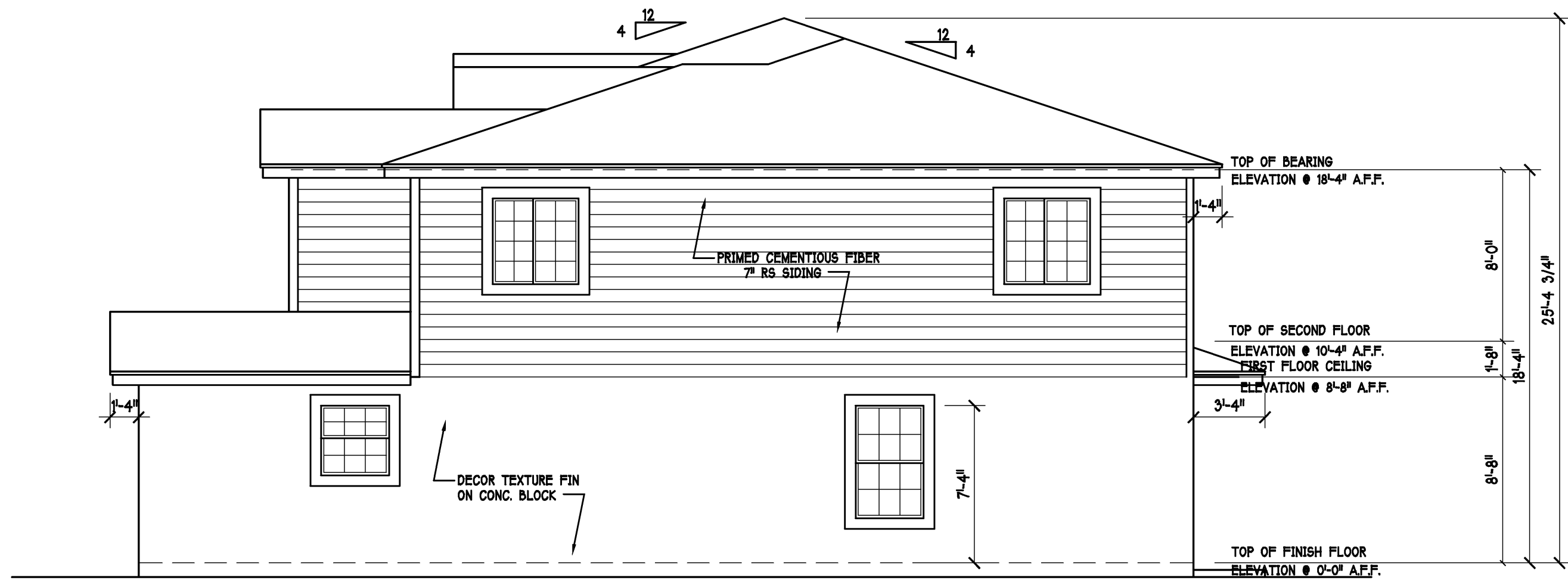
THIS SIGNATURE AND SEAL  
IS THE STRUCTURAL ENGINEER'S  
RELATION TO THE STRUCTURAL  
DESIGN OF THE BUILDING.  
WORK WAS PERFORMED BY  
THE ENGINEER OR OTHER  
DESIGNER AS NOTED ON THE  
ARCHITECTURAL DRAWING.  
ELECTRICAL, MECHANICAL,  
PLUMBING, AND OTHER  
ENERGY, SITE WORK, CIVIL,  
OR GEOTECHNICAL.



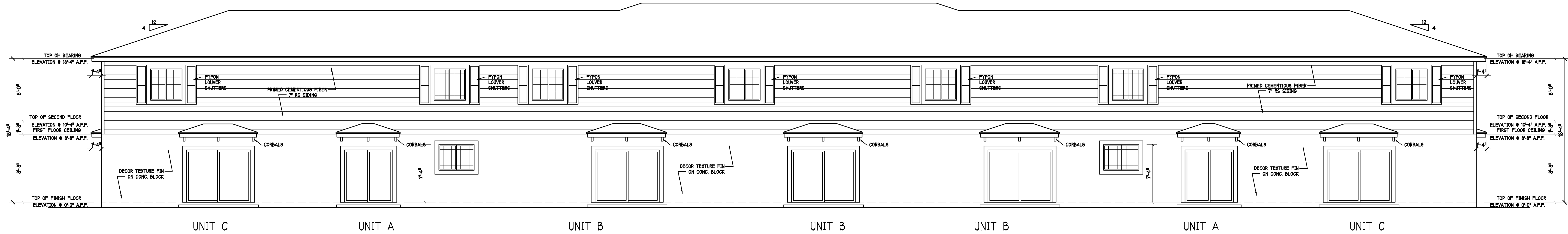
FRONT ELEVATION 'A' SCALE: 3/16" = 1'-0"



LEFT ELEVATION 'A' SCALE: 3/16" = 1'-0"



RIGHT ELEVATION 'A' SCALE: 3/16" = 1'-0"



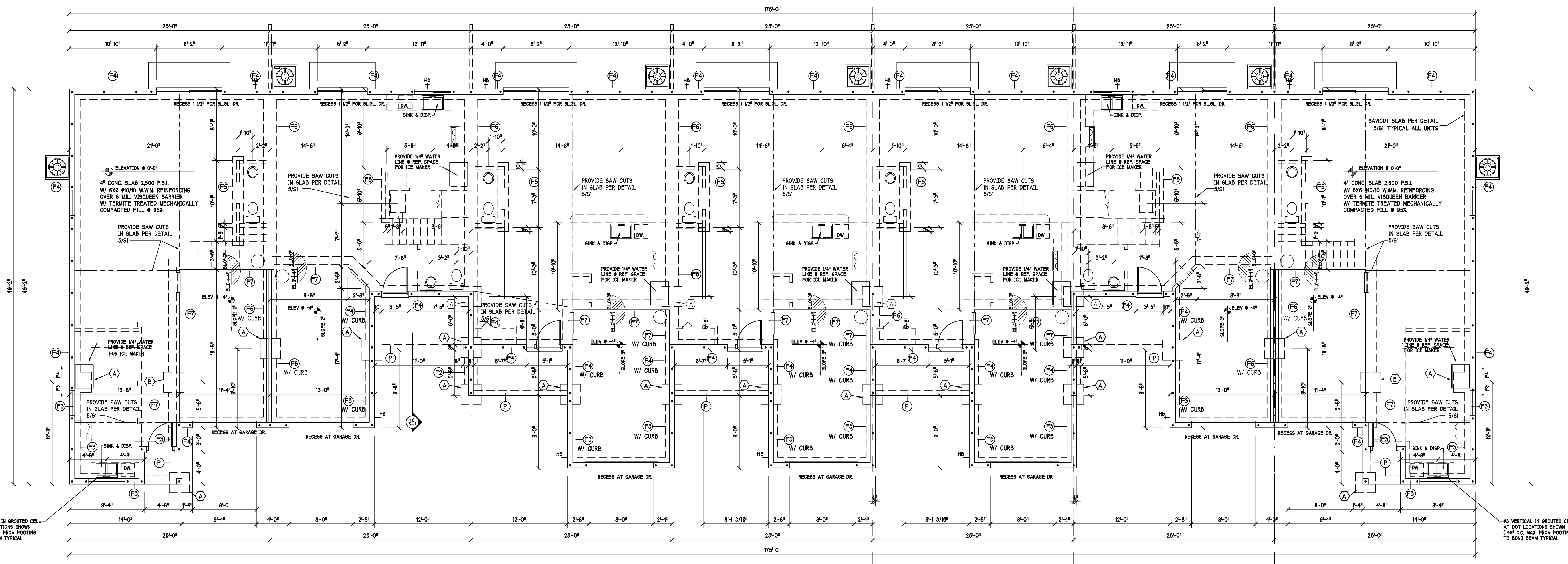
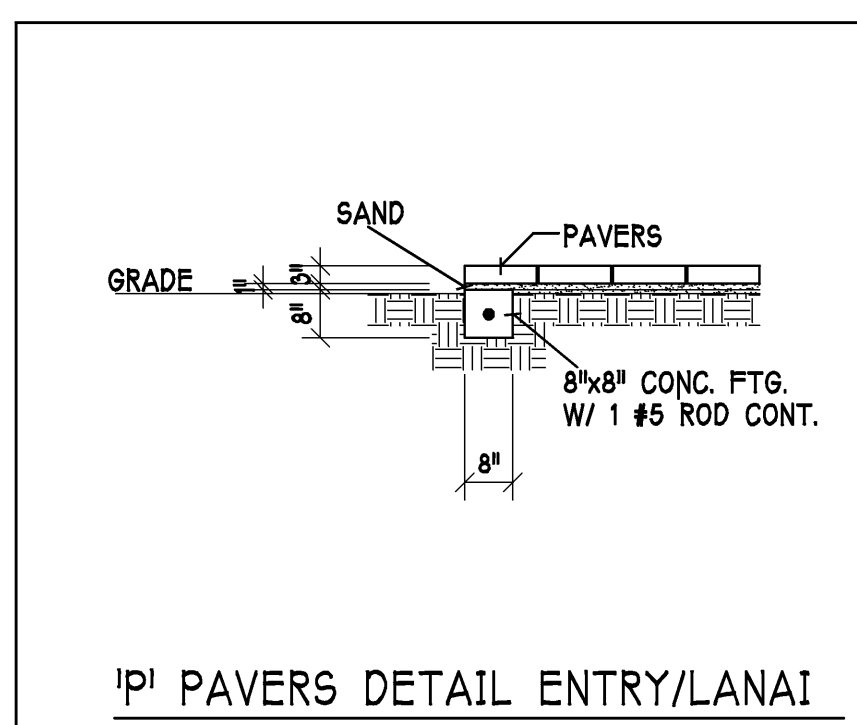
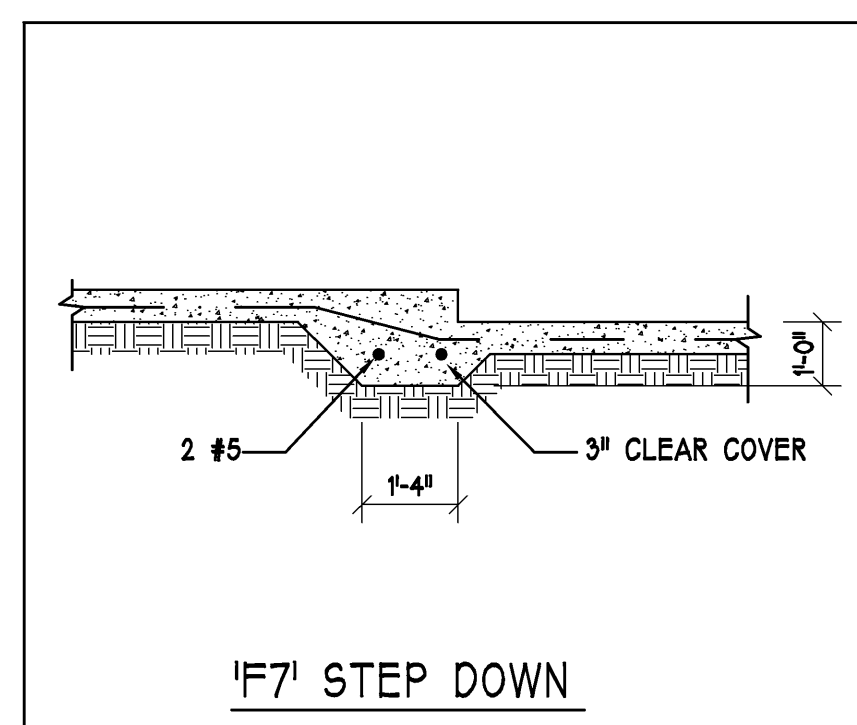
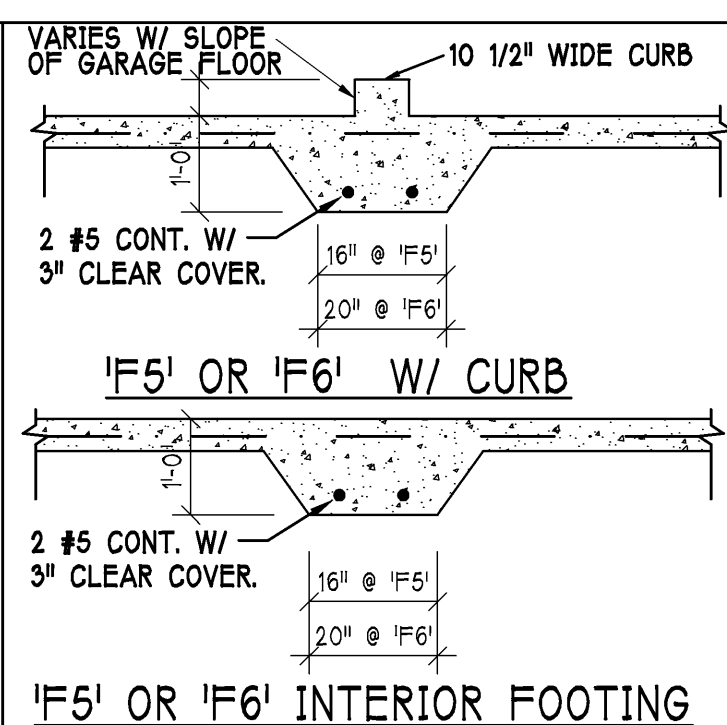
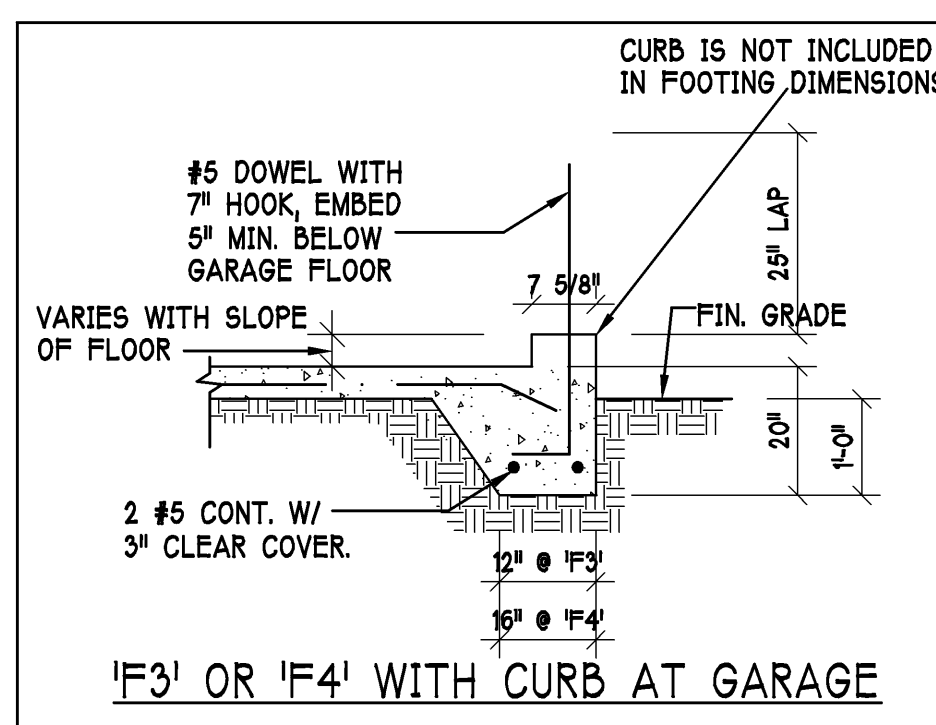
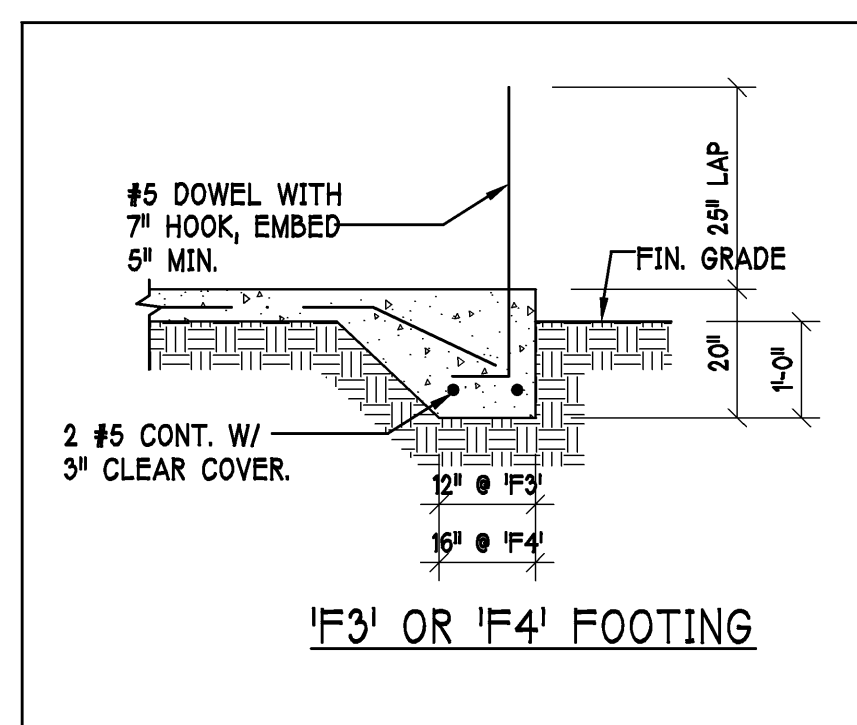
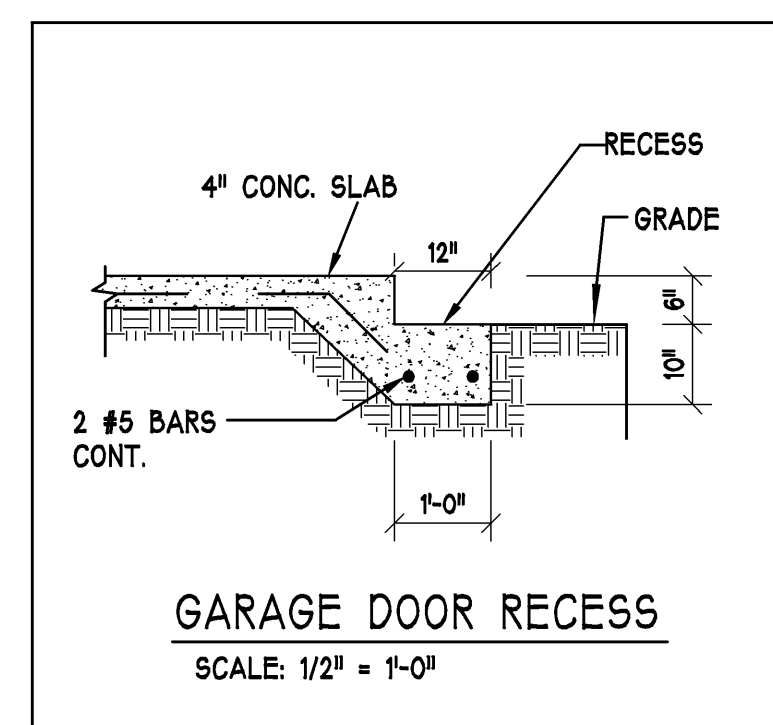
REAR ELEVATION 'A' SCALE: 3/16" = 1'-0"

DESIGN IN ACCORDANCE WITH  
THE FLORIDA BUILDING CODE 2010

CYPRESS SPRINGS  
2 STORY TOWNHOUSE  
7 UNIT C-A-B-B-B-A-C

DATE: 9-16-09  
DRAWN BY: JWC  
CHECKED BY: JWC  
REVISED: 9-20-10  
PLAN: ELEVATION  
SCALE: AS NOTED  
SHEET#

A-1



USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING	SHAPE
	F1	CONT.	1'-4"	0'-8"	2-#5	
	F2	CONT.	1'-8"	0'-10"	2-#5	
	F3	CONT.	1'-0"	1'-8"	2-#5	
	F4	CONT.	1'-4"	1'-8"	2-#5	
	F5	CONT.	1'-4"	1'-0"	2-#5	
	F6	CONT.	1'-8"	1'-0"	2-#5	
	F7	CONT.	1'-4"	1'-0"	2-#5	

NOTE: REINFORCING IN FOOTINGS SHALL BE CONTINUOUS AT CORNERS AND INTERSECTIONS. ADD CORNER BAR 25"x25" AT EACH LONGITUDINAL BAR, SEE 6/S-1.

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINF.	REMARKS
	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5
	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5
	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5
	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5
	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

- PLAN NOTES:
- 1) TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0".
  - 2) 'F#' DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
  - 3) '#' DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
  - 4) PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO THE BEAM.
  - 5) ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
  - 6) FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/DOOR SUPPLIER.
  - 7) PROVIDE PRESSURE TREATED BUCKS AT WINDOWS / DOORS PER DETAIL 7/S-1.

## WALL TYPE NOTES

1. PROVIDE THROUGH-PENETRATION FIRESTOP SYSTEMS AND THROUGH-PENETRATION FIRESTOP DEVICES, SEALANTS AND RELATED PRODUCTS FOR FIRE-RATED FLOOR AND WALL PENETRATIONS (AND SEALING TOP OF RATED WALLS TO DECK) AS APPLICABLE. ALL RATED WALL PENETRATIONS SHALL MAINTAIN THE INTEGRITY OF THE WALL ASSEMBLY.

2. ALL STUDS SHALL BE SPACED AT 16" O.C. UNLESS NOTED OTHERWISE. ALL FURRING CHANNELS SHALL BE SPACED AT 24" O.C. UNLESS NOTED OTHERWISE.

3. PROVIDE CONSTRUCTION IN ACCORDANCE WITH THE UL DESIGN NUMBER INDICATED.

4. WHERE CHASE, PILASTER, AND COLUMN ENCLOSURES OCCUR, GYPSUM BOARD MAY BE OMITTED ON CONCEALED SIDE UNLESS REQUIRED FOR FIRE RATING.

### BEARING WALL HEIGHTS

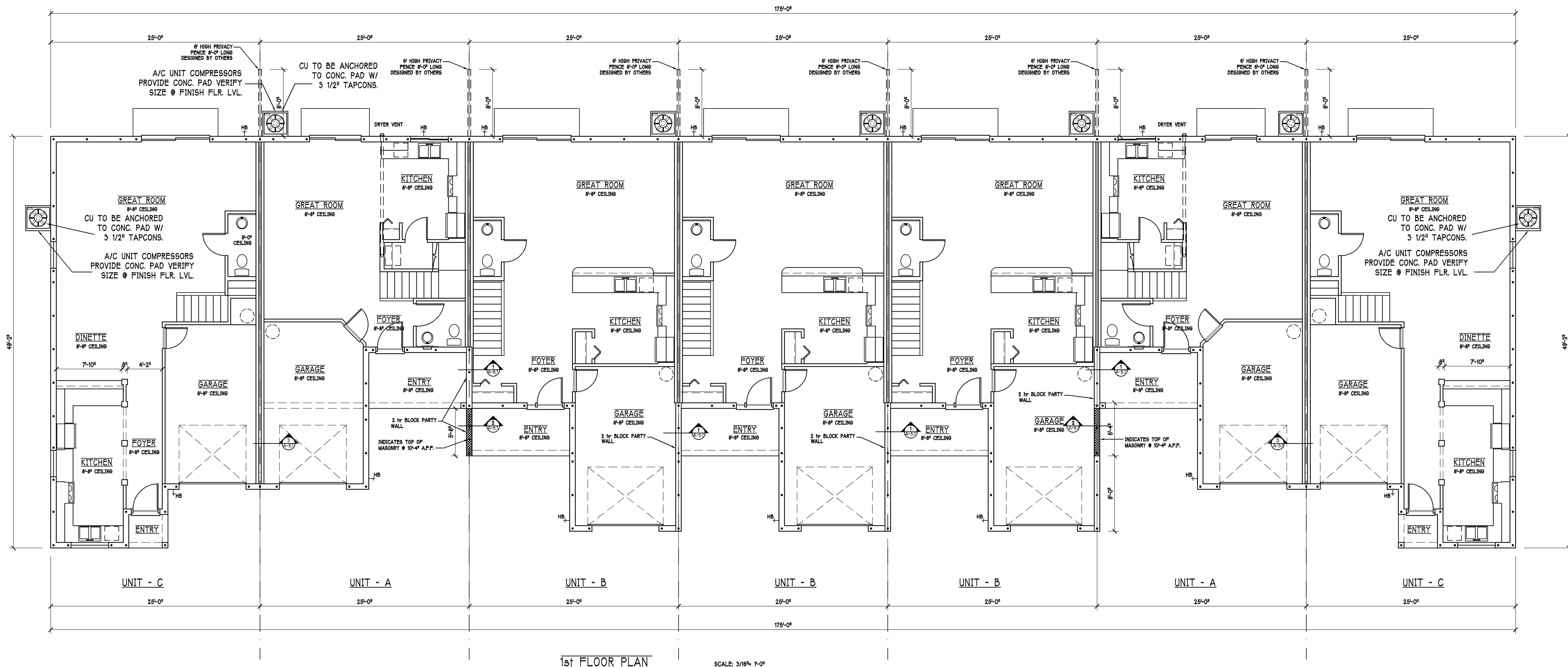
BEARING @ 8'-8" A.F.F.  
BEARING @ 10'-4" A.F.F.

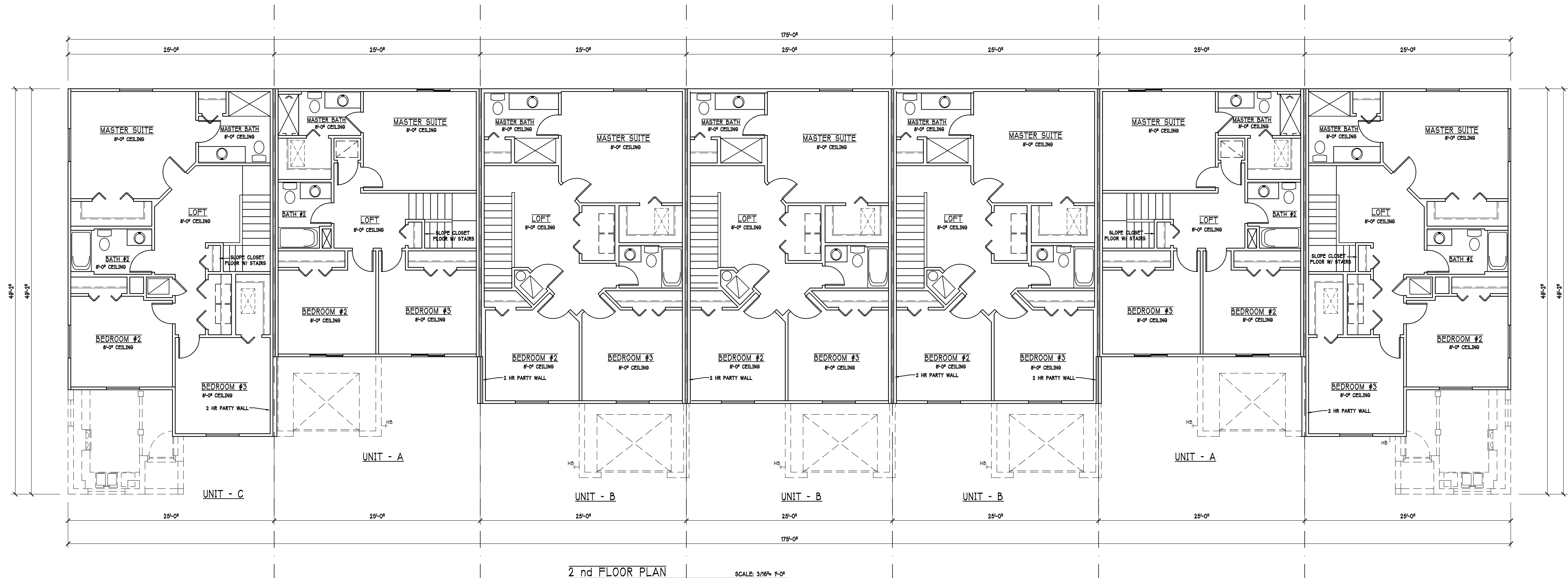
#### NOTE:

DRYER VENT EXTENDING MORE THAN 25'-0" TO HAVE A BOOSTER FAN.

#### NOTE:

HIGH OUTPUT CLOTHES DRYER TO BE USED  
REFER TO ATTACHED CUTSHEETS  
ALL METAL CHIMNEYS FOR LOW-HEAT APPLIANCES EXTEND 3' ABOVE THE ROOF





2 nd FLOOR PLAN

SCALE: 3/16" = 1'-0"

DESIGN IN ACCORDANCE WITH  
THE FLORIDA BUILDING CODE 2010

**D.R. HOUGHTON, P.E.**  
America's Builder

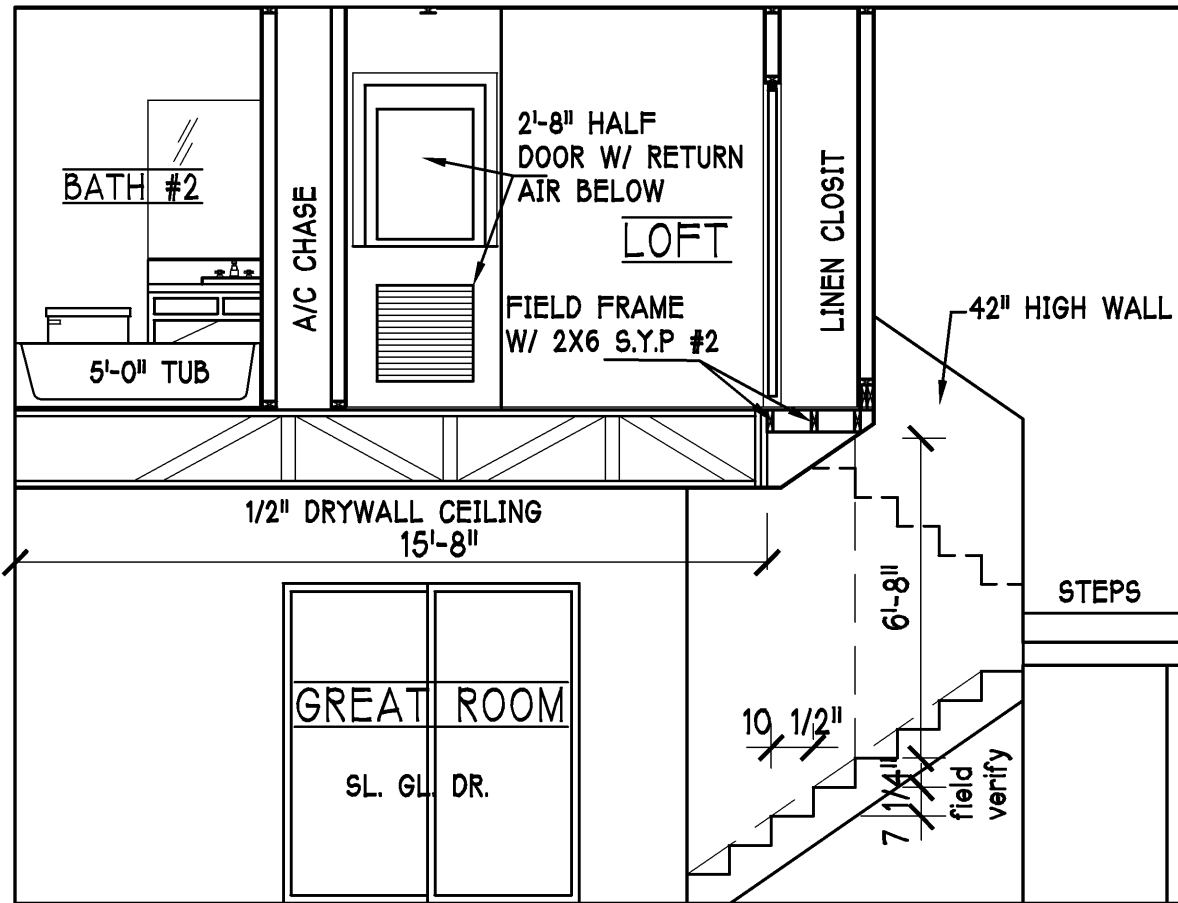
STRUCTURAL ENGINEERING  
**STRUCTURAL SYSTEMS**  
1634 SE. 47th ST. SUITE #3  
CAPE CORRAL, FL 33904  
CE 00000000 CA# 8889

CYPRESS SPRINGS  
2 STORY TOWNHOUSE  
7 UNIT C-A-B-B-A-C

DATE: 9-16-09  
DRAWN BY: JWC  
CHECKED BY: JWC  
REVISED: 9-20-10  
PLAN: 2nd FLOOR  
SCALE: AS NOTED  
SHEET#

A-3.1





NOTE:  
VERIFY ALL WINDOWS AND DOORS  
ROUGH OPENING DIMENSION.

NOTE:  
SEE EXTERIOR ELEVATION SHEET FOR  
DETAILS OF ALTERNATE WINDOWS  
ARRANGEMENTS, ENTRY WALKS AND  
ADDITIONAL WALKS, TIE BEAM AND  
FOOTINGS.

### SQUARE FOOTAGE

UNIT - A	
1ST FLOOR LIVING AREA	604
2ND FLOOR LIVING AREA	765
TOTAL LIVING AREA	1,369
ENTRY AREA	80
GARAGE AREA	254
TOTAL AREA	1,703

WIND PRESSURES PER ASCE7-10, 140 MPH, EXPOSURE B, AND CONVERTED  
TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR.  
V<sub>50</sub>=108 MPH

### DOOR SCHEDULE

MARK	SIZE	PRODUCT	DOOR	HEIGHT	ZONE	WIND
	CODE	DESCRIPTION	WIDTH			PRESSURE
①	OVERHEAD	03-209	96	84	4&5	*19.1/-21.6
②	3068 FRONT ENTRY DR.	DISTINCTION	36	80	4	*21.2/-22.9
③	2-3068	SGD 2D2T XX	72	3/4"	80"	*19.4/-21.2

### WINDOW SCHEDULE

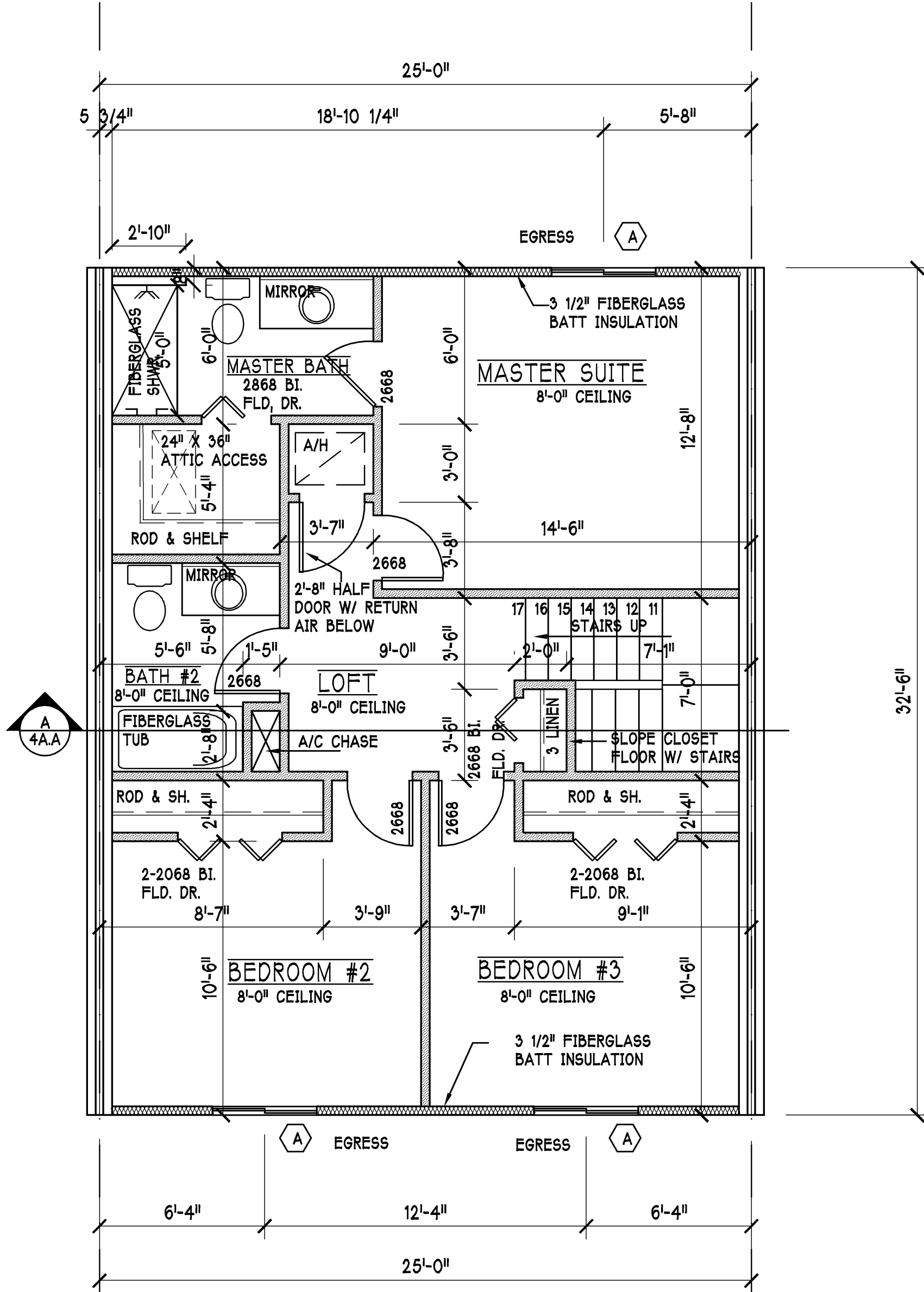
MARK	SIZE	PRODUCT	ZONE	WIND
	CODE	DESCRIPTION		PRESSURE
A	4040 H.R.		4	*21.2/-22.9
B	33 H.R.		4	*21.2/-22.9

### CABINET BACKING

KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE- TOP @ 35"
GUEST BATH	UPPER	BASE- TOP @ 31"
LAUNDRY RM.	UPPER TOP @ 84"	BASE

### DOOR HEADERS

6'-8" BIFOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.



UNIT 'A'  
2nd FLOOR PLAN SCALE: 1/4"= 1'-0"

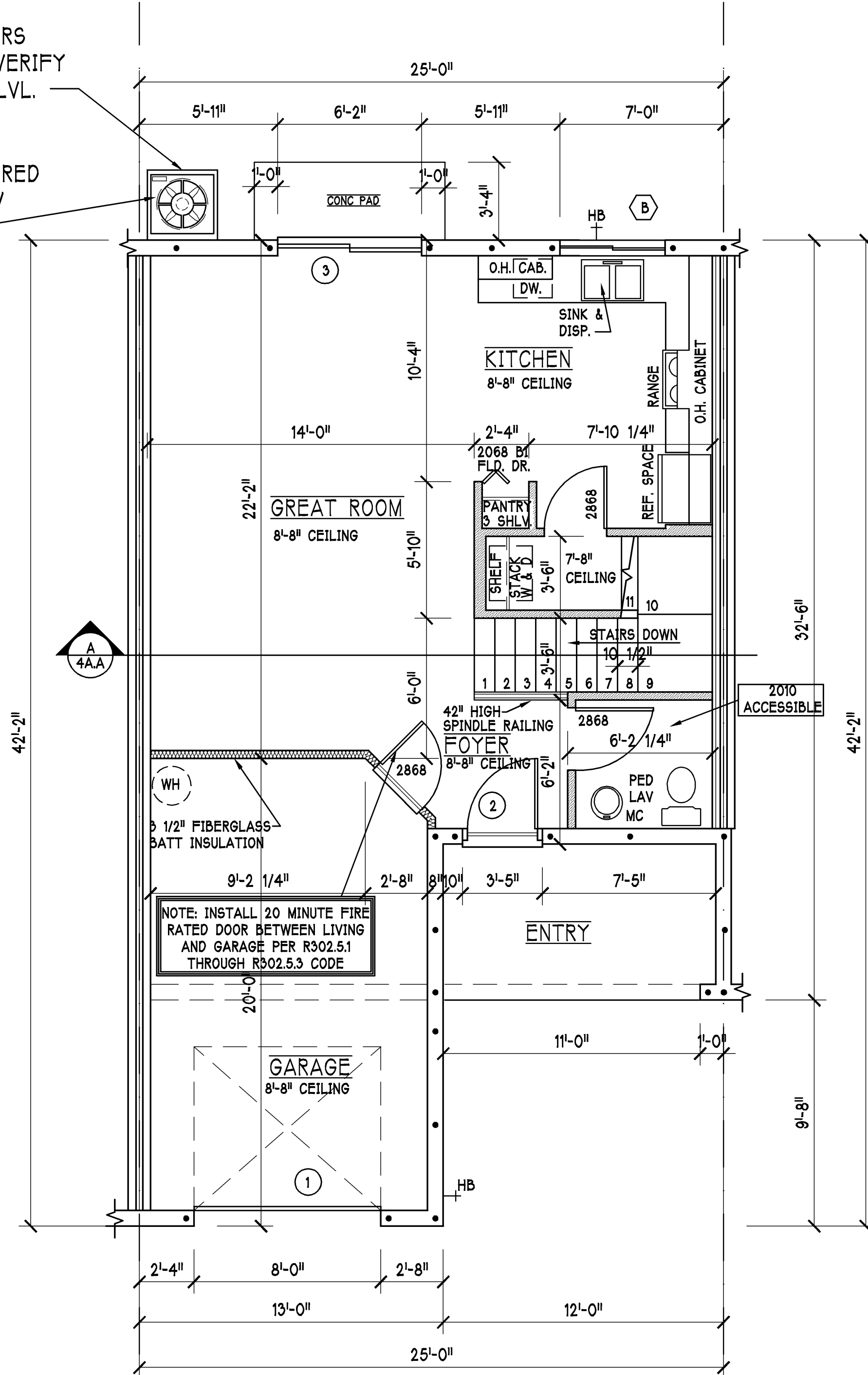
A/C UNIT COMPRESSORS  
PROVIDE CONC. PAD VERIFY  
SIZE @ FINISH FLR. LVL.

CU TO BE ANCHORED  
TO CONC. PAD W/  
3 1/2" TAPCONS.

NOTE: THE GARAGE SHALL BE  
SEPARATED FROM THE RESIDENCE  
AND ATTIC AREA BY NOT LESS  
THEN 1/2" GYPSUM BOARD APPLIED  
TO THE GARAGE SIDE. GARAGES  
BENEATH HABITABLE ROOMS SHALL  
BE SEPARATED FROM ALL  
HABITABLE ROOMS ABOVE BY NOT  
LESS THEN 5/8" TYPE X GYPSUM  
BOARD OR EQUIVALENT. WHERE  
THE SEPARATION IS A  
FLOOR-CEILING ASSEMBLY, THE  
STRUCTURE SUPPORTING THE  
SEPARATION SHALL ALSO BE  
PROTECTED BY NOT LESS THEN  
1/2" GYPSUM BOARD OR  
EQUIVALENT.

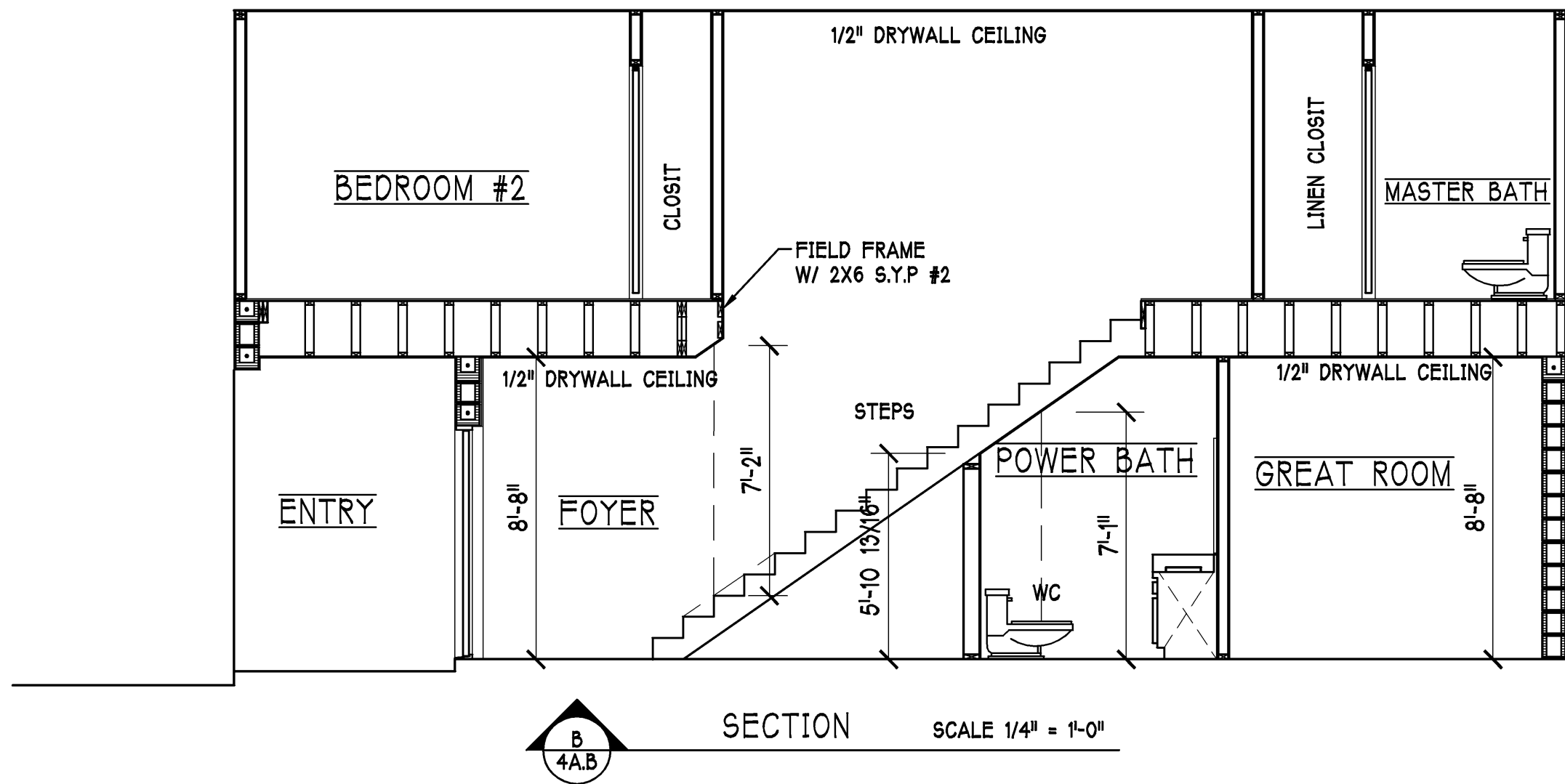
PROVIDE SAFETY GLAZING WITHIN 24"  
FROM EXIT DOOR.  
(PER FLORIDA BUILDING CODE-R308.3.1)

NOTE:  
PROVIDE SAFETY GLAZING AT BATH/SHRW.  
SHALL COMPLY WITH R 308.3.1



UNIT 'A'  
1st FLOOR PLAN SCALE: 1/4"= 1'-0"

DESIGN IN ACCORDANCE WITH  
THE FLORIDA BUILDING CODE 2010



NOTE:  
VERIFY ALL WINDOWS AND DOORS  
ROUGH OPENING DIMENSION.

NOTE:  
INSTALL SMOOTH WALLS IN KITCHEN  
AND ALL BATHROOM AREAS.

NOTE:  
SEE EXTERIOR ELEVATION SHEET FOR  
DETAILS OF ALTERNATE WINDOWS  
ARRANGEMENTS, ENTRY WALKS AND  
ADDITIONAL WALKS, TIE BEAM AND  
FOOTINGS.

### SQUARE FOOTAGE

UNIT - B  
1ST FLOOR LIVING AREA ----- 751  
2ND FLOOR LIVING AREA ----- 914  
TOTAL LIVING AREA ----- 1,665

ENTRY AREA ----- 68  
GARAGE AREA ----- 253  
TOTAL AREA ----- 1,986

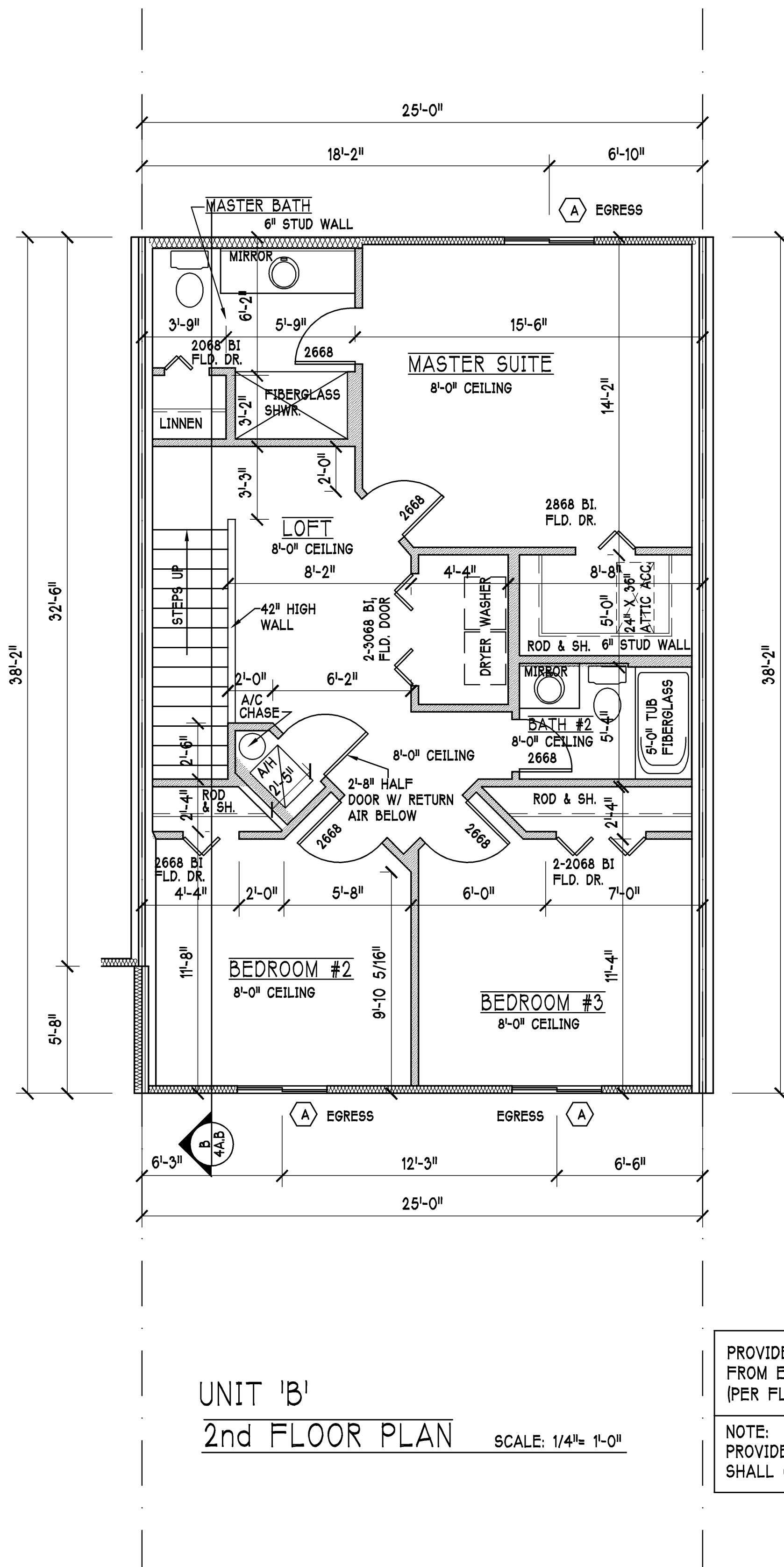
WIND PRESSURES PER ASCE7-10, 140 MPH, EXPOSURE B, AND CONVERTED  
TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR.  
Vasd=108 MPH

DOOR SCHEDULE						
D R HORTON						
MARK	SIZE CODE	PRODUCT DESCRIPTION	DOOR WIDTH	HEIGHT	ZONE	WIND PRESSURE
①	OVERHEAD	03-209	96	84	4&5	+18.1/-21.6
②	3068 FRONT ENTRY DR. W/ 12" SIDE LIGHT	DISTINCTION	36	80	4	+21.2/-22.9
			12	80		
③	2-4068	SGD 202T XX	96 3/4"	80"	4	+19.4/-21.2

WINDOW SCHEDULE				
MARK	SIZE	PRODUCT	ZONE	WIND PRESSURE
④	4040 H.R.		4	+21.2/-22.9

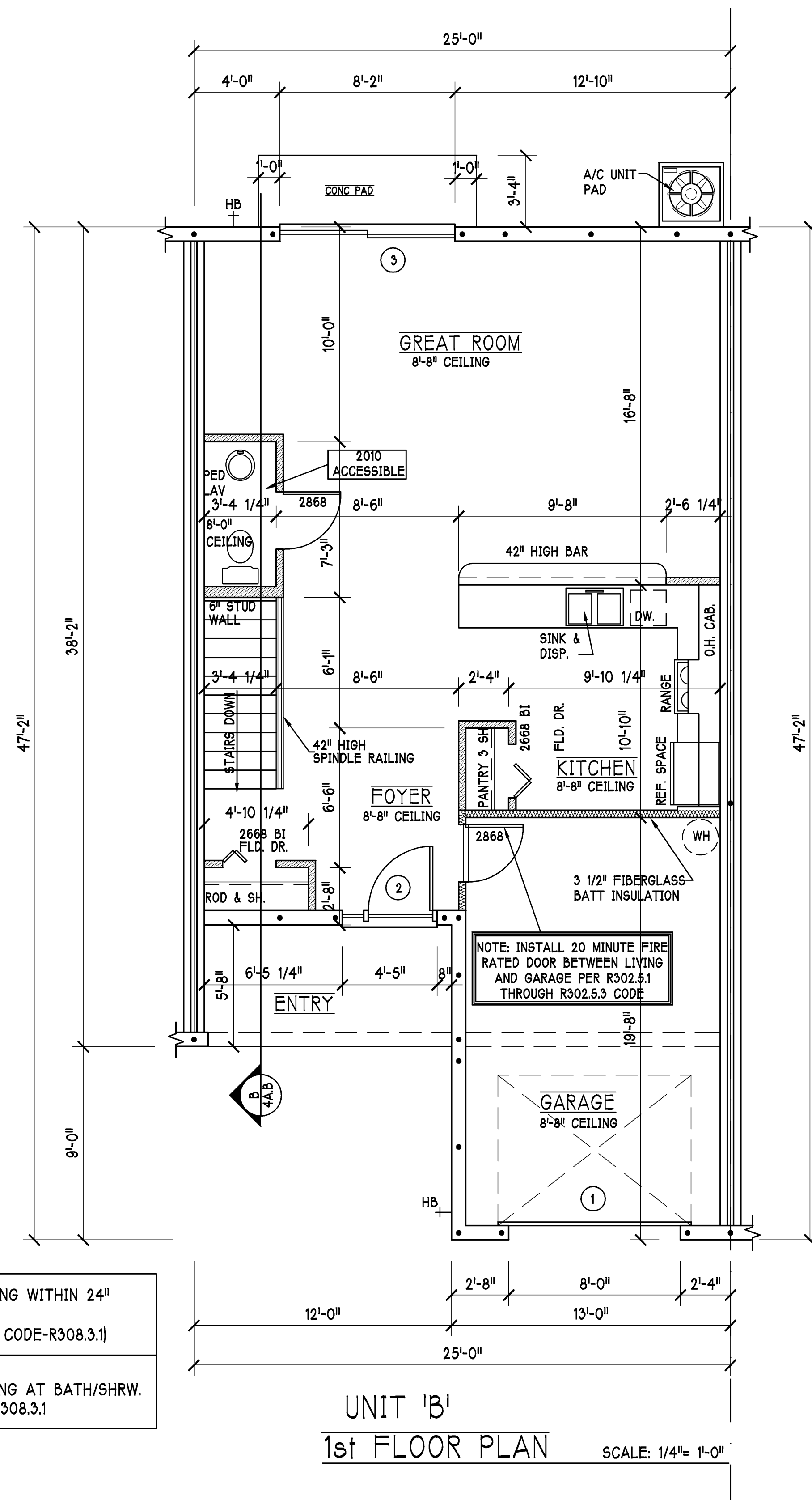
CABINET BACKING		
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE- TOP @ 35"
GUEST BATH	UPPER	BASE- TOP @ 31"
LAUNDRY RM.	UPPER TOP @ 84"	BASE

DOOR HEADERS		
6'-8" BIFOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

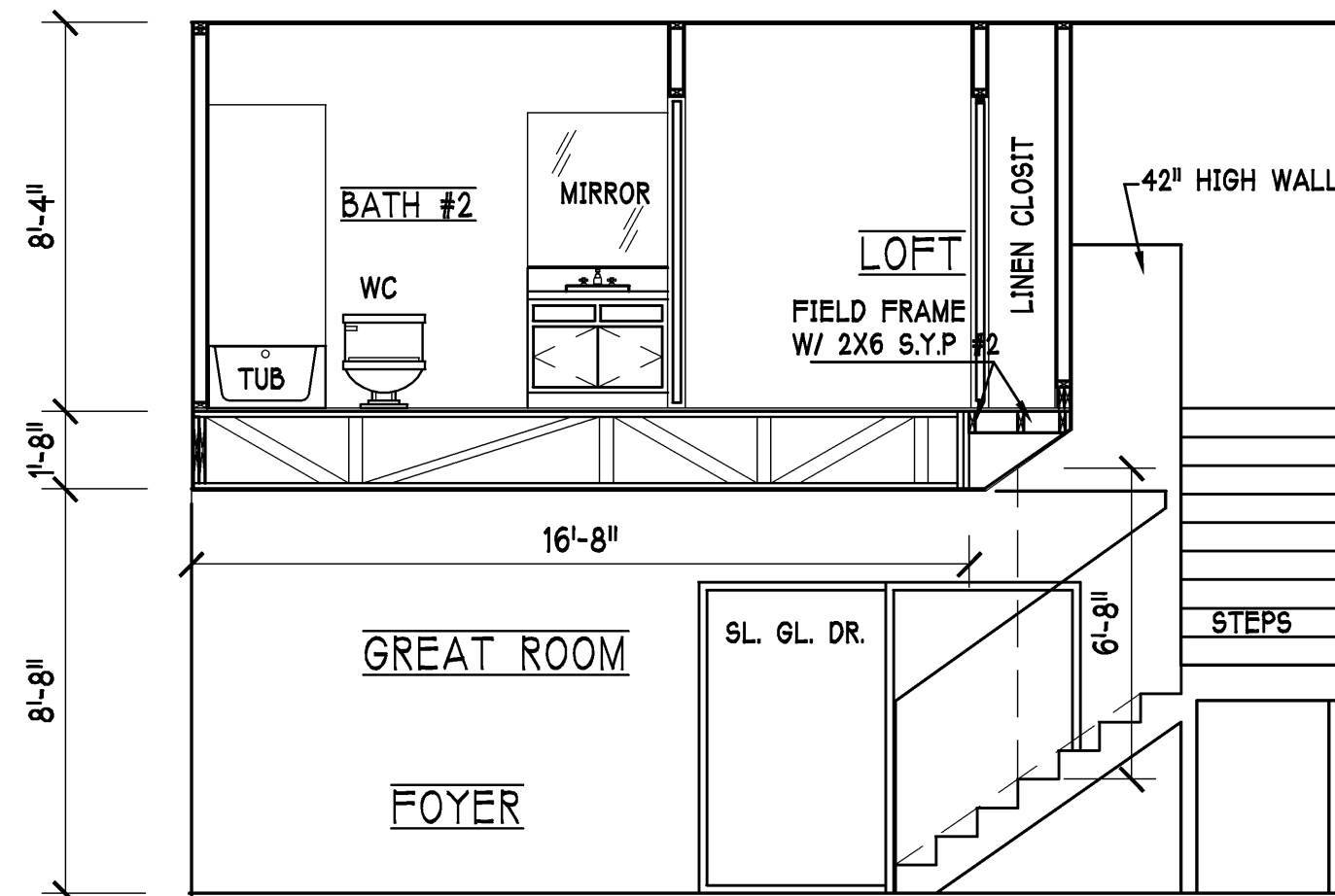


PROVIDE SAFETY GLAZING WITHIN 24"  
FROM EXIT DOOR.  
(PER FLORIDA BUILDING CODE-R308.3.1)

NOTE:  
PROVIDE SAFETY GLAZING AT BATH/SHRW.  
SHALL COMPLY WITH R 308.3.1



DESIGN IN ACCORDANCE WITH  
THE FLORIDA BUILDING CODE 2010



NOTE:  
VERIFY ALL WINDOWS AND DOORS  
ROUGH OPENING DIMENSION.

NOTE:  
INSTALL SMOOTH WALLS IN KITCHEN  
AND ALL BATHROOM AREAS.

NOTE:  
SEE EXTERIOR ELEVATION SHEET FOR  
DETAILS OF ALTERNATE WINDOWS  
ARRANGEMENTS, ENTRY WALKS AND  
ADDITIONAL WALKS, TIE BEAM AND  
FOOTING.

### SQUARE FOOTAGE

UNIT - C  
1ST FLOOR LIVING AREA ----- 907  
2ND FLOOR LIVING AREA ----- 931  
TOTAL LIVING AREA ----- 1,838

ENTRY AREA ----- 9  
GARAGE AREA ----- 223  
TOTAL AREA ----- 2,070

WIND PRESSURES PER ASCE7-10, 140 MPH, EXPOSURE B, AND CONVERTED  
TO ALLOWABLE STRESS DESIGN PRESSURES USING 0.6W LOAD FACTOR.  
V<sub>50</sub>=108 MPH

### DOOR SCHEDULE

MARK	SIZE CODE	PRODUCT DESCRIPTION	DOOR WIDTH	HEIGHT	ZONE	WIND PRESSURE
①	OVERHEAD	03-209	96	84	4&5	+18.1/-21.6
②	DOBO FRONT ENTRY DR.	DISTINCTION	36	80	4	+21.2/-22.9
③	2-4068	S&D 2D2T XX	96 3/4"	80"	4	+18.4/-21.2

### WINDOW SCHEDULE

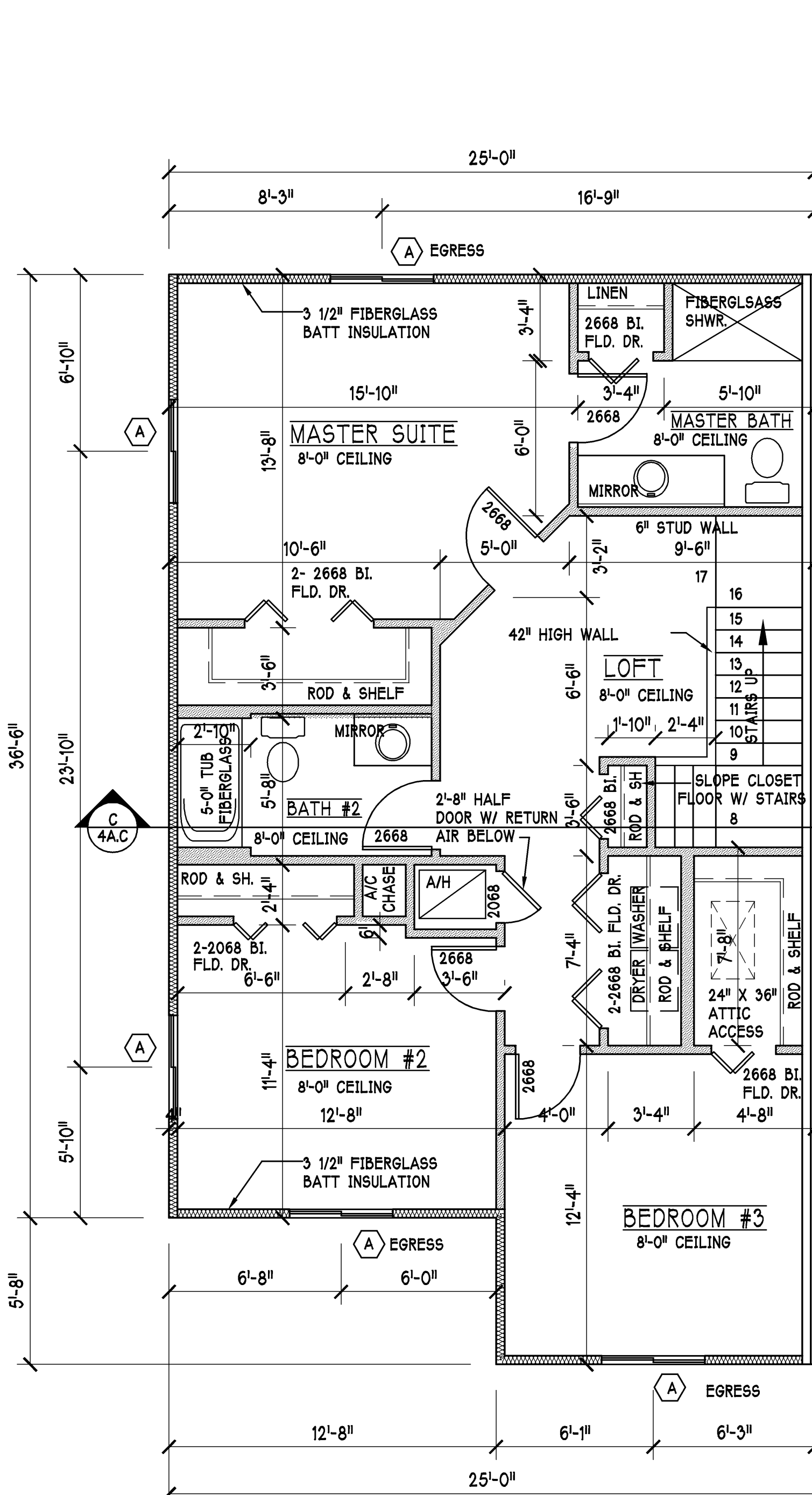
MARK	SIZE CODE	PRODUCT DESCRIPTION	ZONE	WIND PRESSURE
A	4040 H.R.		4	+21.2/-22.9
B	25 S.H.		4	+21.2/-22.9
C	33 S.H.		4	+21.2/-22.9
D	23 S.H.		4	+21.2/-22.9

### CABINET BACKING

KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"
MASTER BATH	UPPER	BASE- TOP @ 35"
GUEST BATH	UPPER	BASE- TOP @ 35"
LAUNDRY RM.	UPPER TOP @ 84"	BASE

### DOOR HEADERS

6'-8" BIPOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.



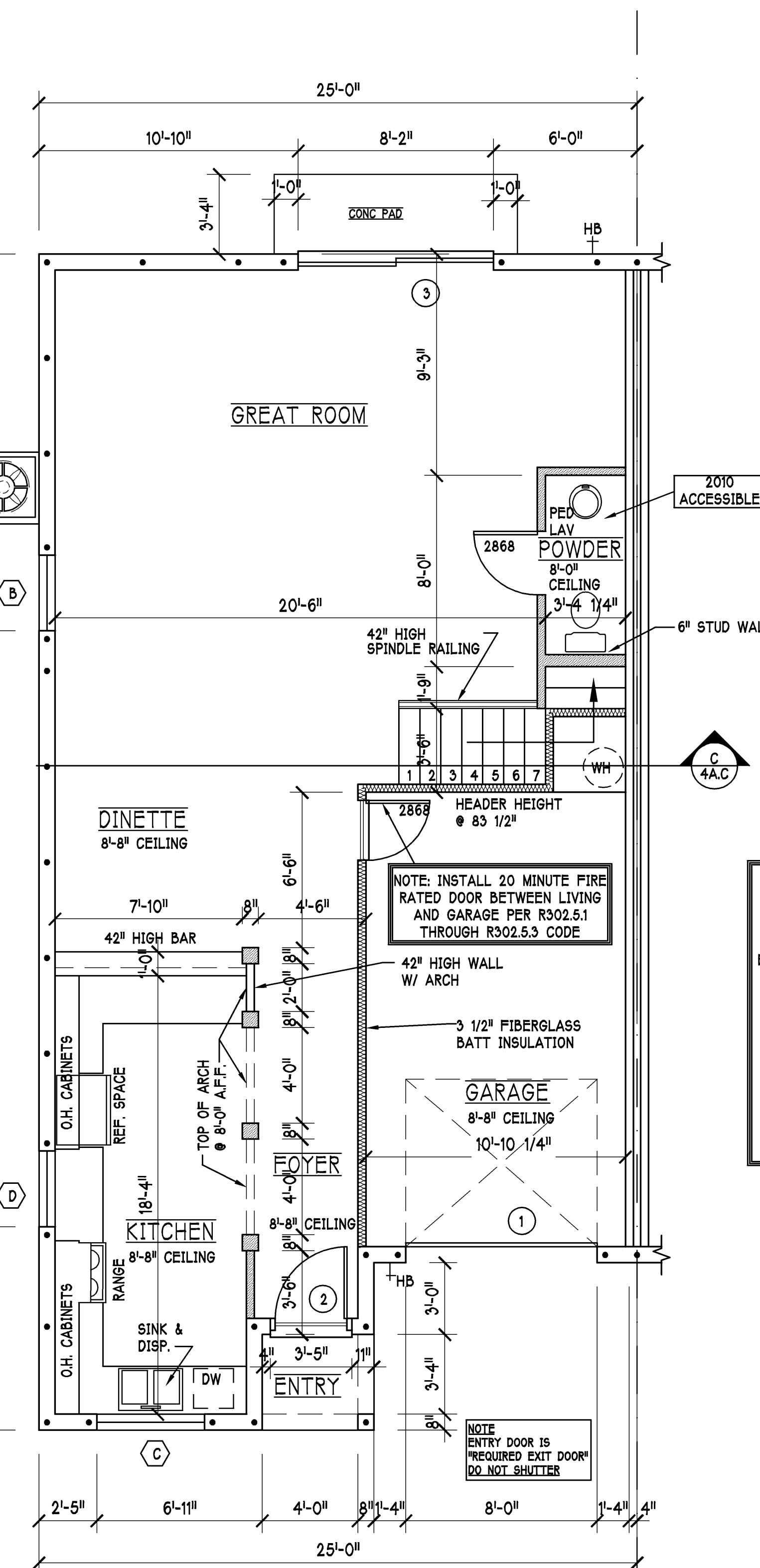
UNIT 'C'  
2nd FLOOR PLAN SCALE: 1/4" = 1'-0"

A/C UNIT COMPRESSORS  
PROVIDE CONC. PAD VERIFY  
SIZE @ FINISH FLR. LVL.

CU TO BE ANCHORED  
TO CONC. PAD W/  
3 1/2" TAPCONS.

PROVIDE SAFETY GLAZING WITHIN 24"  
FROM EXIT DOOR.  
(PER FLORIDA BUILDING CODE-R308.3.1)

NOTE:  
PROVIDE SAFETY GLAZING AT BATH/SHWR.  
SHALL COMPLY WITH R 308.3.1



UNIT 'C'  
1st FLOOR PLAN SCALE: 1/4" = 1'-0"

NOTE: THE GARAGE SHALL BE  
SEPARATED FROM THE RESIDENCE  
AND ATTIC AREA BY NOT LESS  
THAN 1/2" GYPSUM BOARD APPLIED  
TO THE GARAGE SIDE. GARAGES  
BENEATH HABITABLE ROOMS SHALL  
BE SEPARATED FROM ALL  
HABITABLE ROOMS ABOVE BY NOT  
LESS THAN 5/8" TYPE X GYPSUM  
BOARD OR EQUIVALENT. WHERE  
THE SEPARATION IS A  
FLOOR-CEILING ASSEMBLY, THE  
STRUCTURE SUPPORTING THE  
SEPARATION SHALL ALSO BE  
PROTECTED BY NOT LESS THAN  
1/2" GYPSUM BOARD OR  
EQUIVALENT.

DESIGN IN ACCORDANCE WITH  
THE FLORIDA BUILDING CODE 2010







**OFF RIDGE ROOF VENT INSTALLATION**

**PREPARATION**

Minimum 4:12 pitch required.

Cut out the off ridge opening in the roof sheathing as shown in Figure A. Size the opening in accordance with the correct cutting data models and locate the opening 6" minimum off the peak of the roof as shown in Figure B. For single vent applications, install vent as close to the center of the roof length as possible. Install multiple vents in evenly spaced areas of the entire roof length.

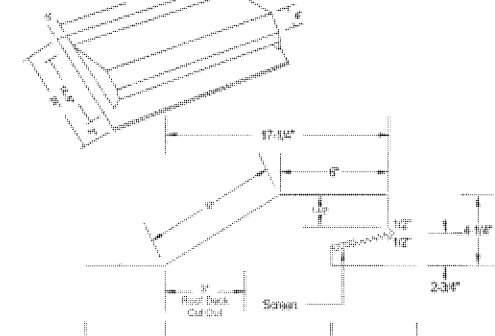
Do not cut into trusses or rafters when cutting hole in the roof.

**FITTING**

Remove interfering shingle nails around the perimeter of the opening. Slide top and side flanges of the vent up and under shingles. Allow the bottom vent flanges to lay on top of shingles.

**MOUNTING**

Care should be taken in keeping the vent properly aligned. Nail in place using 1-1/4" coating roofing nails spaced approximately 6" - 12" on center and 1-1/2" from each end. Roofing cement should be applied to all shingle edges and nail heads to prevent water leakage. In severe weather coastal construction zones, caulking around entire perimeter, under vent flanges and near outer edges is recommended.

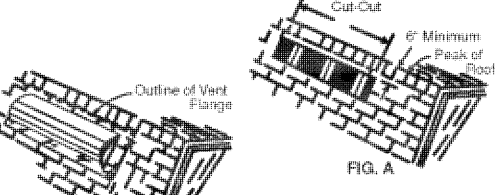


**STANDARD OFF RIDGE VENT**

SIZE	LENGTH	AREA	HEIGHT	Cut Out
4	46.25	138	5.5"	46" x 3"
6	70.25	210	5.5"	70" x 3"
8	94.25	282	5.5"	94" x 3"
10	118.25	354	5.5"	118" x 3"

**TILE OFF RIDGE VENT**

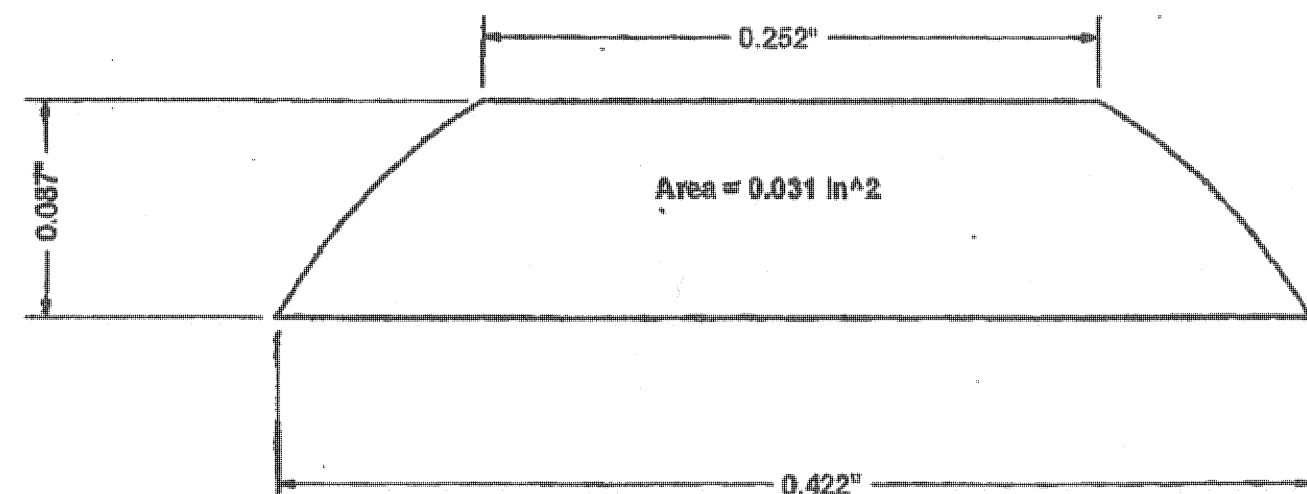
SIZE	LENGTH	AREA	HEIGHT	Cut Out
4	46.25	138	8.5"	46" x 3"
6	70.25	210	8.5"	70" x 3"
8	94.25	282	8.5"	94" x 3"
10	118.25	354	8.5"	118" x 3"



TAMCO: This product meets Florida Building Code Table 1507.3.3-1508.4.3  
FLB 3028.1

THOMPSON ARCHITECTURAL METALS • 5610 S. Hollister Avenue • Tampa, FL 33611 • (813) 246-3456 • Fax (813) 247-4616

**Percent Aeration for 12" Full Vent Soffit**



$$\% \text{ Aeration} = \frac{(\text{vent area}) \times (\# \text{ of vent holes})}{\text{panel's surface area}} \times (100\%)$$

$$= \frac{(0.031 \text{ in}^2 \times 249)}{(144 \text{ in}^2)} \times (100\%)$$

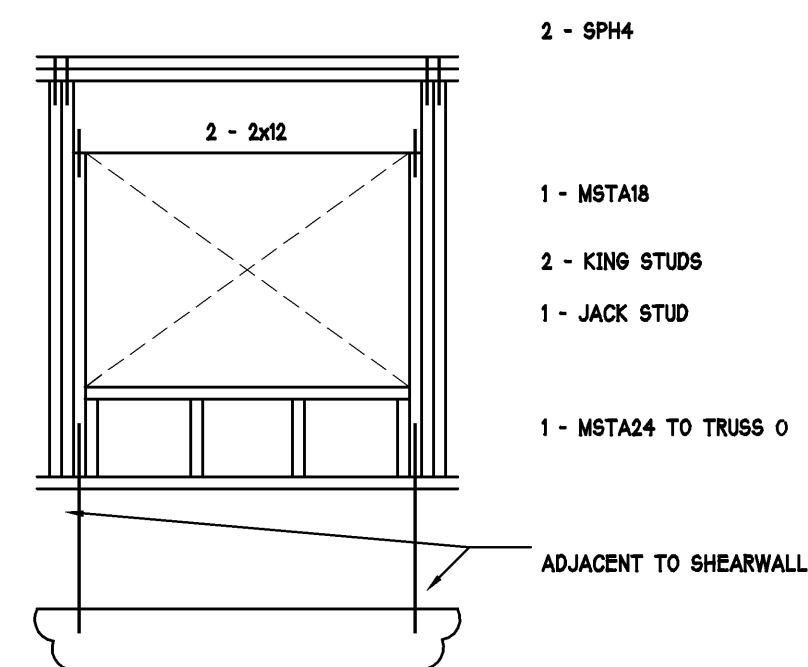
$$= 5.16\%$$

$$\text{Area of Aeration} = (\% \text{ Aeration}) \times (144 \text{ in}^2)$$

$$= (5.16\%) \times (144 \text{ in}^2)$$

$$= 7.43 \text{ in}^2$$

\* Vent Dimensions are approximate values



W1 = WINDOW TO 4'-6"

**TRUSS STRAPPING TO STUD WALL/WOOD BEAM**

MAX TRUSS UPLIFT @ 24" OC (LBS)	CONNECTOR	FASTENER
840	(1) MTS12 to 20	14-10d x 1 1/2"
1680	(2) MTS12 to 20	14-10d x 1 1/2"
2520	(3) MTS12 to 20	14-10d x 1 1/2"
1450	(1) MTS20 to 30	24-10d x 1 1/2"
2900	(2) MTS20 to 30	24-10d x 1 1/2"
4350	(3) MTS20 to 30	24-10d x 1 1/2"
5800	(4) MTS20 to 30	24-10d x 1 1/2"

INSTALL AT ALL TRUSSES TO 840 LB UPLIFT FOR HIGHER UPLIFTS, SEE NOTES ON PLAN.

- NOTES:
- 1) PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE.
  - 2) CONNECTORS ARE SIMPSON STRONG TIE. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SIMPSON PRINTED INSTRUCTIONS.

REV 2

- PLAN NOTES:**
- 1) FLOOR TRUSS BEARING ELEVATION 8'-8".
  - 2) FLOOR FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET S-1.
  - 3) PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET.
  - 4) FLOOR SHEATHING PER TABLE 7 ON A-6 AND 2/5-1.
  - 5) BEB-1B etc. DENOTES PRECAST UNTEL ABOVE DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET.
  - 6) NAIL MULTI-PLY WOOD BEAMS AND POSTS PER DETAIL 11/S-1.

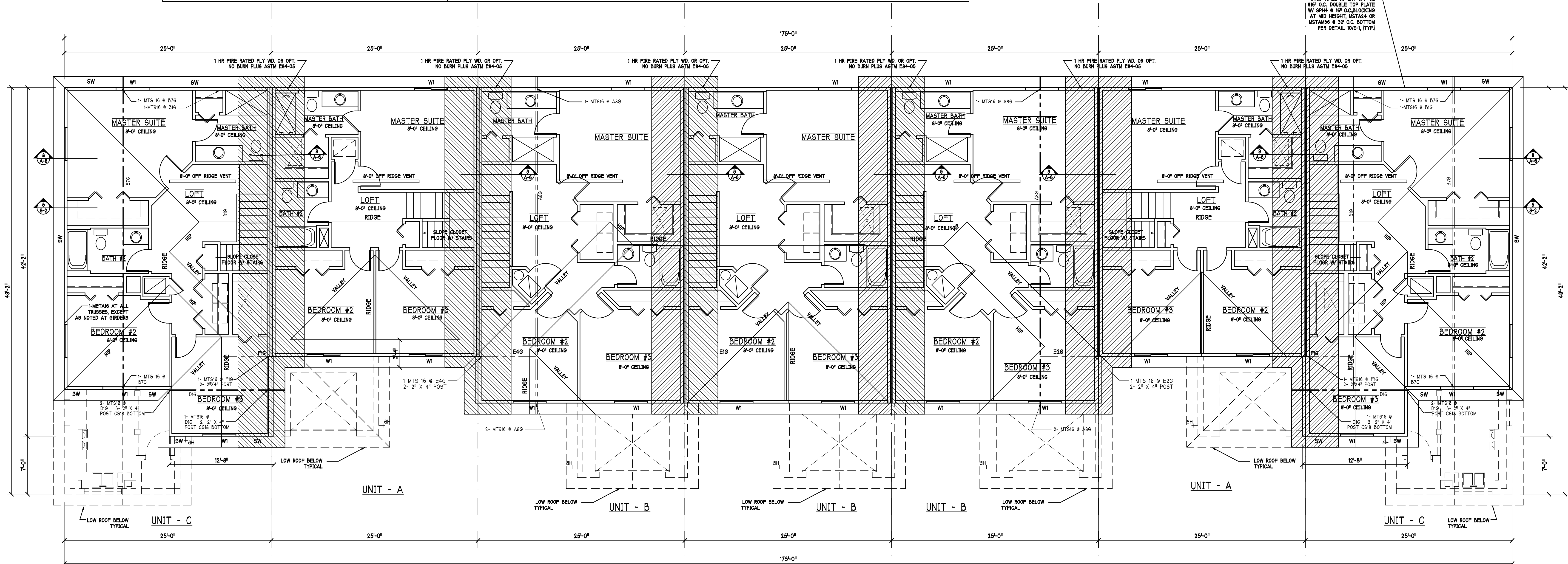
**"SW" WOOD PANEL SHEARWALL SCHEDULE**

1/2" CDX PLYWOOD OR 7/8" OSB FASTENED w/ 8d COMMON NAILS @ 6" OC EDGE & 6" OC FIELD TO 2x4 OR 2x6 SPF #2 STUDS AT 16" O.C. WITH 2x4 BLOCKING AT ALL PANEL JOINTS. PROVIDE DOUBLE STUD AT EACH END OF SHEARWALL (KING STUDS AT HEADER MAY SERVE AS DOUBLE STUD). ANCHOR EACH END OF SHEARWALLS AS FOLLOWS:

AT 2ND FLOOR ABOVE MASONRY: 2-MSTAM36 STRAPS TO MASONRY BELOW WITH 7-10d NAILS TO STUD AND (4) 1/4" x 2 1/4" TAPCON TO MASONRY.

AT 2nd FLOOR ABOVE WOOD FRAMING: 2-MSTA24 STRAPS TO GIRDER BELOW WITH 22-10d NAILS (11 EACH END OF STRAP).

NOTES: SHEARWALLS ARE DESIGNATED 'SW' ON PLAN.



**2nd FLOOR ROOF PLAN**

SCALE: 3/16" = 1'-0"

TRUSS BEARING CONDITIONS AND STRAPPING IS BASED ON TRUSS LAYOUT PREPARED BY CARPENTER CONTRACTORS OF AMERICA JOB # NO # 135501P1

DESIGN IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2010



# RESIDENTIAL SPECIFICATIONS

## GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND FITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
4. SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
5. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
6. ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER OR ARCHITECT IN WRITING, THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. SIMILAR FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT.
7. TREATED WOOD REQUIREMENTS:- ALL WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
8. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUTS, OR TIE DOWNS.
9. CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" S&G RESISTANT PER SEC. 702.3.5
10. LANAI CEILINGS A COVERED ENTRY CEILINGS SHALL BE 1/2" SOFFIT BOARD FASTENED WITH 8d NAILS OR DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD. OVER 1" X 3" P.T. BATTEN STRIPS @ 16" O.C. MAX. FASTEN W/ 12d 8d NAILS TO EACH TRUSS.

## DOOR AND WINDOW ANCHORAGE

ANCHORAGE REQUIREMENTS:- ALL PASS AND SLIDING GLASS DOORS AND ALL WINDOW ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A MANNER SPECIFIED BY THE PUBLISHED MANUFACTURERS LITERATURE. THERE SHALL BE NO SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER.

TO MASONRY WHERE BUCKS AND SHIMS ARE LESS THAN 1 1/2 INCHES, THE DOOR OR WINDOW ASSEMBLIES SHALL BE ANCHORED DIRECTLY THROUGH THE FRAME TO THE MASONRY WALL IN ACCORDANCE WITH MANUFACTURERS PUBLISHED INSTALLATION INSTRUCTIONS. WHEN BUCK EXCEEDS THIS THICKNESS, THE BUCK SHALL BE SECURELY FASTENED TO THE MASONRY AND THE DOOR OR WINDOW CONNECTED TO THE BUCK IN ACCORDANCE WITH PUBLISHED INSTALLATION INSTRUCTIONS OF THE ITEM BEING INSTALLED. ALL CONSTRUCTION SHALL CONFORM TO THE GENERAL REQUIREMENTS OF SECTION 902.6 OF THE FLORIDA BUILDING CODE 2004, RESIDENTIAL.

THE MINIMUM DOOR BUCK IS 1 BY 6 PT. THE MINIMUM WINDOW BUCK IS 1 BY 3 PT. ALL BUCKS SHALL BE SET IN A BED OF CAULK.

IF BUCKS ARE SET INDEPENDENTLY, WINDOW OR DOOR ATTACHMENT, BUCKS SHALL BE SET WITH 3/16 INCH DIAMETER COUNTER SCREWS OF SUFFICIENT LENGTH MINIMUM EMBEDMENT OF 1 1/2 INCHES) STARTING AT 6 INCHES MAXIMUM FROM A CORNER AND THEN EVERY 12 INCHES. WINDOW BUCKS MAY BE SET WITH 0.09 INCH POWER DRIVE T NAILS MINIMUM PENETRATION 1/2 INCH, STARTING AT 4 INCHES FROM A CORNER AND THEN EVERY 8 INCHES, OR 3/16 INCH CONCRETE SCREWS SET AT THE SAME SPACING, MIN. PENETRATION 1 INCH.

TO FRAME- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURERS LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE OF RESISTING THE APPLIED LOADS AND BE LOCATED NEAR EACH FRAME FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE TIGHTENED.

## GENERAL ROOF ASSEMBLY

ROOF SHEATHING

SHALL BE A.P.A. RATED SHEATHING, EXPOSURE 1, SPAN RATING 24/16 OR BETTER. DIMENSION PLACED PERPENDICULAR TO TRUSSES, A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. FOR SHEATHING THICKNESS 1/2" OR LESS USE 4 CLIPS @ 24" CENTER. OVER 1/2" BETWEEN TRUSSES, THE ROOF SHEATHING SHALL BE NAILED WITH 8d RING SHANK NAILS @ 6" O.C. EDGE AND FIELD. ENSURE THAT ALL NAILS PENETRATE THE TOP CHORD OF THE TRUSS WITHOUT SPLITTING RING SHANK NAILS PER 903.2.3.1. 0.131" NOMINAL SHANK DIAMETER, RING DIA. OF 0.012" OVER SHANK DIAMETER, 16 TO 20 RINGS PER INCH, 0.250" DIAMETER FULL ROUND HEAD, 2" NAIL LENGTH.

UNDERLAYMENT

ROOF SHEATHING SHALL BE COVERED WITH #30 FELT BUILDING PAPERS. TYP. 1/4" UNDERLAYMENT SHALL CONFORM TO ASTM D226, TYPE I OR II, ATM D4869, TYPE I OR II AND SHALL BE INSTALLED PER THE MANUFACTURERS REQUIREMENTS. UNDERLAYMENTS SHALL BE APPLIED SHINGLE FASHION STARTING AT THE EAVE LAPPED 2" FASTENED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS FOR CONCRETE TILE ROOF, ADD LAYER OF 90# ASPHALT FELT NOT MOTTED.

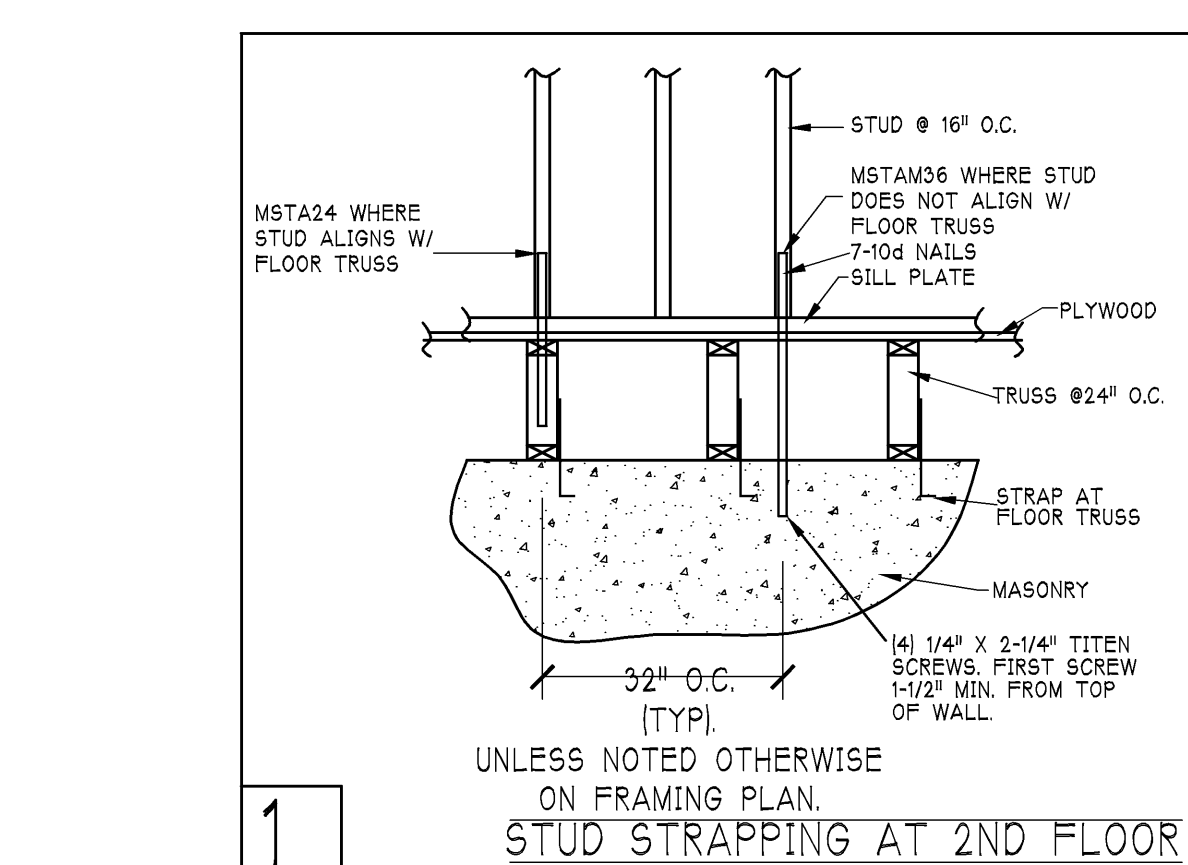
LOW SLOPE ROOFS, FOR ROOF SLOPES FROM 2.5:12 UP TO 4:12, UNDERLAYMENT SHALL BE A MINIMUM OF TWO LAYERS APPLIED AS FOLLOWS STARTING AT THE EAVE, A 18-INCH STRIP OF UNDERLAYMENT SHALL BE APPLIED PARALLEL WITH THE EAVE AND FASTENED SUFFICIENTLY TO STAY IN PLACE.

FLASHING

FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL, 0.79 INCHES THICK, 26 GAGE AZ50 ALUM. ZINC, OR GALVANIZED STEEL, 0.79 INCHES THICK, 26 GAGE ZINC COATED 690. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ROOF MEMBRANE MANUFACTURERS PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION 950.5.2.8 (1 TO 5).

DRIP EDGE

DRIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLE ROOFS. LAPPED A MINIMUM OF 2" @ JOINTS THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/4" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". DRIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTER. IF DRIP EDGES MAY BE INSTALLED UNDER THE DRY IN, IF INSTALLED OVER THE DRY IN THERE SHALL BE A MINIMUM OF 2" WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.



## STUD STRAPPING AT 2ND FLOOR

UNLESS NOTED OTHERWISE ON FRAMING PLAN

## WOOD FRAMING

1. ALL WOOD FRAMING SHALL BE FABRICATED AND INSTALLED PER ATTIC AND TRI AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
2. ALL STRUCTURAL WOOD MEMBERS SHALL BE SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
3. UNLESS NOTED OTHERWISE THE FOLLOWING MINIMUM GRADES SHALL BE USED:
  - A. STRUCTURAL LIGHT FRAMING SIZE 2 TO 4" THICK X 2 TO 4" WIDE, NO. 2 NON-DENSE OR BETTER.
  - B. STUDS SIZE 2 TO 4" THICK X 2 TO 4" THICK X 2" TO 6" WIDE, NO. 2 DENSE OR BETTER.
  - C. STRUCTURAL JOIST AND PLANKS SIZE 2 TO 4" THICK X 6" TO 8" WIDE, NO. 2 OR BETTER, 9" TO 12" WIDE, NO. 1 OR BETTER.
  - D. LIGHT FRAMING SIZE 2 TO 4" THICK X 3" TO 4" WIDE, NO. 2 NON-DENSE OR BETTER.
4. TREATED WOOD REQUIREMENTS: ALL WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, PRESSURE TREATED.
5. CONTRACTOR SHALL PROVIDE ALL FASTENING DEVICES AS SHOWN ON THE DRAWINGS AND AS NECESSARY AND SUITED FOR EACH APPLICATION, FASTENING SUBJECT TO MOISTURE SHALL BE HOT DIP GALVANIZED TO ASTM A-153-60, OR STAINLESS STEEL.
6. ALL METAL CONNECTIONS AND FABRICATIONS SHALL COMPLY WITH AISC SPECIFICATIONS.
7. SOLID BLOCK ALL JOISTS AND RAFTERS AT POINTS OF SUPPORT.
8. PREFABRICATED STRUCTURAL TRUSSES SHALL COMPLY WITH NPFA NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, TRI DESIGN SPECIFICATIONS FOR METAL PLATE WOOD TRUSSES AND ATTIC 100.
9. ALL TRUSSES SHALL BE DESIGNED AND CERTIFIED BY THE TRUSS MANUFACTURERS STATE OF FLORIDA REGISTERED ENGINEER.
10. CONTRACTOR SHALL CORRELATE WITH TRUSS MANUFACTURER TO ENSURE THAT ADEQUATE BEARING IS PROVIDED END REACTIONS OF ALL GIRDER TRUSSES.
11. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS TO THE CONTRACTOR AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION, CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS, MATERIALS AND CONDITIONS.
12. AT VOLUME CEILING CONDITIONS, ALIGN TRUSSES TO PROVIDE A SMOOTH AND UNBROKEN INTERIOR WALL SURFACE FROM FLOOR TO CEILING.
13. BRACE TRUSSES DURING ERECTION AND AFTER PERMANENT INSTALLATION TO COMPLY WITH TP1 BWY-76.
14. MICRO-LAMS (OR EQUAL PARALAMS, LVL'S, ETC) SHALL BE USED WHERE ANY SPECIFIED ON ENGINEERED PLANS AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ANY EDGES OR ENDS EXPOSED TO THE WEATHER SHALL BE PROTECTED BY THE INSTALLATION OF 26 GA, MIN, GALVANIZED STEEL FLASHING.
15. SPLICES IN MULTI-BOND CONTINUOUS BEAMS SHALL BE ALLOWED FOR ONE BOARD ONLY PER SPAN AND ONLY AT THE QUARTER POINT OF THE SPAN, UNLESS SHOWN OTHERWISE.
16. SPACE FRAMING BETWEEN TOP OF WINDOW/DOOR & T.B. SHALL BE FILL IN FRAME UNLESS NOTED OR CONSTRUCTED OTHERWISE.
17. SPACE FRAMING OF ARCHES UNDER THE BEAM SHALL BE FILL IN FRAME UNLESS NOTED OR CONSTRUCTED OTHERWISE.

## ASPHALT SHINGLE ROOF SPEC'S

SHINGLES

Underlayment shall be covered with asphalt shingles. All asphalt shingles shall have self sealing strips or be interlocking and comply with ASTM D 225 or D2462, and shall be secured to the roof with no less than 6 fasteners per shingle strip, or a minimum of 2 fasteners per shingle tab. And shall in no case be fastened with less fasteners than that required by the manufacturer. Installation shall comply with the manufacturer's requirements for installation in the 130 MPH Florida wind zone, as determined by ASTM D 3161.

PASTENERS

Fasteners for asphalt shingles shall comply with ASTM F 1667, and shall be made of galvanized steel, stainless steel or aluminum with a minimum shank size of 12 gage (0.105 inches) with a minimum 3/8 inch diameter head and shall be of 5 length to penetrate the sheathing.

The nail component of plastic cap nails shall meet or exceed the requirements of ASTM A

1101, hot dipped galvanization or shall be made of stainless steel, non ferrous metal.

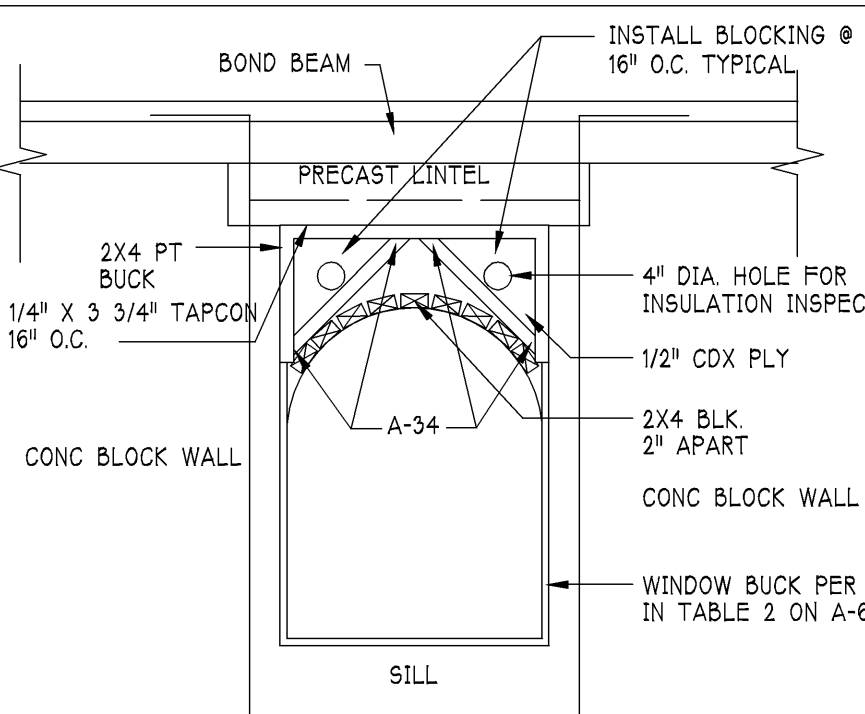
## CLAY AND CONCRETE TILE ROOF SPEC'S

THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF 1607.4, F.B.C. MARKING: EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURERS IDENTIFICATION MARK. APPLICATION SPECIFICATIONS, THE TILE MANUFACTURERS WRITTEN APPLICATION SPECIFICATIONS SHALL BE AVAILABLE AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

1. TILE PLACEMENT AND SPACING.
2. ATTACHMENT SYSTEM NECESSARY TO COMPLY WITH CHAPTER 16, A. AMOUNT AND PLACEMENT OF MORTAR.
3. AMOUNT AND PLACEMENT OF ADHESIVE.
4. C. TYPE, NUMBER, SIZE, AND LENGTH OF FASTENERS AND CLIPS.
5. UNDERLAYMENT.
6. SLOPE REQUIREMENT.

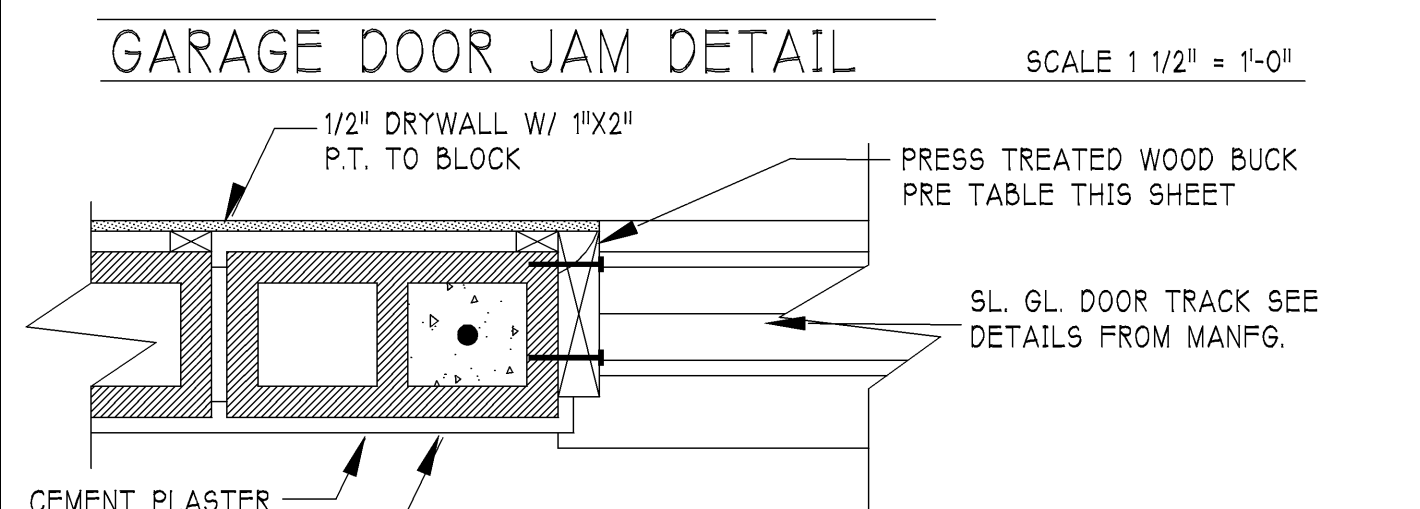
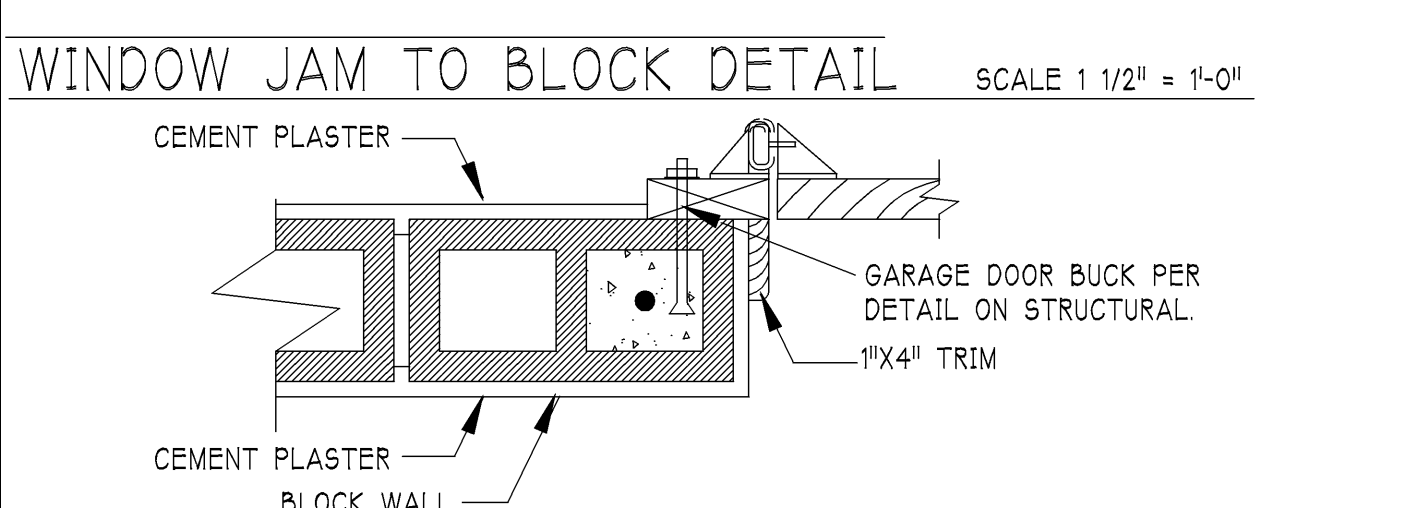
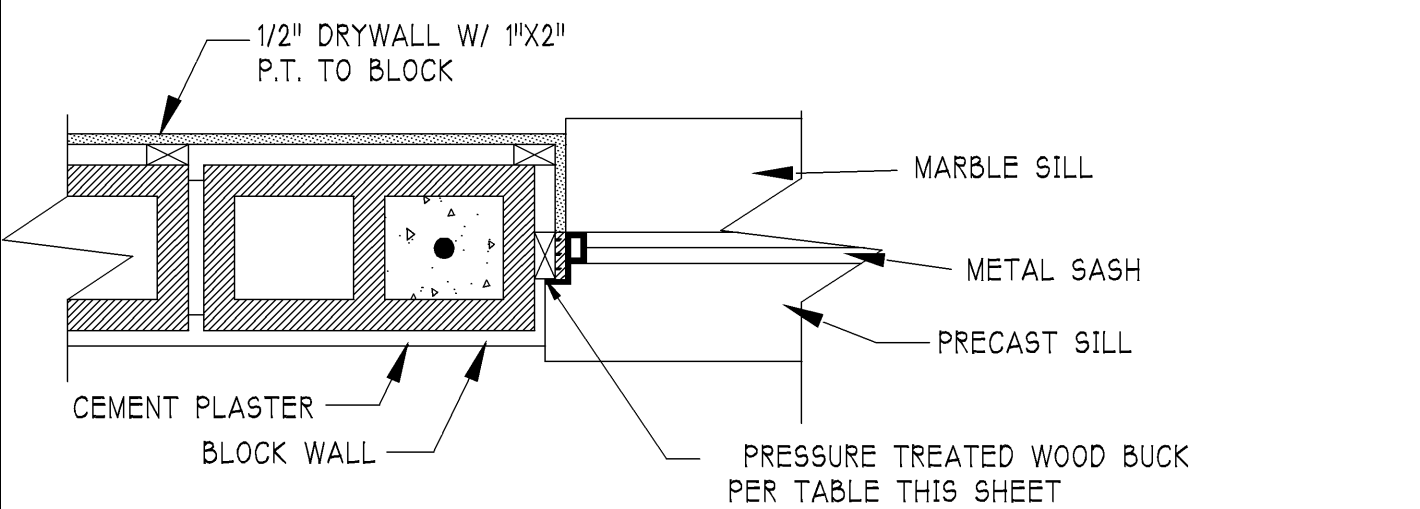
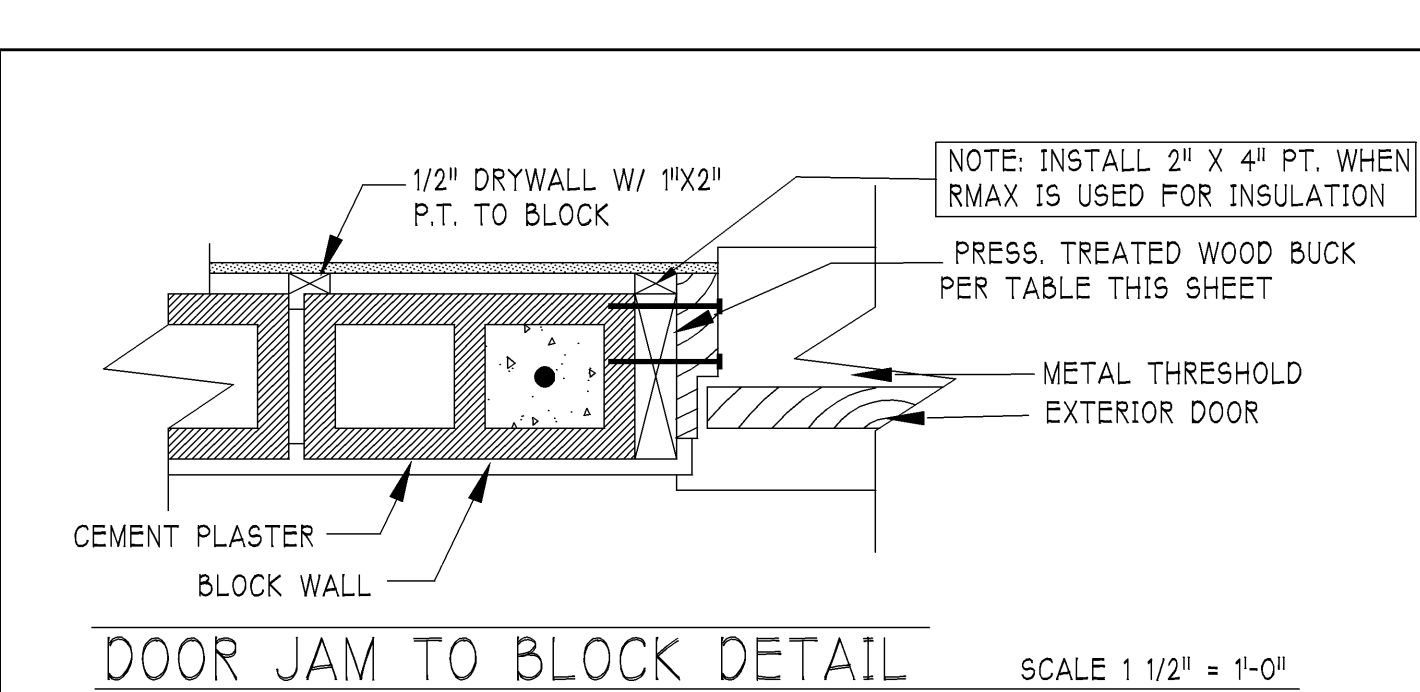
## FLOOR SHEATHING AT 2ND FLOOR

A.P.A. RATED STURDI-FLOOR, EXPOSURE 1, TONGUE & GROOVE EDGES SPAN RATINGS 48/24 OR BETTER, GLUE AND NAIL W/ 10s COMMON @ 6" O.C. EDGE AND FIELD.



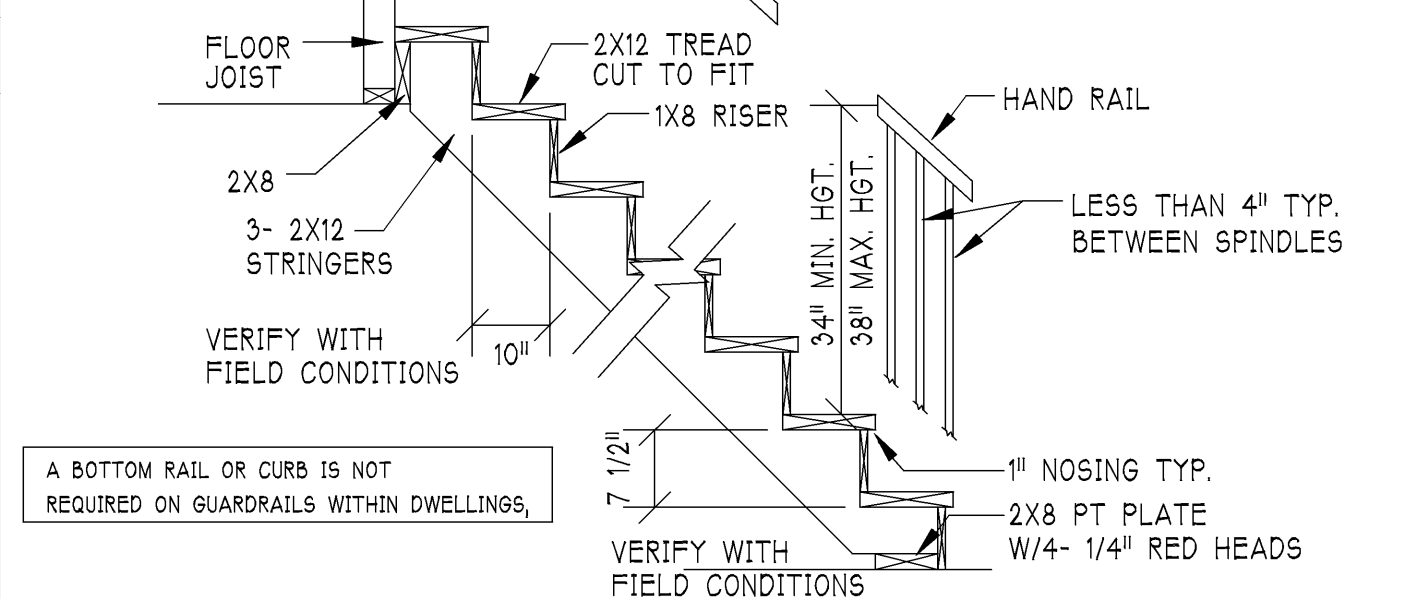
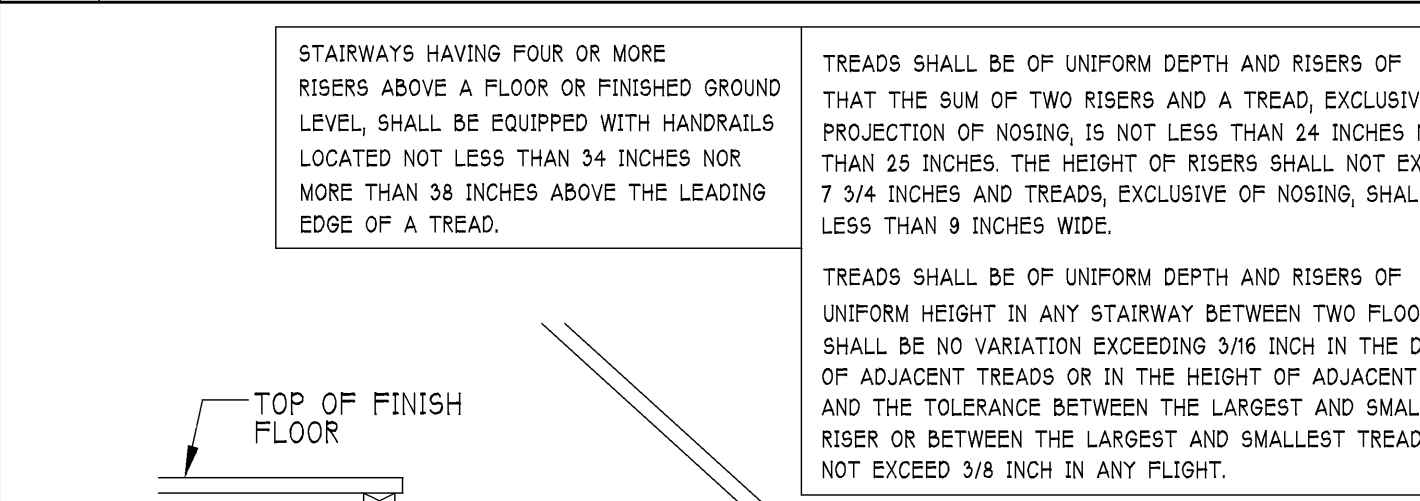
## WINDOW OR DOOR ARCH SPACE FRAMING ABOVE

NO SCALE

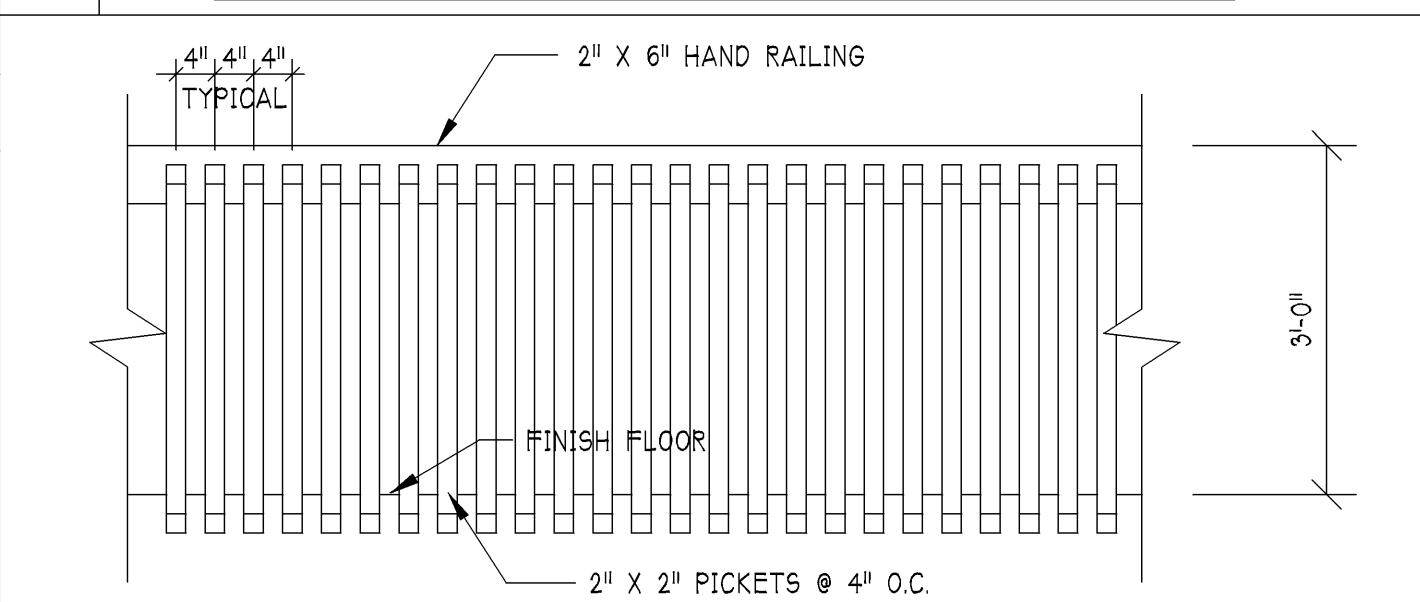


## SL. GL. DR. JAM TO BLOCK DETAIL

SCALE 1 1/2" = 1'-0"

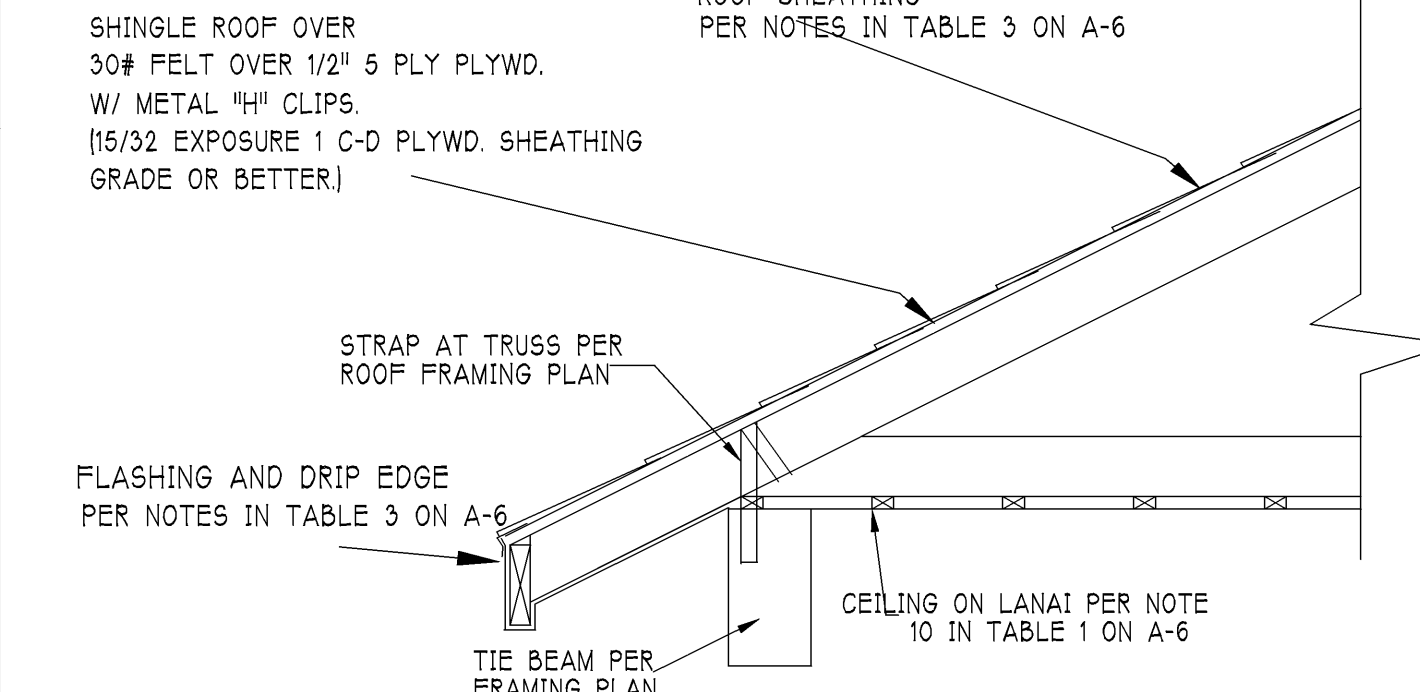


## STAIR SECTION DETAILS



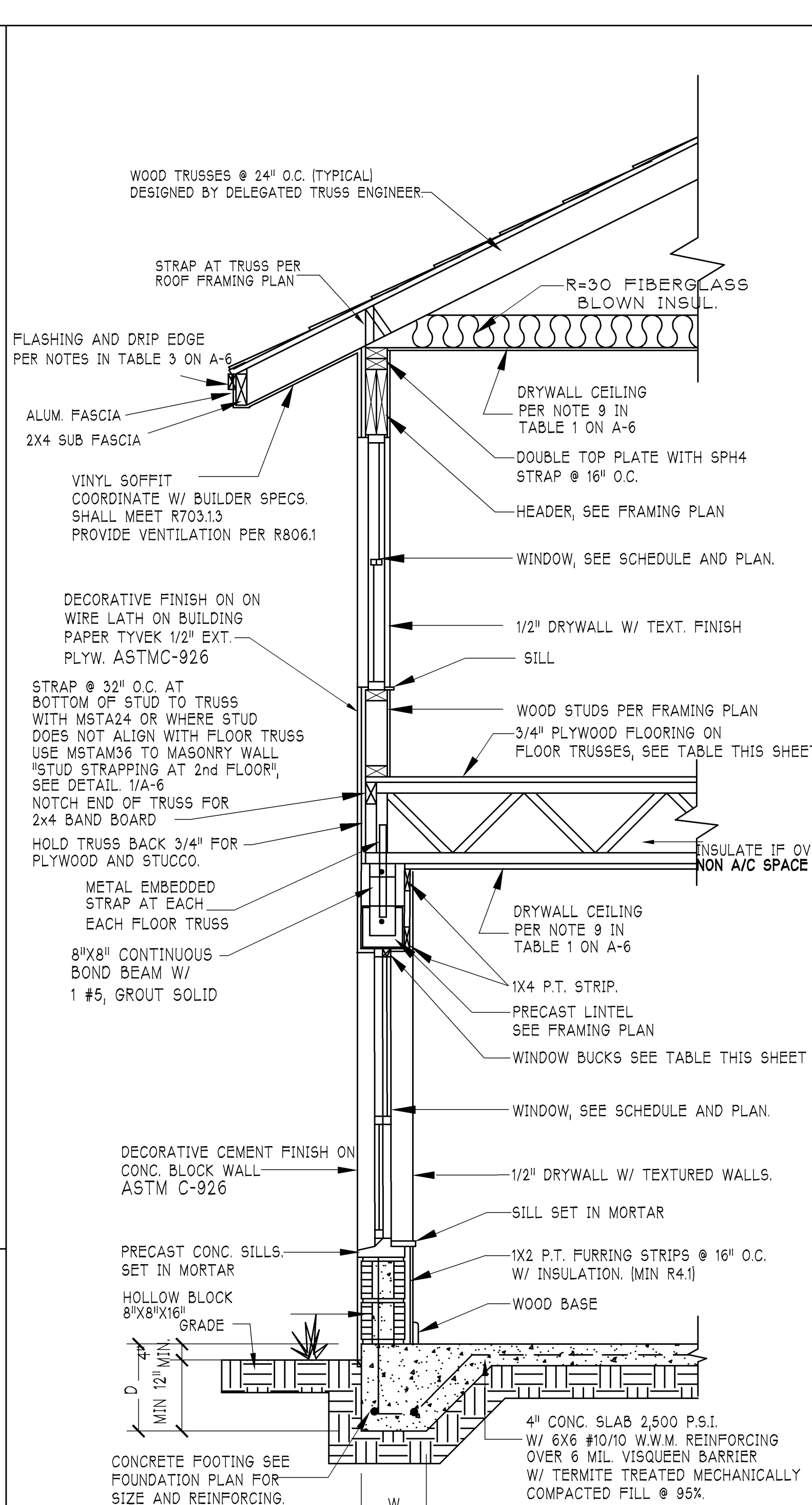
## INTERIOR RAILING

SCALE 3/4" = 1'-0"



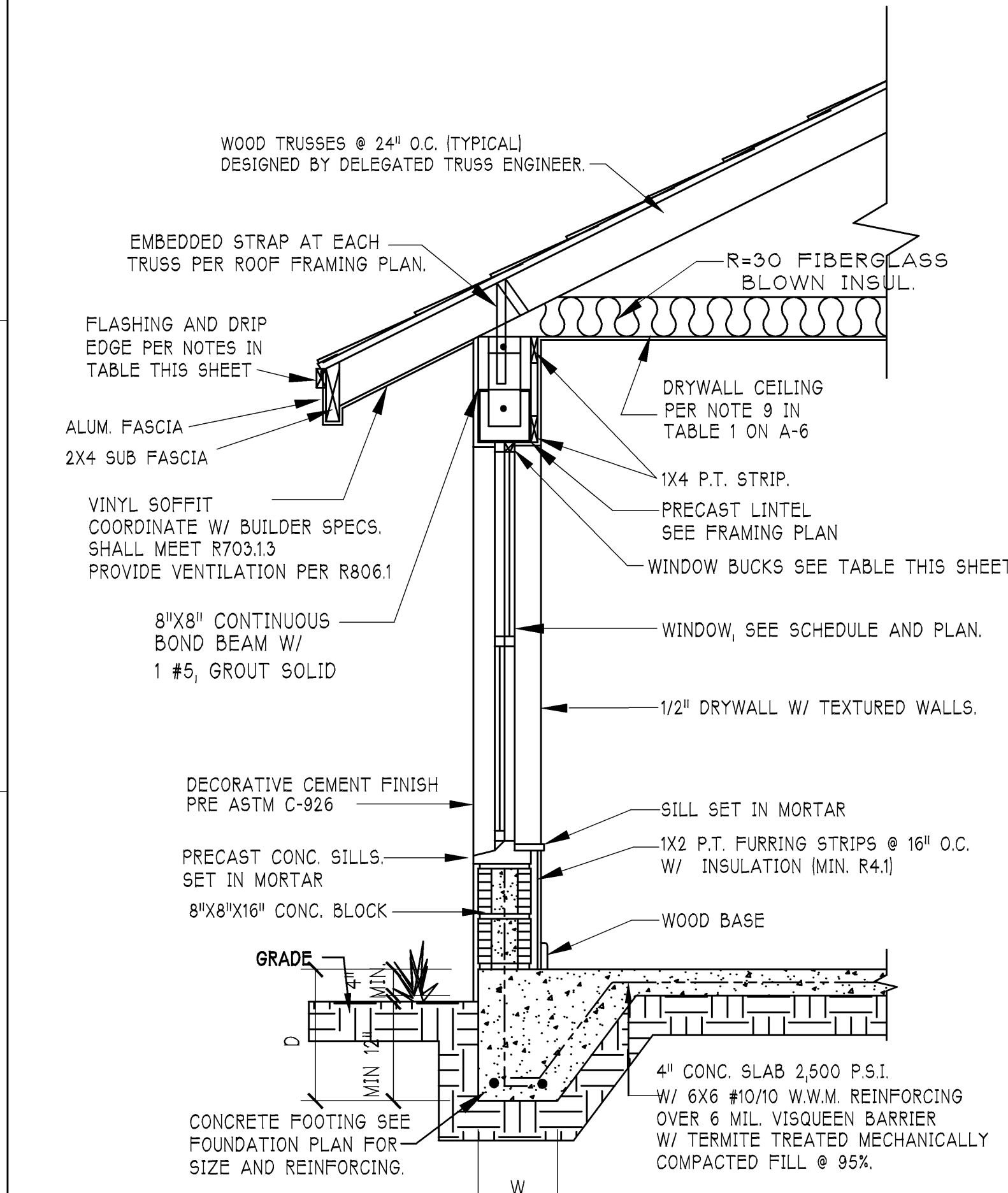
## LANAI/ENTRY ROOF ASSEMBLY

SCALE 3/4" = 1'-0"



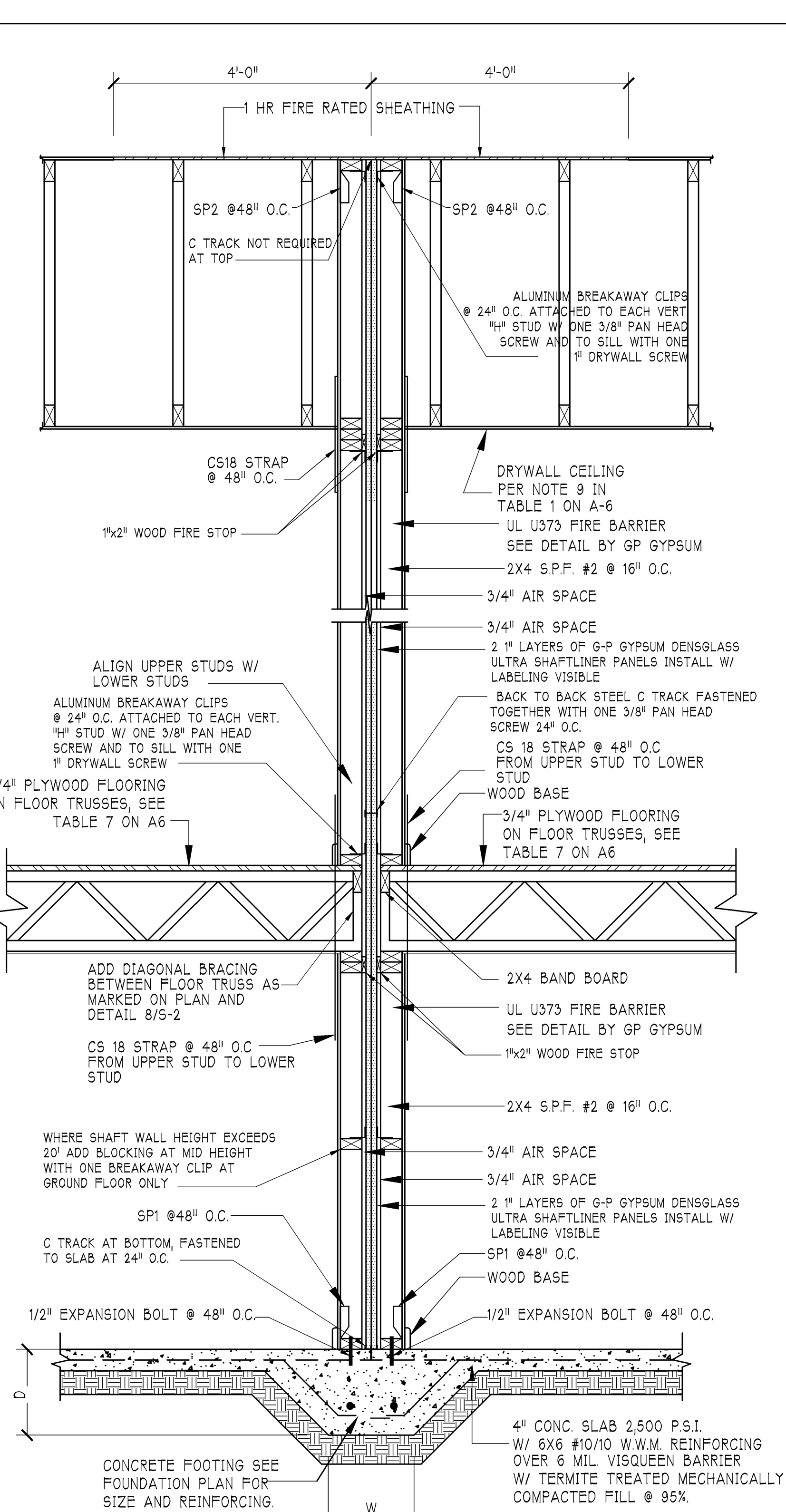
## TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"



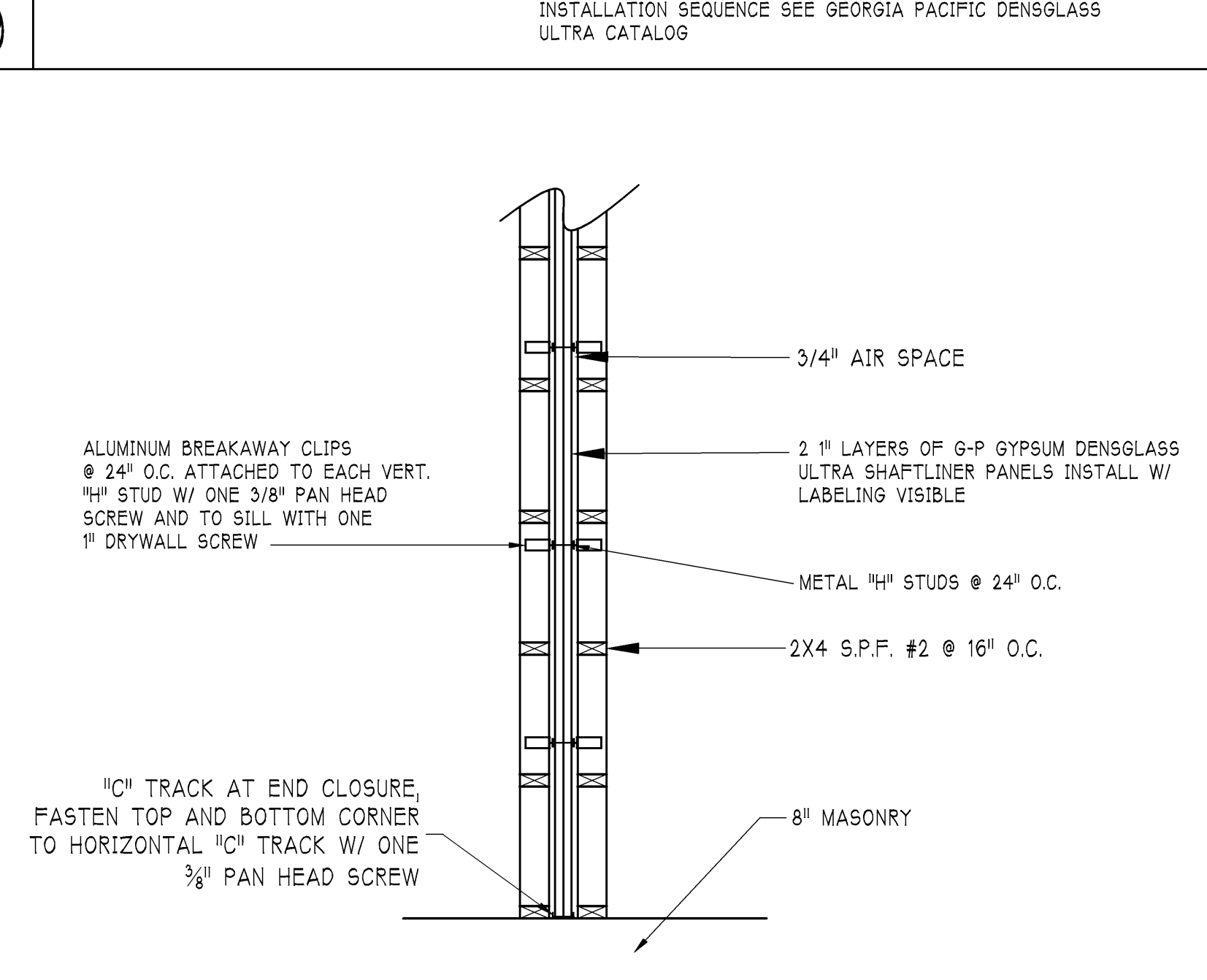
## TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"



## 2 HR FIRE WALL SECTION UL U373

SCALE: 3/4" = 1'-0"



## PLAN VIEW OF UL U373

SCALE: AS NOTED

DESIGN IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2010

**D.R. HORTON**  
America's Builder

STRUCTURAL ENGINEERING  
**STRUCTURAL SYSTEMS**  
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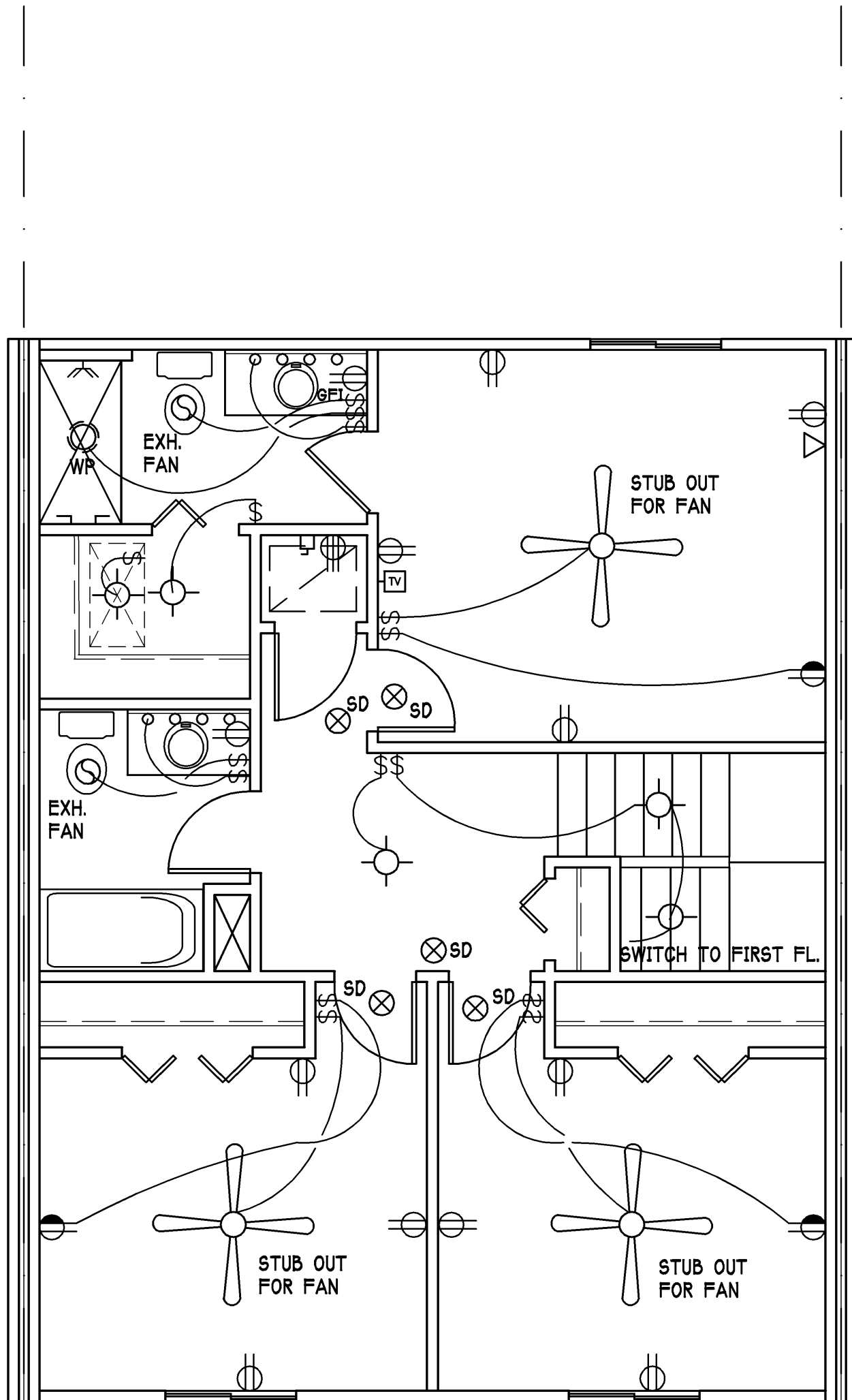
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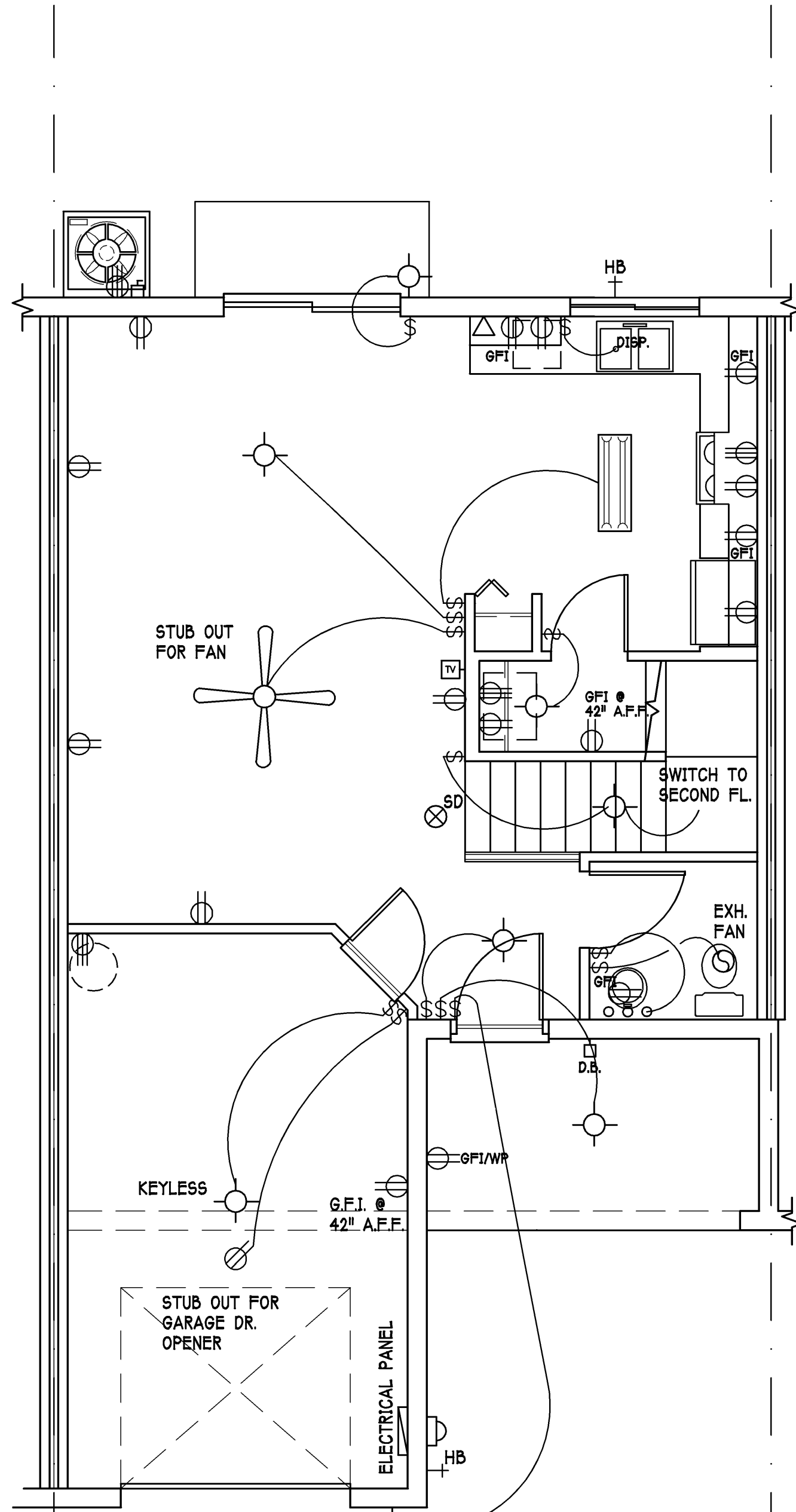
UNIT 'A'

2 nd FLOOR ELECTRICAL PLAN

SCALE: 1/4"= 1'-0"

ELECTRICAL LEGEND	
	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE @ ELEV. A.F.F.
	TIMER SWITCH
	GFI SWITCH
	DIMMER SWITCH
	3 WAY SWITCH
	SINGLE POLE SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES. PER RULE 90-3.04.72
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	RECESSED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON
	DB= DOOR BELL
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT

Electrical Notes:  
Install Arc-Fault circuit-Interruptioners & Tamper-Resistant Receptacles  
shall be installed in dwelling unit, per NEC 210.12 & 406.11  
All electrical equipment to be set at or above base flood elevation.  
All outlets in wet areas and all exterior outlets to be GFI's  
Install Phone & T.V per contract .  
INSTALL ALL ELECTRICAL PER NEC 2008



UNIT 'A'

1st FLOOR ELECTRICAL PLAN

SCALE: 1/4"= 1'-0"

AHU. (HT. & FAN)	50	1	2	50	RANGE (2) #6 THW. (1) #8N.
(2) #6 THW.	50	3	4	50	
COND. UNIT	30	5	6	30	CLOTHES DRYER
(2) #10	30	7	8	20	(3) #10 TW.
WATER HEATER 4.5 K.W.	30	9	10	20	SMALL APPLIANCE CKT.
MAX (2) #10 TH.	30	11	12	20	SMALL APPLIANCE CKT.
MICROWAVE	20	13	14	20	DISPOSAL
LIGHTING	15	15	16	20	DISHWASHER
LIGHTING	15	17	18	15	RECEPT. CKT.
LIGHTING	15	19	20	20	REFRIGERATOR
RECEPT. CKT.	15	21	22	20	BATHROOMS G.F.I.
RECEPT. CKT.	15	23	24	20	UTILITY ROOM

PANEL "A" SCHEDULE  
125 AMP. MAIN LUGS ONLY 120/240 VOLT 10 5/N  
24 CIRCUIT FLUSH MTD. LOAD CENTER (INDOOR)  
22,000 A.I.C. RATED

CYPRESS SPRINGS  
2 STORY TOWNHOUSE  
7 UNIT C-A-B-B-B-A-C

DATE:  
9-16-09

DRAWN BY:  
JWC

CHECKED BY:  
JWC

REVISED:  
9-20-10

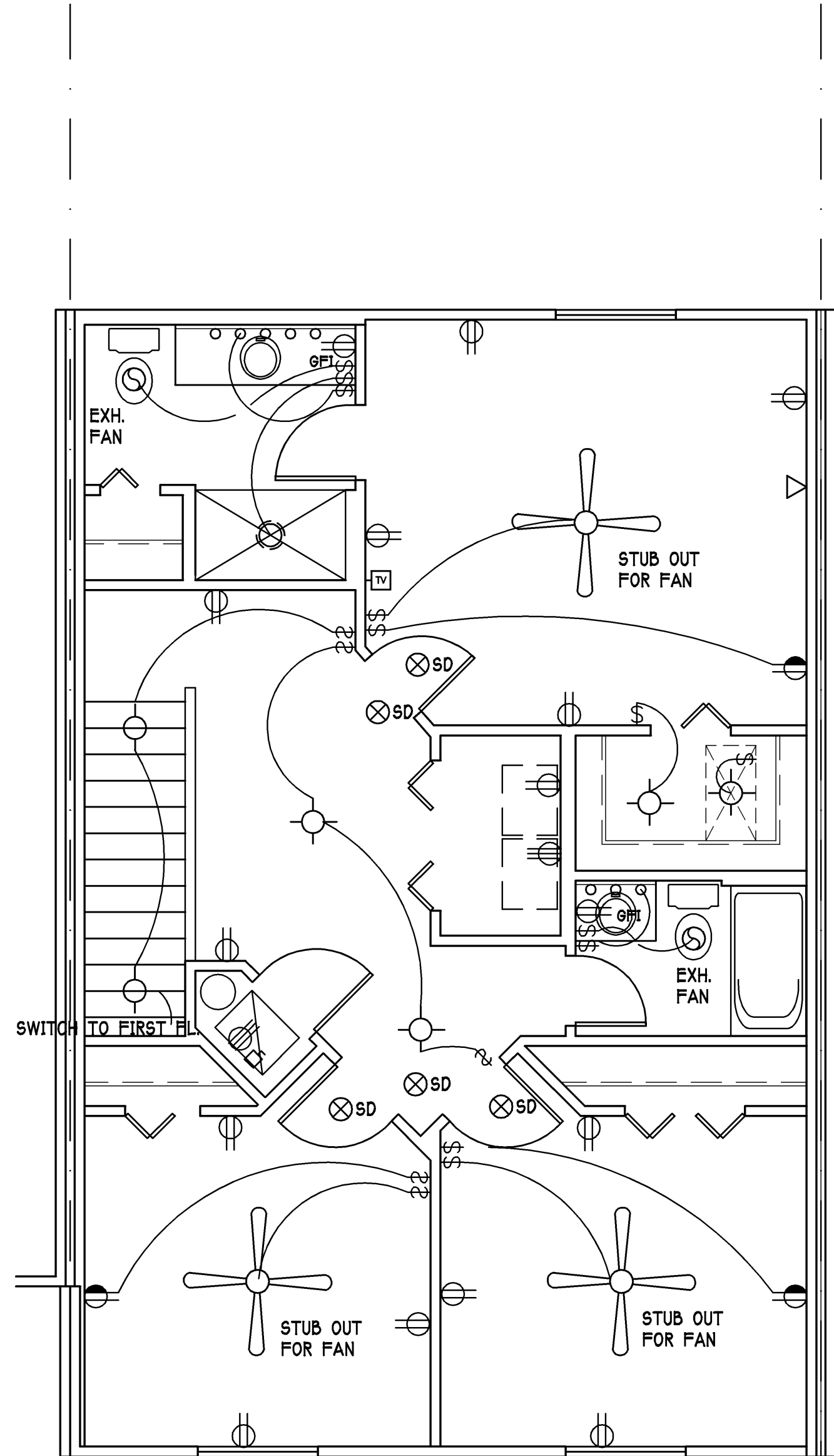
PLAN:  
ELECTRICAL

SCALE:  
AS NOTED

SHEET#

A-7





UNIT 'B'

2nd FLOOR ELECTRICAL PLAN

SCALE: 1/4"= 1'-0"

ELECTRICAL LEGEND

	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE @ ELEV. A.F.F.
	TIMER SWITCH
	GFI SWITCH
	DIMMER SWITCH
	3 WAY SWITCH
	SINGLE POLE SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES. PER RULE 8B-3.04.72
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	RECESSED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON
	DB= DOOR BELL
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT

Electrical Notes:

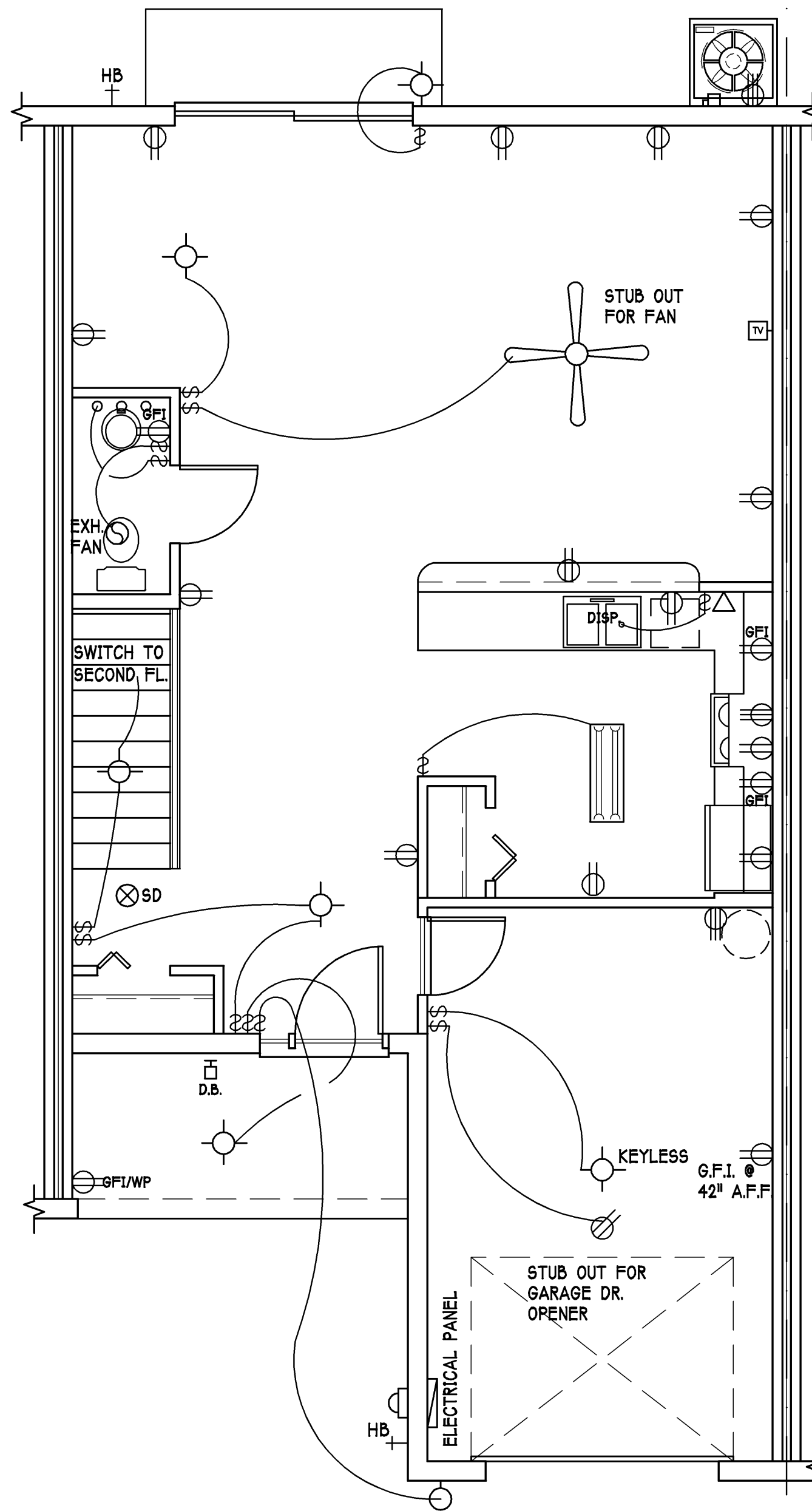
Install Arc-Fault circuit-Interruption & Tamper-Resistant Receptacles shall be installed in dwelling unit. per NEC 210.12 & 406.11

All electrical equipment to be set at or above base flood elevation.

All outlets in wet areas and all exterior outlets to be GFI's

Install Phone & T.V per contract .

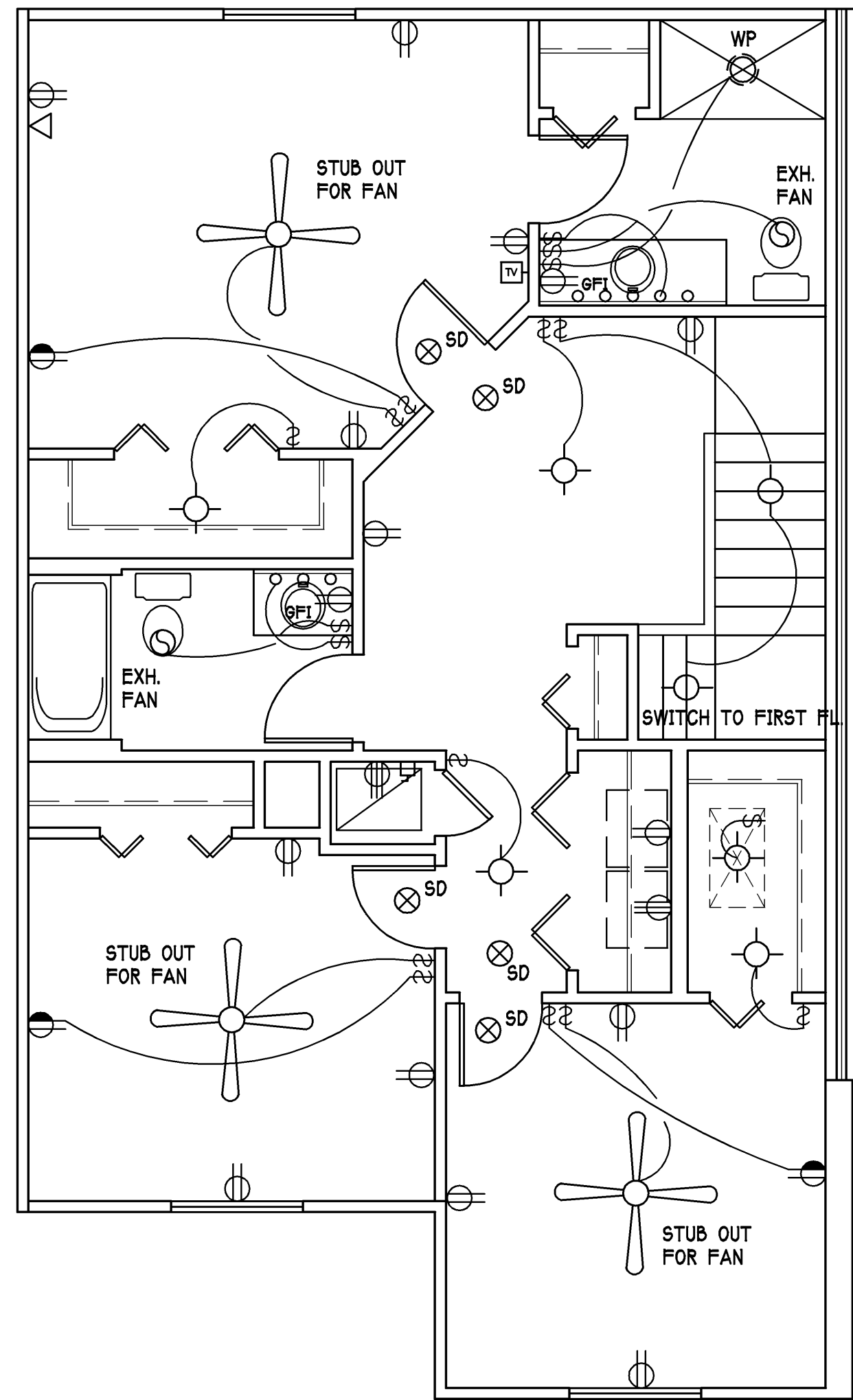
INSTALL ALL ELECTRICAL PER NEC 2008



UNIT 'B'

1st FLOOR ELECTRICAL PLAN

SCALE: 1/4"= 1'-0"



UNIT 'C'

2 nd FLOOR ELECTRICAL PLAN

SCALE: 1/4"= 1'-0"

ELECTRICAL LEGEND

	ELECTRICAL METER
	ELECTRICAL PANEL
	120 V JUNCTION BOX
	SINGLE RECEPTACLE OUTLET
	220 V RECEPTACLE OUTLET
	4-PLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX OUTLET
	DUPLEX RECEPTACLE @ ELEV. A.F.F.
	TIMER SWITCH
	GFI SWITCH
	DIMMER SWITCH
	3 WAY SWITCH
	SINGLE POLE SWITCH
	AC/DC SMOKE DETECTOR TO BE INTERCONNECTED ANY RESIDENT HAVING A FOSSIL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PERPOSES. PER RULE 9B-3.04.72
	TELEPHONE OUTLET
	TELEVISION RECEPTION OUTLET
	SURFACE MOUNTED CEILING LIGHT
	RECESSED LIGHT
	WALL MTD. BRACKET LIGHT
	DUPLEX FLOOD LIGHT
	EXHAUST FAN
	TRACK MTD. LIGHTS
	A/C DISCONNECT
	PUSH BUTTON
	DB= DOOR BELL
	KEYPAD
	4' FLUORESCENT LIGHT
	2' UNDER COUNTER LIGHT

Electrical Notes:

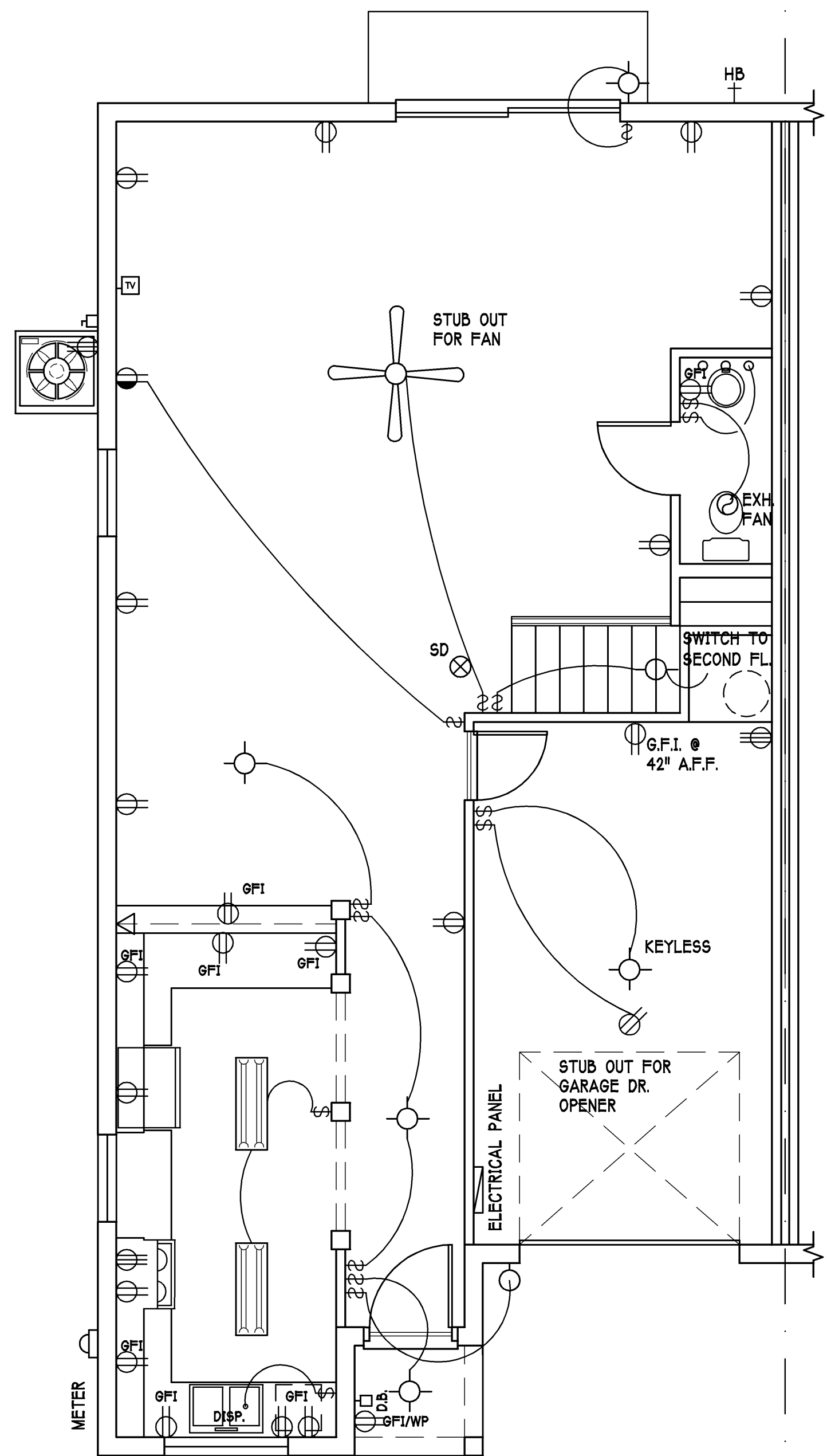
Install Arc-Fault circuit-Interruptions & Tamper-Resistant Receptacles shall be installed in dwelling unit. per NEC 210.12 & 406.11

All electrical equipment to be set at or above base flood elevation.

All outlets in wet areas and all exterior outlets to be GFIs

Install Phone & T.V per contract .

INSTALL ALL ELECTRICAL PER NEC 2008



1st FLOOR ELECTRICAL PLAN

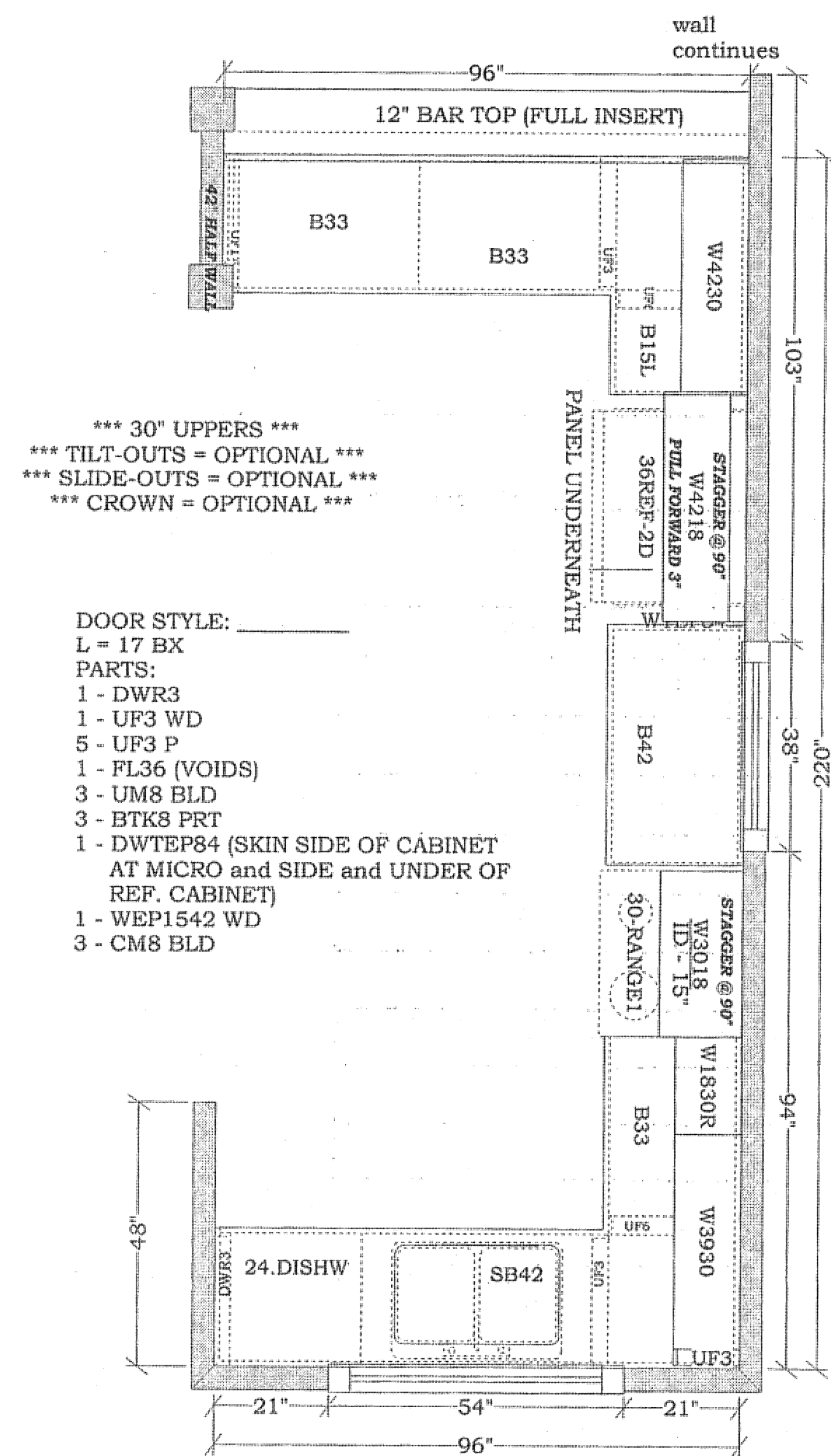
SCALE: 1/4"= 1'-0"



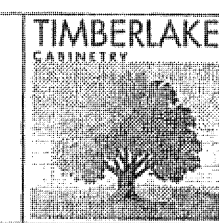
DR HORTON HOMES  
SUBDIVISION: \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK: \_\_\_\_\_

MODEL: UNIT C - 1753  
30" UPPERS

GARAGE LEFT  
APRIL 2010  
NOVEMBER 2010  
FEBRUARY 2011



All dimensions, size designations  
given are subject to verification on  
job site and adjustment to fit job  
conditions.



\*\*\*\*\*  
Designer: P. Notthohm  
This is an original design and must  
not be released or copied unless  
applicable fee has been paid or job  
order placed.

Designed: 02/11/11  
Printed: 02/11/11

UNIT C-1753 Kitchen 30 GL (02-11-11)

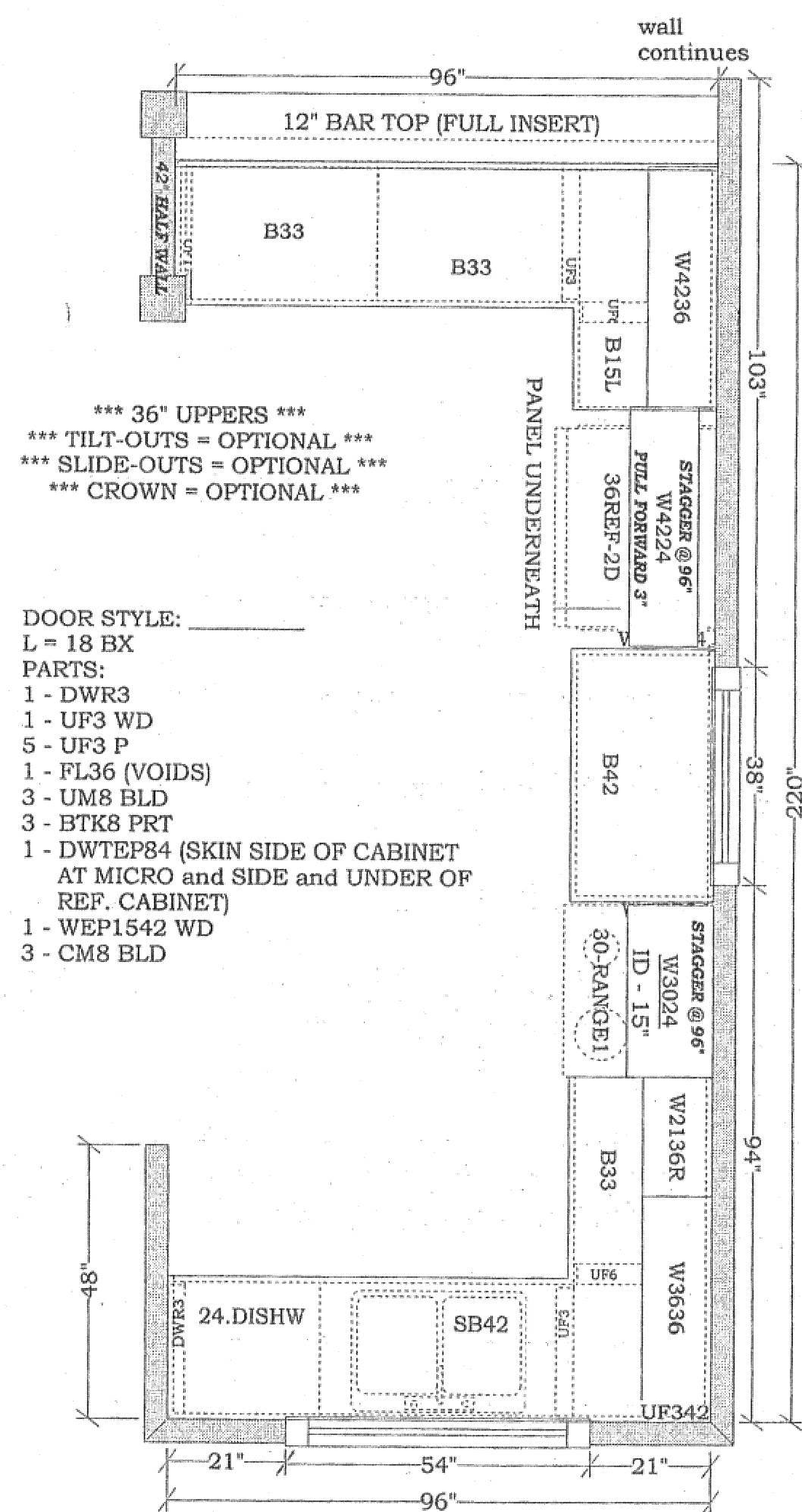
FLOOR PLAN Drawing #: 1

Scale: 0 3/8" = 1'

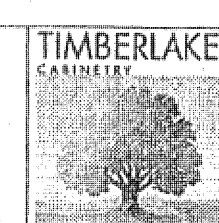
DR HORTON HOMES  
SUBDIVISION: \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK: \_\_\_\_\_

MODEL: UNIT C - 1753  
36" UPPERS

GARAGE LEFT  
APRIL 2010  
NOVEMBER 2010  
FEBRUARY 2011



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conditions.



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Designer: P. Notthohm  
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order placed.

Designed: 02/11/11  
Printed: 02/11/11

UNIT C-1753 Kitchen 36 GL (02-11-11)

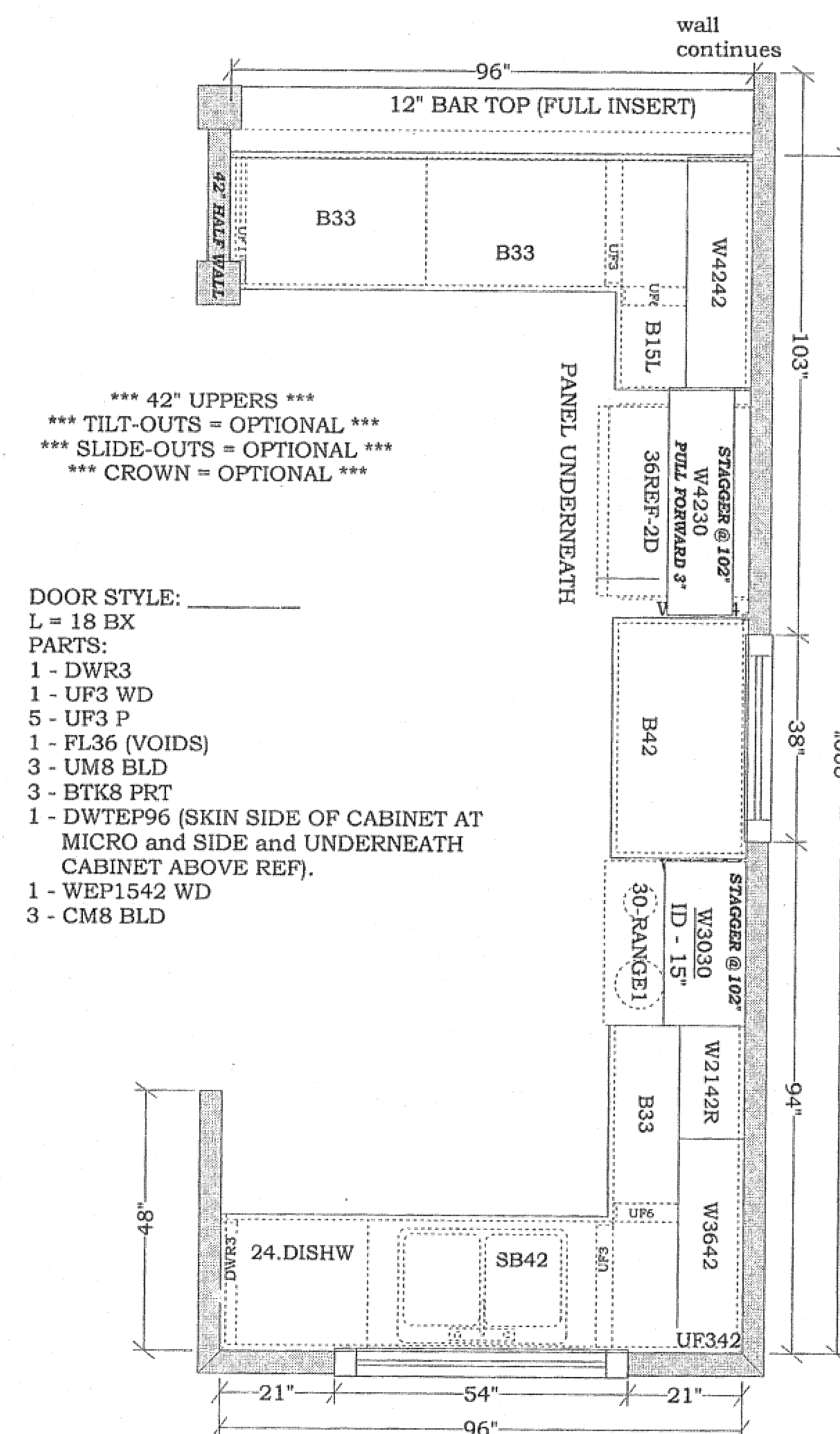
FLOOR PLAN Drawing #: 1

Scale: 0 3/8" = 1'

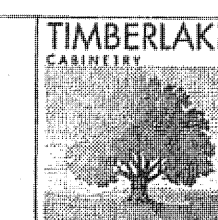
DR HORTON HOMES  
SUBDIVISION: \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK: \_\_\_\_\_

MODEL: UNIT C - 1753  
42" UPPERS

GARAGE LEFT  
APRIL 2010  
NOVEMBER 2010  
FEBRUARY 2011



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conditions.



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Designer: P. Notthohm  
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applicable fee has been paid or job  
order placed.

Designed: 02/11/11  
Printed: 02/11/11

UNIT C-1753 Kitchen 42 GL (02-11-11)

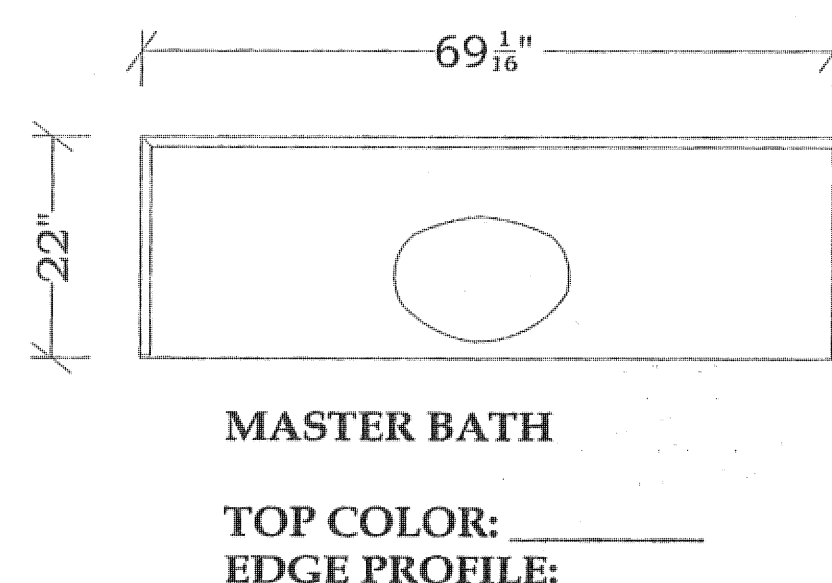
FLOOR PLAN Drawing #: 1

Scale: 0 3/8" = 1'

DR HORTON HOMES  
SUBDIVISION: \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK: \_\_\_\_\_

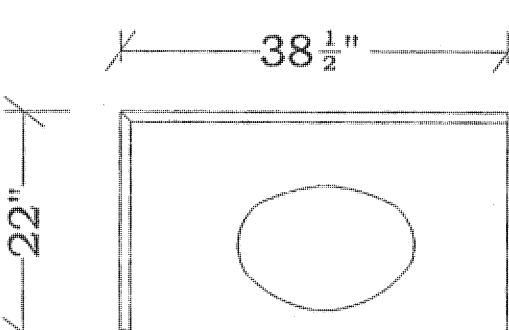
MODEL: UNIT C  
"1753"  
PG \_\_\_\_ of \_\_\_\_

GARAGE LEFT  
APRIL 2010  
NOVEMBER 2010



MASTER BATH

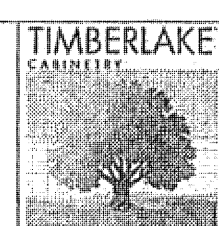
TOP COLOR: \_\_\_\_\_  
EDGE PROFILE: \_\_\_\_\_



BATH 2

TOP COLOR: \_\_\_\_\_  
EDGE PROFILE: \_\_\_\_\_

All dimensions, size designations  
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conditions.



\*\*\*\*\*  
Designer: P. Notthohm  
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not be released or copied unless  
applicable fee has been paid or job  
order placed.

Designed: 01/25/11  
Printed: 01/25/11

UNIT C BATHS, OPTIONS GL (11-15-10)

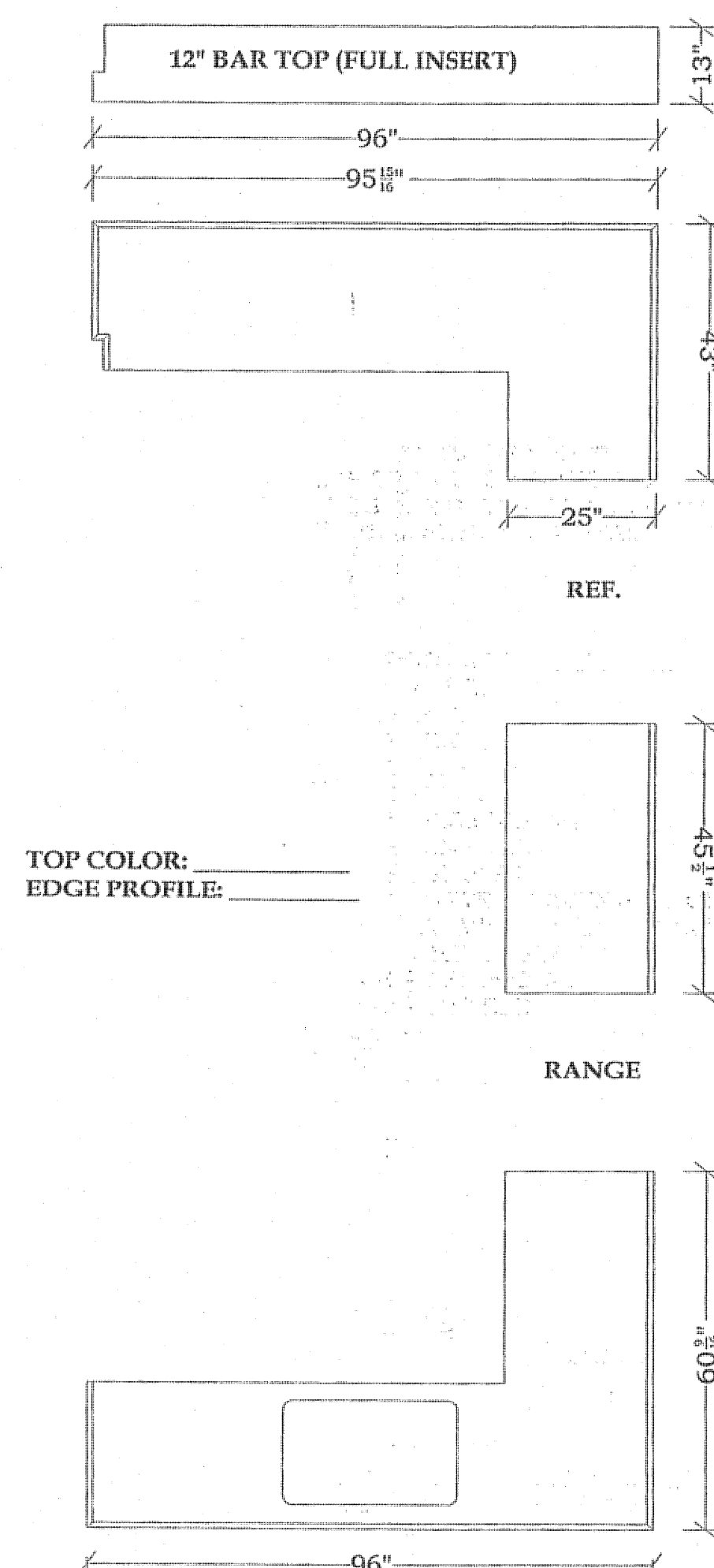
COUNTERTOPS Drawing #: 1

Scale: 0 1/2" = 1'

DR HORTON HOMES  
SUBDIVISION: \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK: \_\_\_\_\_

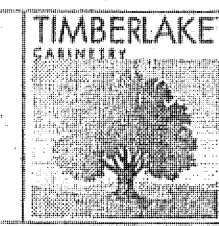
MODEL: UNIT C  
"1753"  
PG \_\_\_\_ of \_\_\_\_

GARAGE LEFT  
APRIL 2010  
NOVEMBER 2010



TOP COLOR: \_\_\_\_\_  
EDGE PROFILE: \_\_\_\_\_

All dimensions, size designations  
given are subject to verification on  
job site and adjustment to fit job  
conditions.



\*\*\*\*\*  
Designer: P. Notthohm  
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applicable fee has been paid or job  
order placed.

Designed: 01/25/11  
Printed: 01/25/11

UNIT C-1753 Kitchen 30 GL (11-15-10)

COUNTERTOP Drawing #: 1

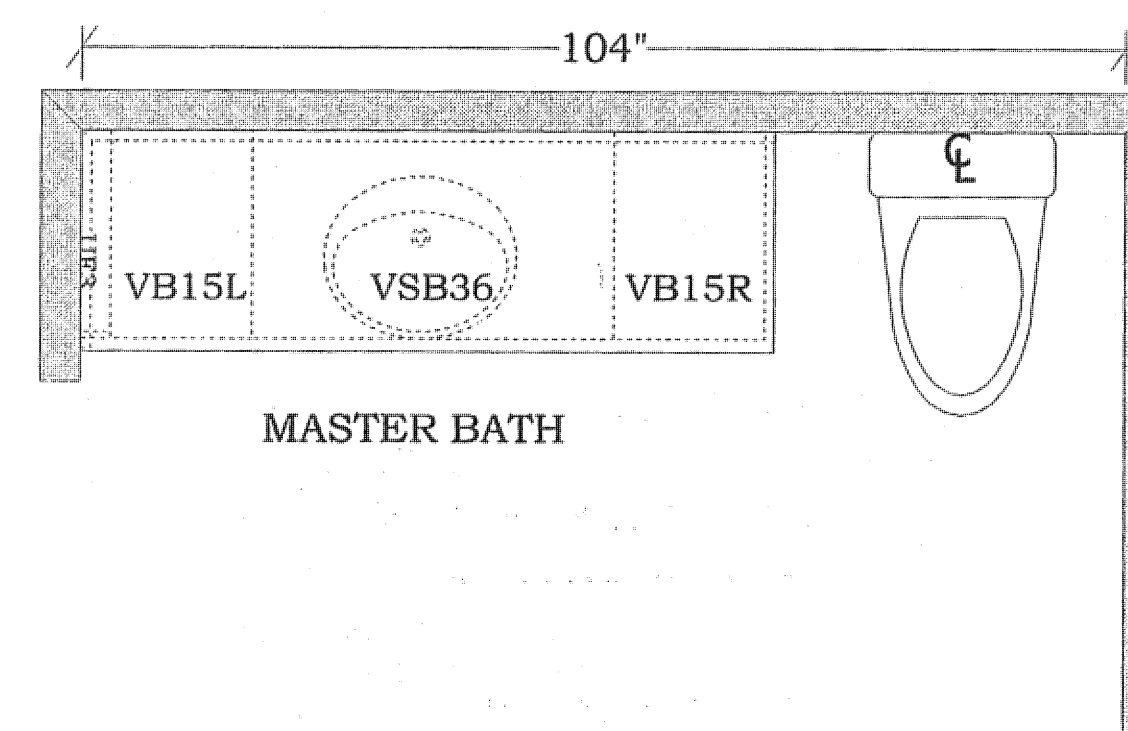
Scale: 0 3/8" = 1'

DR HORTON HOMES  
SUBDIVISION: \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK: \_\_\_\_\_

MODEL: UNIT C  
"1753"  
PG \_\_\_\_ of \_\_\_\_

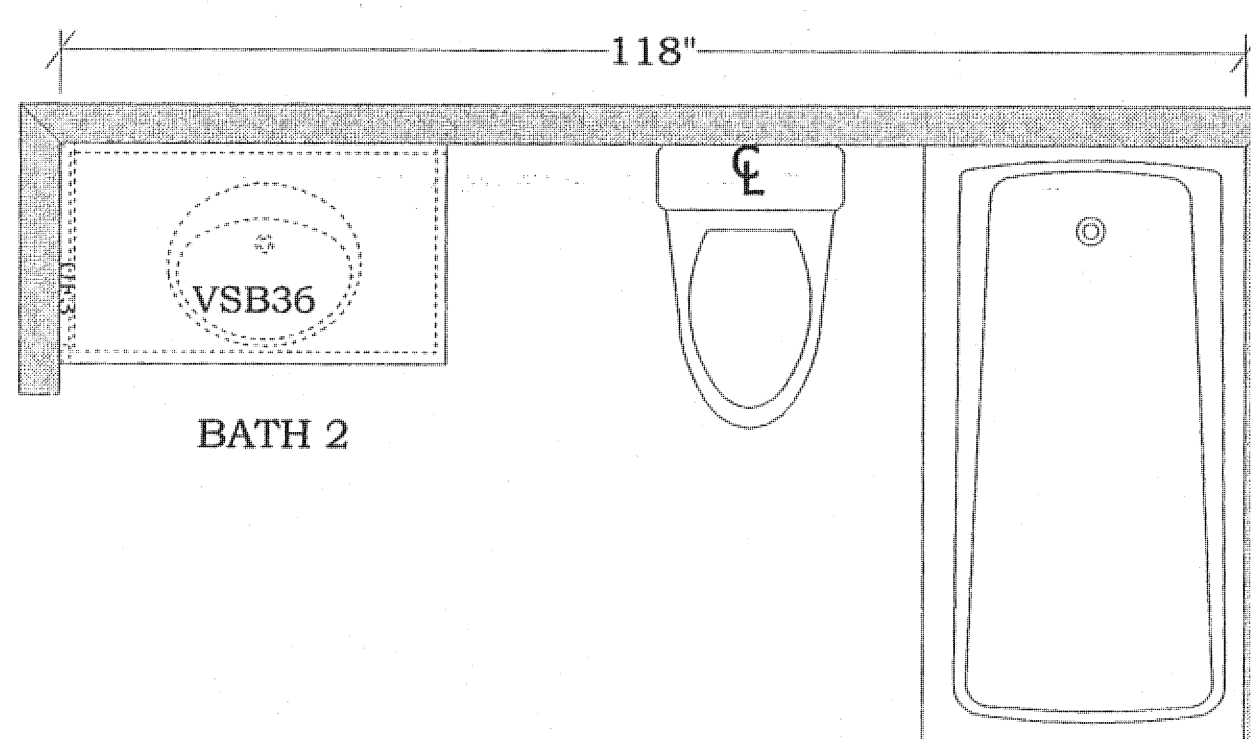
GARAGE LEFT  
APRIL 2010  
NOVEMBER 2010

DOOR STYLE: \_\_\_\_\_  
L = 3 BX  
PARTS:  
1 - UF3 P  
1 - BTK8 PRT



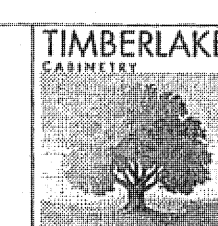
MASTER BATH

DOOR STYLE: \_\_\_\_\_  
L = 1 BX  
PARTS:  
1 - UF3 P  
1 - BTK8 PRT



BATH 2

All dimensions, size designations  
given are subject to verification on  
job site and adjustment to fit job  
conditions.



\*\*\*\*\*  
Designer: P. Notthohm  
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order placed.

Designed: 01/25/11  
Printed: 01/25/11

UNIT C BATHS, OPTIONS GL (11-15-10)

FLOORPLAN Drawing #: 1

Scale: 0 1/2" = 1'

DR HORTON  
America's Builder

CYPRESS SPRINGS  
2 STORY TOWNHOUSE  
7 UNIT C-A-B-B-A-C

DATE:  
9-16-09

DRAWN BY:  
JWC

CHECKED BY:  
JWC

REVISED:  
9-20-10

PLAN:  
CABINET DETAILS

SCALE:  
AS NOTED

SHEET#

A-8